



## **ATTACHED PATIO COVER & CARPORT STANDARDS**

**Handout  
502**

**REV 9/16**

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### **ADOPTED CODES (with City Amendments per Ordinance 2012-08):**

**2012 International Building Code (IBC)  
2012 International Residential Code (IRC)  
2012 International Plumbing Code (IPC)  
2012 International Fuel & Gas Code (IFGC)  
2012 International Mechanical Code (IMC)  
2012 International Energy Conservation Code (IECC)  
2012 International Property Maintenance Code (IPMC)  
2011 National Electric Code (NEC)  
2010 Americans with Disabilities Act Accessible Guidelines (ADAAG)  
2012 International Fire Code (IFC)**

**Current Peoria Zoning Ordinances**

### **Development & Engineering Department Building Development**

9875 N. 85<sup>th</sup> Avenue  
Peoria, Arizona 85345  
623-773-7225 (FAX: 623-773-7245)  
[building.applications@peoriaaz.gov](mailto:building.applications@peoriaaz.gov)

[www.peoriaaz.gov/building](http://www.peoriaaz.gov/building)

A building permit is required for the construction, repair or enclosure of a patio cover/carport. A footing and final inspection must be passed before the work is considered completed by the City of Peoria.

#### A. DEFINITIONS

1. A **patio cover** shall be used only for recreational and outdoor living purposes.
2. A **carport** is a motor vehicle parking structure. It may be freestanding or attached to another structure. A carport is one-story high and is entirely open on two or more sides, except for structural supports, and there can be no enclosed uses above the carport. Any structure which does not meet this definition must comply with all regulations relating to a garage.

#### B. BUILDING PERMIT APPLICATION

All projects must have a permit application. Arizona law requires that every applicant supply specific information and certain declarations regarding the proposed work. The owner, licensed contractor, or their authorized agent can complete the application. The following information must be provided:

1. **Project Information:** The address, legal description or assessor's parcel number, existing use of the building or property, and a brief description of work must be supplied.
2. **Applicant:** This is the name of the person presenting the application to the department.
3. **Property Owner:** The name and address of the property.
4. **Contractor:** If a permit is being issued to a contractor, a contractor's license number, state privilege tax number and a City of Peoria sales tax number must be provided. If the permit is being issued to an owner/builder, write "owner/builder" in this area.

#### C. PREPARE PLANS

Plans must include the following:

1. Plot plan (see sample for all requirements).
2. Structural plan - either one copy of the City of Peoria standard plan (specifications in this information bulletin), or two copies of any other plan.

#### D. LOCATION

Location of the patio cover (distance from the property lines), and the width and slope of the driveway are also regulated by the zoning laws of the city. For specific information about zoning regulations for your lot, call the Planning and Zoning Division (623) 773-7200.

When zoning regulations allow the patio cover posts to be located less than 3'-0" from a property line, for attached residence only, the patio cover must have a one-hour fire-resistant wall and parapet on the property line to protect neighboring property from fire. No openings are permitted in this wall.

**Exception:** No wall is required on the patio covers side next to a street or alley.

## E. CONSTRUCTION SPECIFICATIONS

The following are the minimum construction specifications for patio covers.

**Concrete mix:** The concrete mix for footings must meet the strength of  $F'c = 2000$  psi minimum, or the following:

1 part Portland cement  
2 1/2 parts sand  
3 1/2 parts 3/4 inch maximum-size gravel

Not more than 7 gallons of water per sack of cement.

- Lumber:** The lumber must be grade Douglas Fir/Larch No. 2 or better. All lumber must be grade-marked. Posts must be protected against decay and termites.
- Ledger To House Attachment:** When it is desired to connect and support one side of the structure by attaching it directly to the house, the rafter spans and main beam sizes will be shown in the table.

However, the main beam may be replaced on the side attached to the house with a ledger the same size as the rafters and fastened to the studs with 3/8" x 5" steel lag screws spaced at each stud. It is not permitted to attach the rafters to the existing house rafters.

If a ledger is not used, it is recommended that the patio cover rafters be notched and placed directly on the wall plates of the house.

- Roof:** The minimum roof slope is 1/4" in one foot. Specify roof covering when submitting plans. Roof materials must be approved for roof slope.

## F. INSPECTIONS

Inspections are required at the following times:

When footings are dug; but before concrete is poured;

When work is complete and exposed for inspection.

The project is not legally complete until there is an approved final inspection. Call (623) 773- 7220 to schedule an inspection.

All lumber must be Douglas Fir/Larch No. 2 or better. All posts must be 4x4 minimum.

## PLOT PLAN REQUIREMENTS

Two copies of a plot plan are required for a permit. You must include the following items on each plan page:

- Address where patio cover is to be built.
- North arrow and scale. Suggested scale: 1 inch equals 20 feet. The information on the lot direction is available from the Planning & Community Development Department.
- Boundaries and dimensions of property. This information may be obtained from the Planning & Community Development Department.
- Names of bordering streets, width of half street.
- Location and width of easements. Information on public easements is available from the Engineering Department. Private easements should be shown on the property's deed.
- Location and distance from property lines, existing structures, retaining walls, or swimming pools.
- Carports only: Location of existing curb cuts to be closed or altered, and location of new curb cuts. A separate permit from the Site Development Division must be obtained. Call (623) 773-7600 for information.

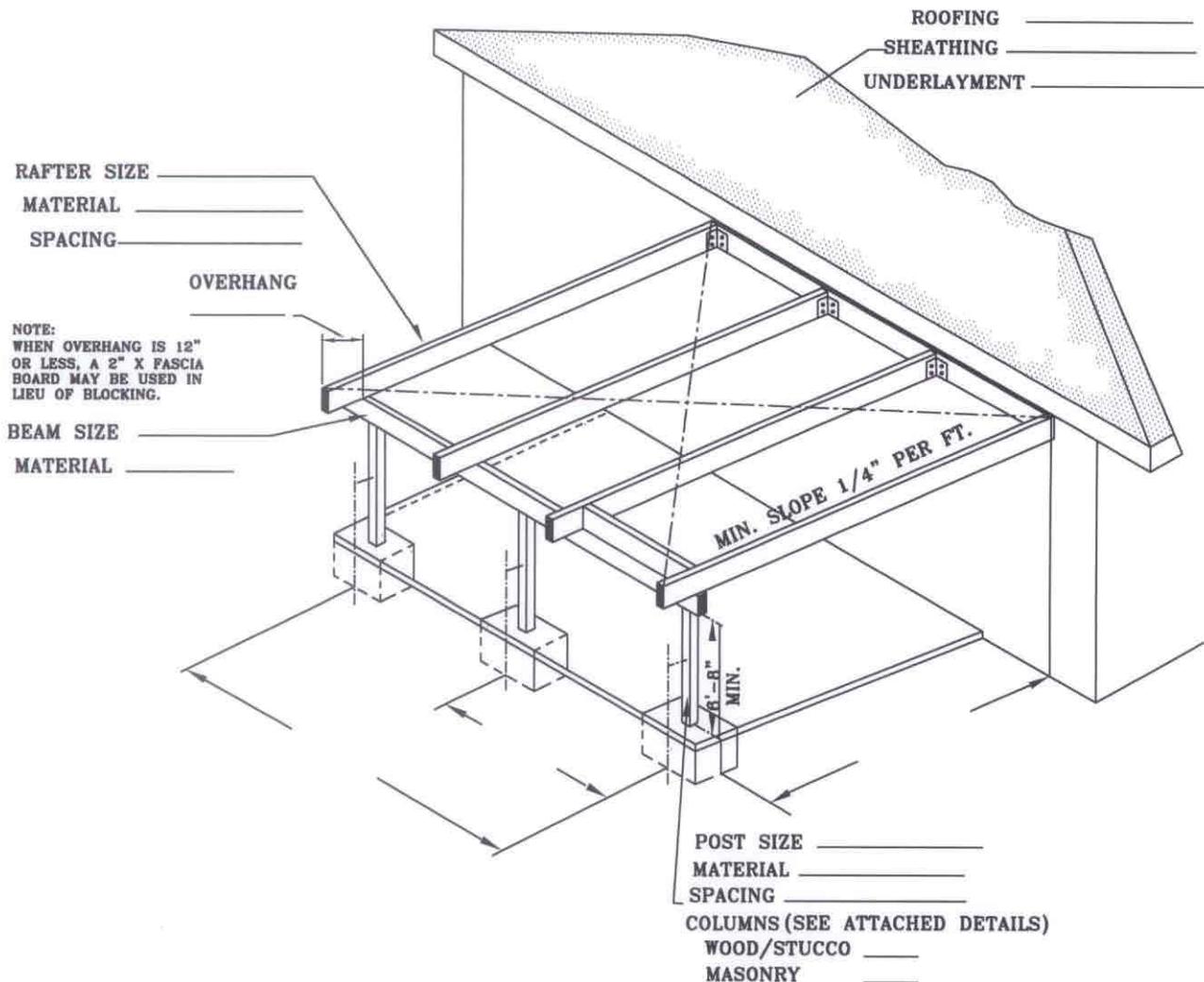
### Phone Numbers:

Building Development Division ..... (623) 773-7225  
Planning and Zoning Division ..... (623) 773-7200  
Site Development Division ..... (623) 773-7600  
Automated Inspection Request Line ..... (623) 773-7220

SPECIFICATIONS FOR  
**PATIO COVER**  
 CITY OF PEORIA BUILDING SAFETY DEPARTMENT  
 8401 WEST HOWARD STREET, PEORIA, ARIZONA 85345



REVISED 6/1/04



NOTE:  
 WHEN OVERHANG IS 12"  
 OR LESS, A 2" X FASCIA  
 BOARD MAY BE USED IN  
 LIEU OF BLOCKING.

GYPSUM BOARD CEILINGS  
 SHALL BE EXTERIOR GRADE  
 REFERRED TO AS "BROWN  
 BOARD" ICBO #1874

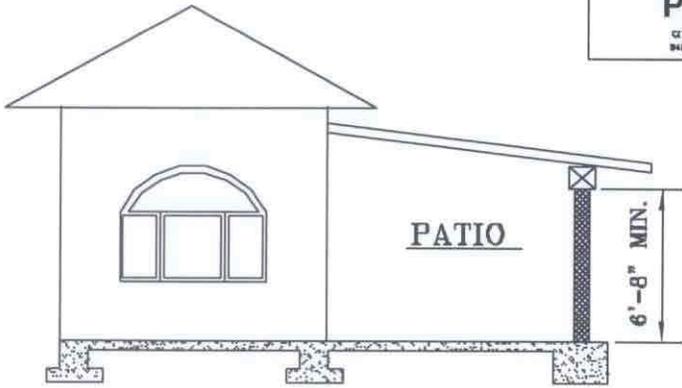
Minimum Beam Sizes (Inches)								
Post Spacing (ft)	Rafter spans (ft)							
	6	8	10	12	14	16	18	20
4	4x4	4x4	4x4	4x4	4x4	4x4	4x4	4x6
6	4x4	4x4	4x6	4x6	4x6	4x6	4x6	4x6
8	4x6	4x6	4x6	4x6	4x8	4x8	4x8	4x8
10	4x6	4x8	4x8	4x8	4x10	4x10	4x10	4x10
12	4x8	4x8	4x10	4x10	4x10	4x12	4x12	4x12
14	4x8	4x10	4x10	4x12	4x12	4x12	4x14	4x14
16	4x10	4x10	4x12	4x12	4x14	4x14	4x16	4x16
18	4x10	4x12	4x14	4x14	4x16	4x16	4x16	4x16
20	4x12	4x14	4x14	4x16	4x16	4x18	4x18	4x18

BEAM TABLE IS BASED ON  
 VALUES FOR DOUGLAS  
 FIR/LARCH #2 OR BETTER.

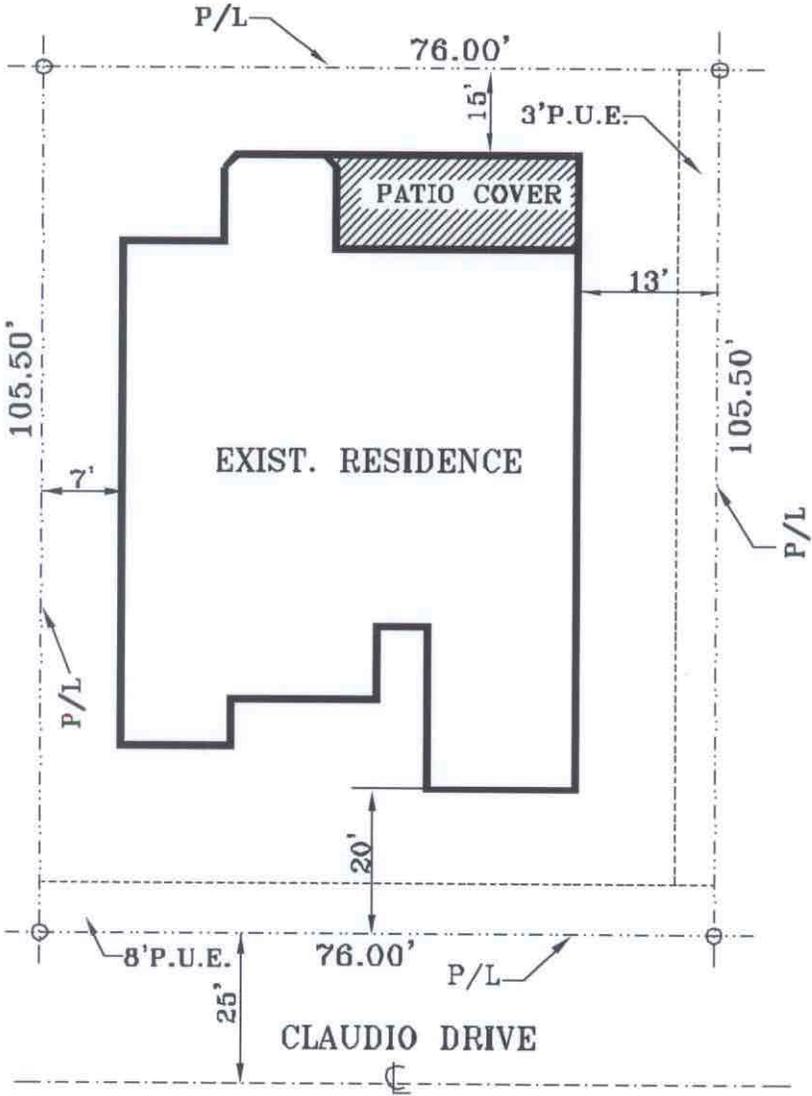
Minimum Rafter sizes (inches)			
RAFTER SPAN(ft)	Rafter spacing (center to center)		
	12	16	24
10	2x6	2x6	2x6
11	2x6	2x6	2x8
12	2x6	2x6	2x8
13	2x6	2x8	2x8
14	2x6	2x8	2x10
15	2x8	2x8	2x10
16	2x8	2x8	2x10
17	2x8	2x10	2x10
18	2x8	2x10	2x12
19	2x8	2x10	2x12
20	2x10	2x10	2x12

RAFTER TABLE IS BASED ON  
 VALUES FOR HEM FIR #2  
 OR BETTER.

SPECIFICATIONS FOR  
**PATIO COVER**  
 CITY OF PEORIA BUILDING INSPECTED DEPARTMENT  
 943 WEST HOMER STREET, PEORIA, ARIZONA 85405  
 REVISED 1/3/99



ELEVATION VIEW



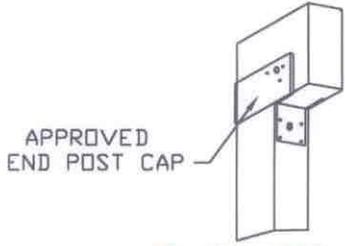
MR. THREE C. CONSTRUCTION  
7527 W. CLAUDIO DRIVE  
LOT # 3 MASLAMANI ACRES

NOTE: THIS PLOT PLAN IS NOT TO SCALE.  
EASEMENT, PROPERTY LINES, BUILDING SET BACKS.  
TO BE USED AS AN EXAMPLE ONLY.

SPECIFICATIONS FOR  
**PATIO COVER**  
 CITY OF PEORIA BUILDING SAFETY DEPARTMENT  
 8401 WEST MONROE STREET, PEORIA, ARIZONA 85345  
 REVISED 6/1/04



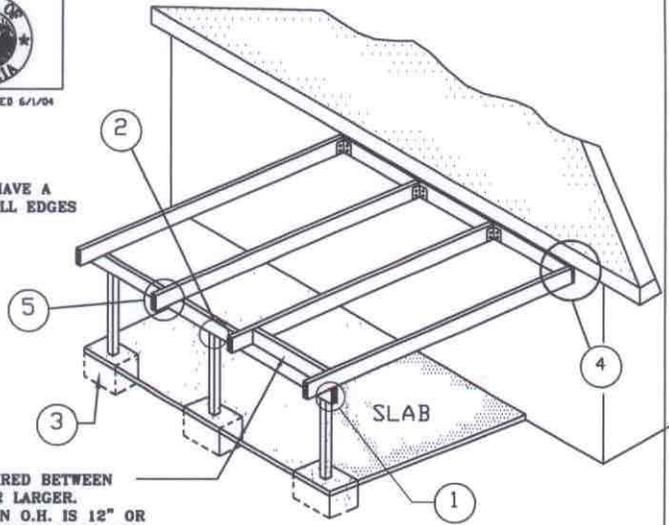
REVISED 6/1/04



APPROVED  
END POST CAP

**1** END POST AND BEAM

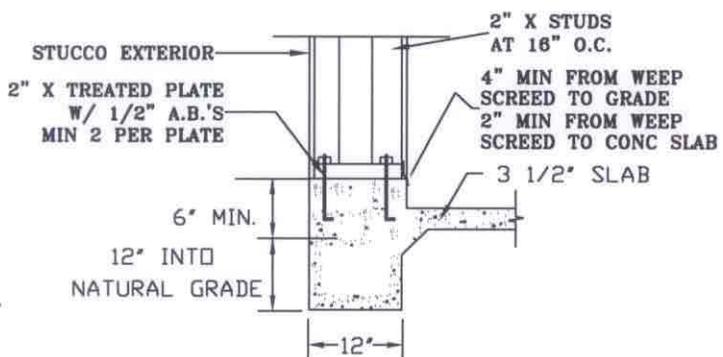
NOTE:  
O.S.B. SHEETING IS REQUIRED TO HAVE A  
MINIMUM OF 1/8" SPACING AT ALL EDGES



APPROVED  
END POST CAP

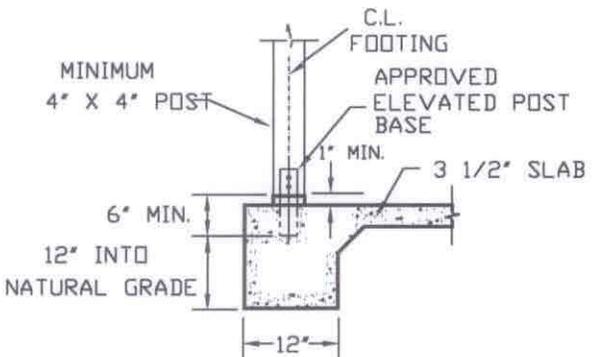
**2** POST AND BEAM

BLOCKING REQUIRED BETWEEN  
JOISTS 2"X8" OR LARGER.  
EXCEPTION: WHEN O.H. IS 12" OR  
LESS, A 2" X FASCIA BOARD MAY  
BE USED IN LIEU OF BLOCKING



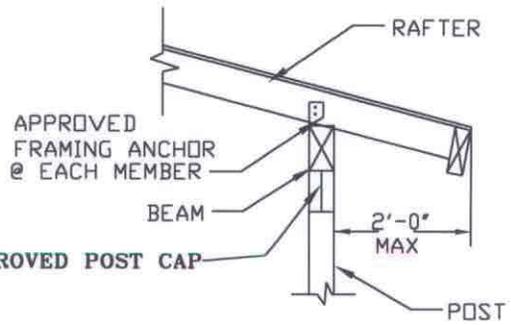
STUCCO EXTERIOR  
 2" X TREATED PLATE  
 W/ 1/2" A.B.'S  
 MIN 2 PER PLATE  
 2" X STUDS  
 AT 16" O.C.  
 4" MIN FROM WEEP  
 SCREED TO GRADE  
 2" MIN FROM WEEP  
 SCREED TO CONC SLAB  
 3 1/2" SLAB  
 6" MIN.  
 12" INTO  
 NATURAL GRADE  
 12"

**3A** FOOTING DETAIL



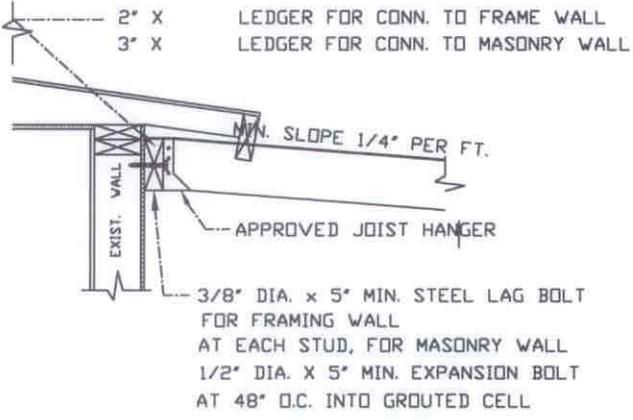
C.L.  
FOOTING  
 APPROVED  
ELEVATED POST  
BASE  
 1" MIN.  
 3 1/2" SLAB  
 6" MIN.  
 12" INTO  
 NATURAL GRADE  
 12"

**3** FOOTING DETAIL



RAFTER  
 APPROVED  
FRAMING ANCHOR  
 @ EACH MEMBER  
 BEAM  
 2'-0"  
 MAX  
 POST

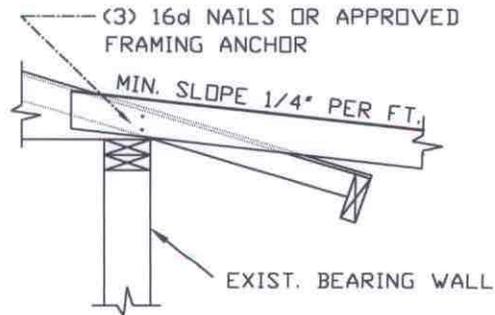
**5** RAFTER TO BEAM



2" X  
3" X  
 LEDGER FOR CONN. TO FRAME WALL  
 LEDGER FOR CONN. TO MASONRY WALL  
 MIN. SLOPE 1/4" PER FT.  
 APPROVED JOIST HANGER  
 3/8" DIA. X 5" MIN. STEEL LAG BOLT  
 FOR FRAMING WALL  
 AT EACH STUD, FOR MASONRY WALL  
 1/2" DIA. X 5" MIN. EXPANSION BOLT  
 AT 48" O.C. INTO GROUTED CELL

**4** LEDGER TO FRAME WALL  
 LEDGER TO MASONRY WALL

NOTE:  
REMOVE STUCCO, LATHE AND FOAM FOR  
WOOD TO WOOD CONNECTION AT LEDGER.



(3) 16d NAILS OR APPROVED  
FRAMING ANCHOR  
 MIN. SLOPE 1/4" PER FT.  
 EXIST. BEARING WALL

**4-A** ALTERNATE ATTACHMENT  
 FOR RAFTER ON TO BEARING WALL