



PLANNING DIVISION

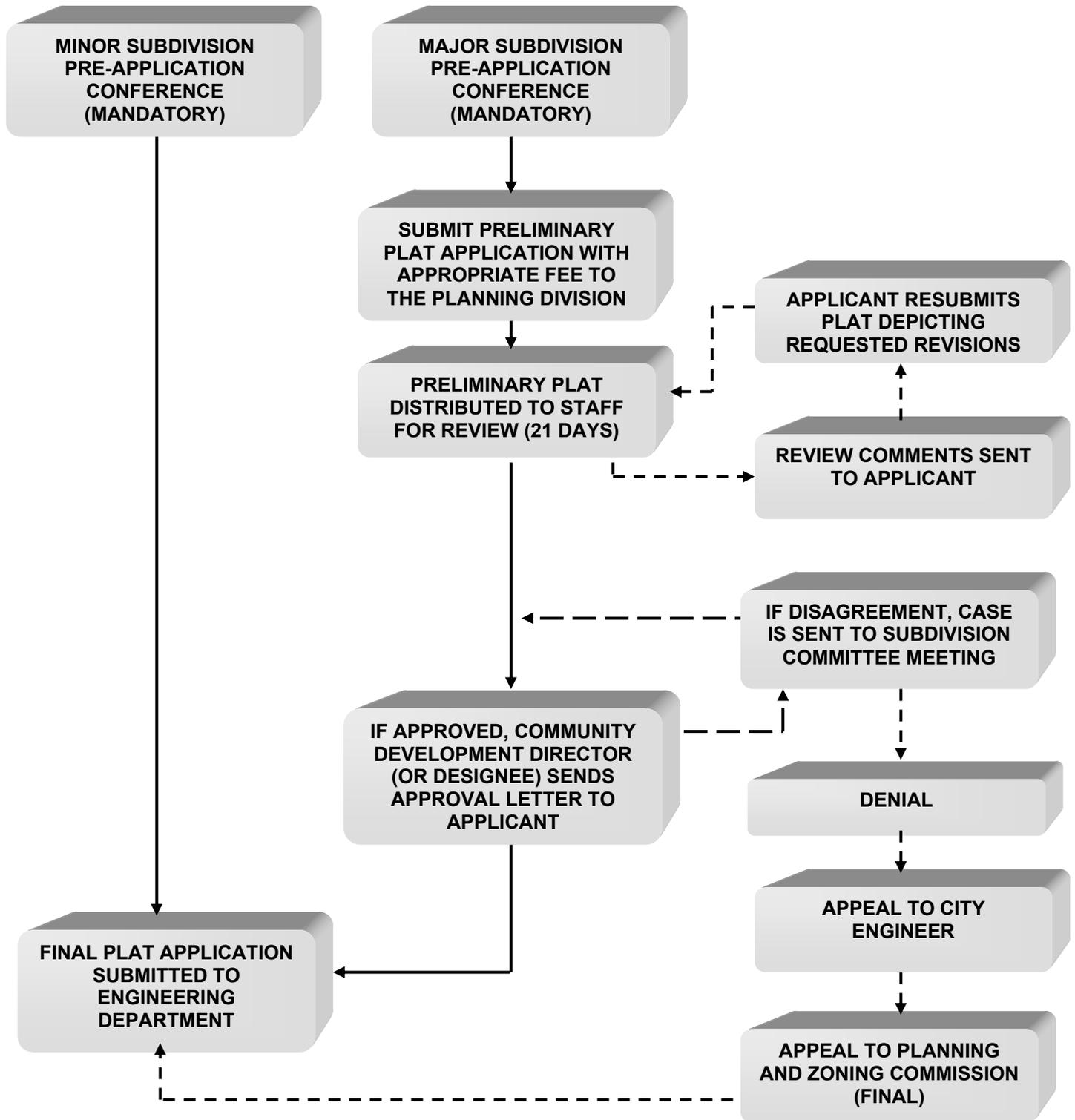
Community Development Department

SUBDIVISION DEVELOPMENT PROCESS GUIDE

* PRELIMINARY PLAT

May 2009

SUBDIVISION DEVELOPMENT PROCESS





SUBDIVISION DEVELOPMENT PROCESS GUIDE

Introduction

The Community Development Department, Planning Division is providing the following information to assist applicants wishing to subdivide properties within the City of Peoria.

This information is intended to be a guide for subdivision plat preparation. Additional information and requirements can be obtained in the Peoria General Plan, Peoria Zoning Ordinance, Subdivision Regulations, Design Review Manual and other adopted City Code, Policies and Standards.

Subdivision Process

Subdivisions are processed as Major and Minor Subdivisions and reviewed and approved as Preliminary and Final Plats. The timing of the subdivision process varies depending upon other concurrent processes such as General Plan Amendments, rezoning applications, other jurisdiction review and development agreement or refund agreement preparation which may be required. Upon approval of the Preliminary Plat, the applicant shall prepare and apply for Final Plat approval within one year to the Engineering Department. Minor Subdivisions do not require Preliminary Plat Approval. For further information regarding Final Plat submission requirements and fees contact the Development Engineering Division at (623) 773-7210.

School District Coordination

In an effort to obtain school district input early in the process, all land use applicants are advised to send a copy of the plan and meet with the appropriate school district representative prior to submittal of the application with the City. This coordination includes all applicants for Comprehensive Master Plans, Rezoning, Subdivision Plats (Preliminary and Final), and Site Plans involving a residential land use.

Upon application, a copy of the request will be sent, by the City, to the school district for formal comments. The school district representatives are listed below.

Peoria Unified School District No. 11
Attn: Edward F. Sloat, Director of Research and Planning
P.O. Box 39
Peoria, AZ 85380
Telephone: (623) 486-6077
Fax: (623) 486-6111

Deer Valley Unified School District No. 97
Attn: Sandra Kube, Planning Coordinator
20402 N. 15th Avenue
Phoenix, AZ 85027
Telephone: (623) 445-4951
Fax: (623) 445-5092

Pre-Application Meeting

A pre-application meeting is mandatory for all plat submissions. The pre-application meeting serves as the preliminary review process for Minor Subdivisions. A pre-application checklist may be obtained from the Planning Division or online at http://www.peoriaaz.com/planning/planning_Publications.asp. Contact the Planning Division at (623) 773-7200 for further information.

Preliminary Plat Subdivision Requirements

A. Preliminary Plat

Preliminary Plats shall be designed to meet the standards set forth by Article 24-80 (A) (the Subdivision Ordinance – #02-40) of Peoria's City Code.

B. Conceptual Landscape Plan

A conceptual landscape plan for any area identified under the Landscape Requirements Article 14-35 of the Zoning Ordinance shall accompany the preliminary plat submittal. These areas typically include arterial street frontages, collector street frontages with backing lots, trails, and drainage and/or common areas. The conceptual landscape plan may consist of partial plans and sections with a plant list which shows the design intent. Calculations as to the number of plant material required and provided shall be indicated on the plan(s). For information, Final Landscape Plan and Landscape Permit approval shall be required prior to the issuance of a paving permit. Contact the Planning Division at (623) 773-7200 for further information regarding final landscape plan and landscape permit approvals.

C. Preliminary Drainage Study

A preliminary drainage study shall accompany the preliminary plat submittal. This study shall discuss the effects of any off-site drainage and approximate quantity of storm water that may be required to be retained on site. The study shall state that the retention of the 100 year/2 hour storm shall be provided in basins, unless another method of handling the storm water is being proposed. The extent of this report shall be determined on an individual basis.

D. Assured Water Supply

Subdivision located within private water franchise areas shall provide evidence that the property has a Certificate of Assured Water Supply as required by the Arizona Department of Water Resources.

E. Master Plan

A Master Plan (see PCC § 24-67 of the Subdivision Ordinance), which is an area plan for coordination of development activities, may be required. The need for a master plan will be determined at or before the pre-application Meeting.

F. Phasing Plan

A subdivision that is to be constructed in phases shall require a Phasing Plan. Submittals to be included with the Phasing Plan are listed in the City of Peoria Infrastructure Development Guidelines. All Phasing Plans shall include a phasing map and a description of the following: all lots, tracts, easements, common areas and other land within each phase; all streets, private streets, alleys and other rights-of-way within each phase; all utilities, including water, sewer and drainage within each phase; and a

description of the schedule and sequencing of the proposed phases and how significant delays in completion of the subdivision and its public improvements will be mitigated.

Subdivision Plat Preparation

The following information is provided to aid in the preparation of the subdivision for review. This information is general in nature. For additional information, consult the Peoria Zoning Ordinance, Subdivision Regulations, Design Review Manual and General Notes for off-site construction.

A. Planning and Zoning

Reference: Peoria Zoning Ordinance, Peoria General Plan, Design Review Manual.

1. All lots shall conform to the minimum area requirements and setbacks of the zoning district in which the subdivision is located.
2. Refer to the Peoria General Plan for the proposed locations for any public facilities such as parks, schools and trails etc.
3. Conceptual landscape plans are required with the preliminary plat. These plans should convey the design intent for street frontages along arterial and collector streets and drainage facilities. The intent may be conveyed through plans, partial plans and cross-sections or a combination thereof. Final landscape and irrigation plans are required as a part of the subdivision improvement plans and shall be reviewed as a separate submittal from the final plat.
4. All proposed subdivisions within the “Public Disclosure Area” of Luke Air Force Base shall provide the following note on the Preliminary Plat: “THIS SUBDIVISION IS LOCATED IN THE VICINITY OF A MILITARY AIRPORT”
5. All proposed subdivisions containing hillside lots shall conform to Peoria Zoning Ordinance Article 14-22A.
6. For information, the applicant shall submit for and receive Single-Family Design Review approval prior to the issuance of any building permits. Refer to the Design Review Manual for further information.

B. Engineering

Reference: Peoria Subdivision Regulations, City of Peoria Infrastructure Development Guidelines, General Notes.

1. General
Subdivisions shall conform to the design requirements with respect to street widths layouts, block and cul-de-sac lengths, utility easements and other applicable standards. All off-site construction requires a permit. Plans should show location and size of all new facilities, as well as any proposed street cuts. All construction abutting ADOT, Maricopa County or other municipality rights-of-way requires that agency’s approval. A separate permit may be required.

2. Request for Waivers

Certain requirements contained in the City of Peoria Infrastructure Development Guidelines may be waived by the City Engineer prior to approval of the Final Plat (see PCC §24-113 of the Subdivision Ordinance). A request for waiver(s) shall be submitted on a form to be supplied by the Community Development Department and accompanied by the waiver fee.

3. Street Improvements

Right-of-way and easement dedications (i.e. 8' PUE outside of all rights-of-way, 30' triangular right-of-way chamfer at all intersection) shall be clearly shown on plat. Half street improvements are required for development. Bus bays at location identified by the City of Peoria shall be shown.

4. Street Light Improvement District (SLID)

Streetlights are required on all streets adjacent and interior to the project at an approximate spacing of 150 feet. Subdividers shall be required to initiate the formation of a street light improvement district for the operation and maintenance costs associated with the street lights contained in the subdivision. The subdivider is responsible for executing a petition form, signed by the property owner(s), for the formation of the district. In addition, a legal description of the subdivision boundaries to the centerline of all perimeter streets shall be provided. The street lights shall be dedicated to the City.

5. Drainage/Retention

All sites are required to retain the 100-year 2-hour storm event on site. A drainage study showing all off-site flows onto the site shall be provided. Refer to the Maricopa County Flood Control District Uniform Drainage Standards. Site drainage shall not be allowed to drain onto adjacent sites except as provided for by designated drainage easements. Maximum retention depth is 3' unless protected and shall not be allowed within rights-of-way. All slopes adjacent to a public right-of-way shall be 6:1 minimum. Drywells must be registered with the Arizona Department of Environmental Quality.

6. Grading

A grading permit will be required for on-site grading. All cut/fill quantities shall be shown on the Grading Plan. Finish floors must be a minimum of 14" above lot outfall and 12" above 100-year flood plain elevation. See Infrastructure Guide for further construction requirements in the flood plain.

7. Utility Placement

All utilities within and adjacent to the subdivision shall be placed underground. All electric power lines less than 69 Kv within or adjacent to the subdivision shall be underground. All sites shall be served by water and sewer of a size to adequately serve the proposed use. Water service and fire lines on site shall have backflow prevention facilities. An easement dedicated to the City must be provided if facilities are to be maintained by the City.

8. Improvements Plans

Improvement plans are required to be submitted and approved for all subdivisions. These plans must be approved by the City Engineer prior to scheduling of the Final Plat for City Council consideration. Additional information concerning

improvement plan requirements are contained in the Subdivision Regulations, Peoria Development Guide and the General notes.

9. Agreement to Install Improvements and Financial Assurances

An agreement between the subdivider and the City needs to be executed and the appropriate financial assurance submitted and accepted by the City to guarantee the installation of the required subdivision improvements. These items must be submitted and accepted by the City prior to the final plat being scheduled for City Council consideration. (See PCC §24-108).

10. Water and Sewer Buy-ins and Assessments

Certain areas within the City are subject to water and sewer buy-ins and other assessments for the construction of improvements. These areas will be identified at the time development is initiated. Buy-in fees will be paid with or prior to the issuance of the first engineering permit for the subdivision improvements.

11. Development and Impact Fees

These fees are assessed at the time building permits are issued for individual lots within the subdivision. Refer to the most current fee schedule for the fee amounts.

12. Water and Sanitary Sewer Facilities

The subdivider shall be responsible for the extension and development of water and sewer facilities to serve the subdivision. In some cases the subdivision is located in areas where these facilities have not been installed or the existing capacity will not support the proposed development. In such cases, the Engineering Division shall evaluate and make recommendations to the extent of new infrastructure development.

13. Maintenance Improvement District (MID)

Subdivisions in which the drainage facilities (i.e., retention/detention areas and drainage structures) are dedicated to the City shall be required to form a Maintenance Improvement District. This district shall pay for the maintenance and operation costs associated with the drainage facilities. The subdivider shall submit a petition and legal description of the subdivision to initiate the formation of the district. This documentation shall be submitted with the final plat application. Each subdivision shall be reviewed individually as to the applicability of the formation of a MID.

Fees

Refer to the ***Planning Fee Schedule***

(Available online at: <http://www.peoriaaz.com/planning/Docs/Miscellaneous/FEELIST.pdf>).

Refer to the ***Engineering Fee Schedule*** for TIA's and Master Drainage Reports

(Available online at: <http://www.peoriaaz.com/engineering/Docs/EngFeeSchedule.pdf>).

PRELIMINARY PLAT SUBMITTAL REQUIREMENTS

**** ALL 24" x 36" PLANS SHALL BE FOLDED TO 9" x 12" ****

- _____ APPLICATION
- _____ OWNERSHIP VERIFICATION FORM
- _____ APPLICATION CONTACT FORM
- _____ SINGLE-FAMILY PRELIMINARY PLAT PLANTING DATA SHEET
- _____ REVIEW FEE
 - _____ Preliminary Plat Fee
 - _____ Traffic Impact Analysis/Statement Fee (623-773-7600 for details)
 - _____ Master Drainage Report (623-773-7600 for details)
- _____ **5 FULL SIZE / 7 11"x17" COPIES OF:**
 - _____ Preliminary Plat
 - _____ Conceptual Landscape Plan
 - _____ Conceptual Wall Plan
- _____ 8½" x 11" REDUCTIONS OF ALL PLANS (**1 copy**)
- _____ PRELIMINARY DRAINAGE REPORT (**2 Complete Sets**)
- _____ A.L.T.A. Survey - To include streets and driveways on adjacent streets (**2 Copies**)
- _____ CERTIFICATE OF ASSURED WATER SUPPLY (**Private water utility only**)
- _____ PHASING PLAN (**If applicable**)
- _____ PRELIMINARY WATER AND SEWER ANALYSIS REPORTS (**2 Complete Sets**)
- _____ PRELIMINARY TRAFFIC IMPACT STATEMENT / ANALYSIS (**2 Copies**)

The following materials are required if the subject property/site is North of Pinnacle Peak Road:

- _____ MASTER CONSERVATION PLAN (for sites less than 10 gross acres)
(2 copies)
- _____ DESERT CONSERVATION REPORT (for sites more than 10 gross acres)
(2 copies)
- _____ HILLSIDE ANALYSIS (if slope conditions are present) (**2 copies**)

**SINGLE-FAMILY
PRELIMINARY PLAT PLANTING DATA SHEET**
(To be completed and included on Landscape Plan)

LANDSCAPE AREAS

	<u>Required</u>	<u>Provided</u>
A. <u>Street Frontage Areas [14-35-4.A.1]</u>		
1. Adjacent to Arterial Streets (10 feet)	_____ sq. ft	_____ sq. ft
2. Adjacent to Collector Streets (8 feet)**	_____ sq. ft	_____ sq. ft
3. Adjacent to Local Streets (8 feet)**	_____ sq. ft	_____ sq. ft
** Requirement applied along lot side and rear frontage areas		
B. <u>Required Drainage Retention / Detention Areas [14-35-4.A.6]</u>	_____ sq. ft	_____ sq. ft
C. <u>Useable Open Space Areas [Design Review Manual 20-70-12.C: ≥ 20 lots]</u>		
1. Lots less than 10,000 square feet (9% of gross project area)	_____ sq. ft	_____ sq. ft
2. Lots 10,000 – 18,000 square feet (7% of gross project area)	_____ sq. ft	_____ sq. ft
3. Lots greater than 18,000 square feet (5% of gross project area)	_____ sq. ft	_____ sq. ft

Note: If the development includes a mixture of lot sizes beyond the ranges described above, the percentage of Useable Open Space required shall be based on the percentage of lots in each category.

PLANT QUANTITIES

	<u>Required</u>	<u>Provided</u>
<u>Street Frontage Landscape Areas [14-35-4.A.2]</u>		
D. Trees: 1 per 25 linear feet of street frontage (8' or 10' buffer + ROW)	_____ trees	_____ trees
E. Shrubs: 5 per 25 linear feet of street frontage (8' or 10' buffer + ROW)	_____ shrubs	_____ shrubs

Drainage Retention / Detention + Useable Open Space Areas [14-35-4.A.1]

F. Trees: 1 per 1,000 square feet	_____ trees	_____ trees
G. Shrubs: 5 per 1,000 square feet	_____ shrubs	_____ shrubs

Note: Useable Open Space areas may occupy the same areas as drainage (i.e. improved retention basins)

Special Planting Requirements (PAD, Zoning, etc)

TOTALS

	<u>Required</u>	<u>Provided</u>
Total Landscape Areas (A + (B + C))	_____ sq. ft	_____ sq. ft
Total Useable Open Space Percent	_____ %	_____ %
Total Trees (D + F)	_____ trees	_____ trees
Total 24" Box Trees (50% of total required trees)	_____ trees	_____ trees
Total Shrubs (E + G)	_____ shrubs	_____ shrubs

GENERAL NOTES

1. Turf (lawn) is limited to a maximum of 20% of the site area.
2. A development may substitute a 36" box or larger tree in place of a 15 gallon tree at a substitution rate of 1.5 trees for every required (15) gallon tree.
3. All landscaped areas shall be supported by an automatic irrigation system which may be spray, flood or drip system.
4. Plant materials utilized in landscaped areas in the ROW must be included on the most recent edition of the *Phoenix Active Management Area Low Water Use / Drought Tolerant Plant List*.
5. The Developer shall be responsible to install/maintain all landscaping within the Right-of-Way.
6. **A 3 foot clear space is required around all fire suppression equipment. No plants may be installed that will encroach when mature.**

DESIGN REVIEW

SINGLE-FAMILY RESIDENTIAL REQUIREMENTS

All Single-Family Residential Development in excess of 20 lots shall be required to meet the minimum requirements for Architectural Design, Plat/Lot Design and Landscaping Design. Design Review requirements for Single-Family Residential development can be found in the City of Peoria's Design Review Manual Section 20-70-11 through 20-70-12. The manual is available through the Planning Division. Design Review for Single-Family Residential developments shall consist of the following:

Plot/Lot Design – Requirements must be met at Preliminary and Final Plat stage. See Section 20-70-12.B, Single-Family Residential - Qualitative Guidelines, for completion of this section.

Plat/Lot Design Review Submittal Requirements

Preliminary Plat stage

- _____ Plat and Lot design shall meet all design requirements as outlined in the City of Peoria Design Review Manual.
- _____ Text describing how Plat and Lot design meets Requirements and Considerations as outlined in the City of Peoria Design Review Manual.

Landscape Design - Requirements must be met at Preliminary and Final Plat stage. See Section 20-70-7.C, Single-Family Residential - Qualitative Guidelines, for completion of this section.

Landscape Design Review Submittal Requirements:

Preliminary Plat stage

- _____ Landscape design shall meet all design requirements including open space percentage as outlined in the City of Peoria Design Review Manual.
- _____ Text describing how Landscape design meets Requirements and Considerations as outlined in the City of Peoria Design Review Manual.

Architectural Design Review - Required prior to issuance of first Building Permit. See Section 20-70-12.A, Single-Family Residential - Qualitative Guidelines.



PLANNING DIVISION
Community Development Department
PRELIMINARY PLAT

APPLICATION # _____ SUBMITTAL DATE: _____ FEES: _____ ACCEPTED BY: _____

PARCEL NUMBER(S):		EXISTING ZONING:	
GROSS AREA (ACRE/SQ. FT.):		NET AREA (ACRE/SQ. FT.):	
DEVELOPMENT/PROJECT NAME:			
ADDRESS/LOCATION:			
REFERENCE CASES (LIST ALL PREVIOUS PLANNING CASES):			
PROPERTY OWNER:			
ADDRESS:			
CITY:		STATE:	ZIP CODE:
PHONE NUMBER:		FAX NUMBER:	
CONTACT PERSON:			
APPLICANT:			
ADDRESS:			
CITY:		STATE:	ZIP CODE:
PHONE NUMBER:		FAX NUMBER:	
CONTACT PERSON:			
ARCHITECT/ENGINEER:			
ADDRESS:			
CITY:		STATE:	ZIP CODE:
REGISTRATION NUMBER:			
PHONE NUMBER:		FAX NUMBER:	
CONTACT PERSON:			
NUMBER OF LOTS:		NUMBER OF TRACTS:	
LINEAR FEET OF STREETS:		MINIMUM LOT AREA:	
AVERAGE LOT AREA:		MINIMUM LOT WIDTH:	
RESIDENTIAL DENSITY:			
OWNER'S SIGNATURE:		DATE:	

We value your comments!
www.peoriaaz.gov/devcomments

OWNERSHIP VERIFICATION

It is requested that a **Preliminary Plat** application be accepted by the Planning Division of the City of Peoria for property generally located at

_____.

Said property is owned by:

And

Telephone number _____

Telephone number _____

The subject property is legally described as

_____ (or see attached)

The subject property contains _____ gross acres (includes right of way to the centerline of adjacent street or alley) and _____ net acres (excludes adjacent perimeter right of way).

Tax Parcel Number _____ - _____ - _____

Attached is a map/survey, which accurately portrays the parcel configuration and property dimensions, as reflected in the legal description.

I hereby certify that the above information and information submitted as part of the requested application is correct, and that I am authorized to file an application on said property, being either the owner of record or authorized to file on behalf of the owner. (If not owner of record, attach written authorization from owner).

Applicant's Signature

Date

