



City of Peoria, Arizona

Case: Z07-13



4550 N 12th Street
Phoenix, AZ 85014

Planned Area Development (PAD) Development Standards and Guidelines Report

TRILOGY WEST

Planned Area Development (PAD)

CITY OF PEORIA, ARIZONA

First Submittal: May 30, 2013

Second Submittal: August 22, 2013

Case Z07-13

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1. Purpose of Request

The development of Trilogy West is proposed as a multi-lot size, multi-product, single family residential neighborhood. The resulting preliminary development plan has addressed issues and challenges associated with the physical site. This proposal and related exhibits seek to address the various rezoning requirements to accomplish the objectives of the proposed development plan.

Rezoning

The existing zoning for Trilogy West is primarily composed of three Planned Area Developments (PADs) except for a small portion of the site at its northeast corner which is currently zoned as SR-43. There are three separate PADs that include Z02-26, Z04-23, and Z04-10. The applicant requests a rezoning of the three existing PADs and the SR-43 to a new single PAD overlay district to cover the entire Trilogy West site. The proposed request is intended to provide a PAD district containing flexible development standards appropriate to accommodate the variety of proposed housing products, lot sizes, lot/product mixes, density transfers, and even street and subdivision design and configuration. A flexible range of lot sizes and products are also proposed that include a 40' x 100' lot (4,000 Sq. Ft.), a 50' x 105'/115' lot (5,250 - 5,750 Sq. Ft.), a 60' x 105'/115'/120' lot (6,300 – 7,200 Sq. Ft.), and a 70' x 105'/115' lot (7,350 - 8,050 Sq. Ft.).

The proposed multi-product residential development will be limited to a maximum of 1,016 dwelling units, equal to the overall yield from the previous three approved PADs and SR43 parcel zoning. At approximately 360 gross acres the yield of 1,016 lots results in a gross density of 2.82 du/ac and at approximately 357.2 net acres the same yield results in a net density of 2.84 du/ac.

In addition to the standard lot sizes anticipated as set forth above, the applicant intends to maintain the option, throughout the course of the project's development, to utilize the PAD concept of flexibility in making adjustments to housing products, lot sizes, lot/product mixes, density transfers, along with street and subdivision design and configuration as may be dictated by the market and/or consumer; however, the lot maximum of 1,016 dwelling units shall not be exceeded. Currently no one lot size or product will be designated for the subdivisions within Phases 1, 2, 3, and 4. All lot sizes or housing products are proposed to be used and mixed within all phases of the development. The development concept may be altered to utilize other lot sizes and/or to transfer dwelling unit density from one phase to another. The density of individual portions of the development will be finalized at the time of final plat.

This proposed rezoning and development complies with the City's existing General Plan designation and meets the density range requirements of the existing Residential Low designation and maintains the existing development pattern in the area. Development within that portion of the site with the General Plan designation of Residential/Estate will comply with that designation's density range requirements.

Shea Homes does not own the entire parcel of property but does control each through Option Agreements with the three other property owners. Several of the existing parcels have previous

approvals from the City of Peoria for individual PADs. For this reason Shea will be requesting a PAD option for the 160 acre parcel previously approved as the Boulders at White Peak.

The Boulders at White Peaks Option (Option 1) shall continue to be the vested zoning for the real property subject to the PAD approval request until such time as the Trilogy West Option (Option 2) is deemed vested for said real property, as set forth hereinafter. The Trilogy West Option (Option 2) shall be deemed vested upon the earlier of the recordation of the final Plat (adhering to said Trilogy West Option (Option 2) as provided in the approved PAD), or upon written request of the owner of record. The Developer shall identify the intended option to be exercised at the time of Preliminary Plat for the purpose of review and approval. *See Appendix for the Boulders at the Peak PAD* and concepts on how Option 1 will work with the Trilogy West Project.

Preliminary Plat

Preliminary plat revisions such as changes in proposed housing products, phasing, lot sizes, lot/product mixes, and even street and subdivision design will be consider administrative amendments. However, the plats will always address all relevant site issues, restraints, challenges, and requirements such as site access, site vehicular circulation and traffic impact, site drainage and retention, site utilities, site open space and landscaping and walls, site sidewalks, trails and circulation, along with all other required site improvements. *(See Preliminary Plat – Exhibit C).*

2. Background and Existing Conditions

The 358-acre Trilogy West project is located immediately adjacent to and west of the existing Trilogy community at Vistancia. The site is currently vacant and undeveloped and is bounded on the north and on the west by State Land, on the east by Vistancia Blvd., and on the south by the Dixileta Parkway alignment. The site includes a portion of the Southwest Quarter of Section 23, the Southeast Quarter of Section 22, and the Northwest Quarter of Section 27, within Township 5 North, Range 1 West, of the Gila and Salt River Meridian, Maricopa County, Arizona. Assessor's Parcel Numbers for the site include 510-03-728, 503-52-033A, 503-52-033B, and 503-52-035.

The existing General Plan designation for most of the property is Residential Low, which allows a density range between 2 – 5 dwelling units per gross acre (du/ac), with a small portion at the northeast corner of the site designated as Residential Estate which allows a density range between 0 – 2 du/ac. The existing zoning overlay for the property is mostly PAD except for the small portion of the site at the northeast corner which is currently zoned as SR-43. The PAD zoning is actually three separate PADs that include Z02-26, Z04-23, and Z04-10.

Surrounding adjacent properties to the east, within Vistancia, are zoned as PCD (Z01-10A.10) and to the north, west, and south are zoned as SR-43 *(see City of Peoria Zoning Map – Exhibit A and Existing Conditions Map – Exhibit B)*

3. Preliminary Development Plan

The Residential Development Standards as outlined below are the proposed standards for the residential lot and product development within this project. These standards are intended to utilize the requested PAD element of design flexibility to address the potential transfer of density from community open space areas, such as natural drainage ways, steep sloped areas, and other open space areas. Within the single family residential zoning districts, the residential standards will serve to permit design flexibility for lot sizes in order to accommodate market and consumer trends during the multi-year build out of the project, while maintaining minimum lot areas within each development parcel. As previously stated the total number of residential units within the overall project will have a cap of 1,016 units, however density may be transferred between the project's phases. It is the applicant's intent within lot sizes presented and proposed product to have the ability to transfer densities from one phase to another to facilitate development of all the permitted units without exceeding the total unit cap.

Two story homes are planned within this project. Shea is willing to restrict the first row of homes adjacent to the east boundary to all single story.

4. Permitted, Conditional, and Accessory Uses

All permitted, conditional, and accessory uses shall be maintained as described and without deviation within Article 14-5 of the City's zoning ordinance for the proposed PAD district.

5. Project Phasing and Development Schedule

Trilogy West is planned to be developed in four phases. The phased project is planned to begin Development of Phase 1 in the 1st quarter of the year 2014 with build-out of the houses projected for the 4th quarter of the year 2016. Phase 2 is projected to begin site improvements in 2015, Phase 3 in 2016 and Phase 4 in 2017. These are best estimate projections which can be affected by many market and other factors and are therefore subject to revision. Changes in the order of phasing or sizes of phases will require review and approval by the City but will be considered an administrative amendment. *(See Project Phasing Map – Exhibit D)*

It is likely that the individual parcels within Phase 1 and all future phases will be Preliminary and Final Platted individually. This will allow for separate construction phases within each overall stage of project development.

6. Project Development Standards

The following property and product development standards shall apply:

Property Development Standards	Detached Single Family
Min. Lot Area	4,000 s.f. ¹
Min. Lot Width	40 ft
Min. Lot Depth	100 ft
Max. Lot Coverage	55% ²
Max. Bldg. Height	30 ft
Front. Setback -side-entry garage ⁵	10 ft ^{3,4}
Front. Setback -front-entry garage	20 ft ⁵
Interior Side Setback (min/total)	5/10 ft
Min. Rear Setback	15 ft
Min. Corner Setback	10 ft
Max Density (dwelling units/acre)	5 ⁶
Maximum # of units/lots	1,016

- ¹ Not more than 40% of the lots within any subdivision shall be constructed at the minimum lot size.
- ² Calculated on an individual lot basis.
- ³ Side-entry garages shall be permitted on all lots with access from the front of the lot. Corner lots may take access from the side street where product requires.
- ⁴ To allow for a diverse streetscape, not more than 60% of the total front-facing elevation shall occur at the 10-foot setback for residential products with side entry garages, bonus rooms, or corridors, etc. For any residential product without a garage, a 10-foot setback shall apply to 100% of the front-facing elevation.
- ⁵ Where front-entry garages occur, a 10-foot front setback shall apply to the livable portion of the home provided that not more than 60% of the total front-facing elevation occurs at the 10-foot setback.
- ⁶ Individual parcel maximum densities shall be per the Peoria General Plan and overall project gross density shall not exceed 1,016 units.

Additional Provisions:

1. A structure which is a primary front entryway or porch may extend into a required front yard setback a maximum of ten (10) feet provided that a minimum of ten (10) feet remain in the front yard setback dimension and that such structures are not fully enclosed and are not more than 60% of the front-facing elevation.
2. Bay windows may project up to four (4) feet into a required yard setback provided that a minimum of ten (10) feet remains between buildings in the side yard dimension; the bay windows shall have a maximum width of twelve (12) feet, paralleling the nearest lot line.

3. Balconies may extend six (6) feet into the rear or front yard setback but must stay within the side yard building envelope; covered balconies must remain within all sides of the building envelope.

Lot Size Variation by Percentage

Size	Mix %
40' x 100'	10% - 40%
45' x 105'/115'	10% - 20%
50' x 105'/115'	15% - 40%
60' x 105'/115'	20% - 50%
60' x 105'/115'/120'	20% - 50%
70' x 105'/115'	20% - 30%
Total Max # of Lots	1016

Enhanced Design Standards

The proposed residential plans will be largely consistent in style and theme with other previously approved Trilogy at Vistancia elevations which enhance the street scene by utilizing unique architectural themes such as: Spanish, Santa Barbara, Italian, Tuscan, Desert Classic, and Andalusian; a diverse arrangement of garage configurations, and varied roof forms and orientations along with front loaded 2-car, tandem 3-car, and single-bay, side loaded garages are all present and vary by plan. Many homes have livable masses or side loaded garage masses that project beyond the face of the forward facing garage. Some plans also utilize court yard type entrances with towers, portals, or optional courtyard walls leading to the front entry. Additionally, some plans may have two story elements incorporated their design as a standard design or an optional, buyer selected feature. The fact that our Trilogy at Vistancia community design is such that home sites vary in width, and homes from all product widths will be visible along the same street, brings an additional level of diversity and aesthetic appeal. There may be other interesting residential products introduced from time to time, based on customer demand, that may include some shared side yard uses which still fit on a traditional single family lot.

Please see Exhibit I for Trilogy West home product examples.

The following development standards and requirements are to be complied with and maintained without deviation from existing City of Peoria codes, regulations, provisions, and/or requirements, within the requested PAD for Trilogy West.

- Accessory Use Standards
- Lighting Standards
- Parking Requirements
- Signage Standards
- Desert Lands Conservation Overlay

7. Project Signage Standards

Signage shall conform to the standards in Article 14-34 of the Peoria Zoning Ordinance. A permanent Master Planned Development Identification Sign will be located at the community entry at Vistancia Boulevard, and Dixileta Parkway. The entry monumentation signage shall conform to Article 14-34-27 of the Peoria Zoning Ordinance.

8. Project Landscape Standards

Parks and Open Space

Trilogy West will contain approximately 35 acres (9.2% of the gross area, 9% required) of usable open space, including a 5 acre recreation facility, 5 acres of neighborhood parks and over 25 acres of usable retention/passive open spaces. 55 acres (15.2%, 15% required) of preserved natural open space (NOS) within drainage/riparian corridors will provide numerous opportunities for walking, jogging, hiking and wildlife viewing. Trilogy West will include a mix of private parks and open space facilities to serve the specific recreational needs of its outdoor lifestyle community. Other facilities include a recreation center building (potential multi-phase), swimming pool, open turf areas, social gathering spaces, neighborhood parks and other passive open spaces. They are graphically illustrated in Exhibit H / Amenities & Recreational Facilities. Each neighborhood in the community will provide adequate usable open spaces and trail connectivity for all residents. An off leash dog park will also be incorporated into one of the community open space areas. It is anticipated that all of the open space and parks will be used by the Project and the Trilogy at Vistancia residents.

Trails and Community Recreation

Exhibit H / Amenities & Recreational Facilities illustrates the proposed network of community trails to enhance recreational opportunities and promote mobility options other than the automobile throughout Trilogy West. The proposed trails will be designed to accommodate pedestrian and multi-use access among residential neighborhoods' open space corridors and park uses. Where possible, trail crossings are planned to incorporate safe at-grade crossing locations. Trilogy West's trail system is planned to provide connectivity to Vistancia's Master Trails System and access to the existing Trilogy Kiva Club.

Streetscape

Streetscape Concepts and Landscape Palette

The Trilogy West Community will be designed and developed with the utilization of a consistent streetscape theme. This theme will set the standard for the treatment of the street environment both within the public as well as private right-of-way. The landscape planting design within Trilogy West will reflect an enhanced desert transitional planting scheme. Planting should be designed with emphasis on species variety for a blending of texture, color and flower mix. Plant massing, with drifts of accents, creates continuity throughout the community as initiated by the main entry, neighborhood entries, roadways, open space and park zones. Within the private

right-of-way, turf, palm trees and other enhanced landscape features may be utilized in key focal environments. These are graphically illustrated in Exhibit F & F-2 / Collector Road Landscape, and Neighborhood Park & Entry Prototypes.

End of Block Landscape Palette

Matching this projects theme and construction techniques to those of Trilogy at Vistancia is important to Shea Homes. The end of block landscape will be implemented as shown on Exhibit F. Corner lots are 10' wider than interior lots. This allows for ample side yard landscape. For this project, as within Trilogy at Vistancia, the corner lot property owner is responsible for all on lot landscape which includes front, rear, and side yard landscape. The side yard landscape installation and maintenance is the property owners responsibility up to the back of sidewalk (See Exhibit F). The side yard for each of the end of block lots is 10' wider to also accommodate the 8' PUE. No walls will be permitted to be constructed within the PUE or within 10' of the property line. This design criteria will be spelled out in the Trilogy West CC&R's and HOA Design Guidelines. Wall construction will also only be permitted after prior approval by the City of Peoria Engineering Department. In addition, each homeowner is to provide and maintain 1 tree per 30 linear feet, and 5 shrubs per 30 linear feet on average within the side yard area. All Plants shall be watered with an automatic drip irrigation system from the private property owners irrigation system. All landscape areas excluding turf to be covered with crushed rock.

Palm Trees

The following palm trees have been added to the plant list and will be maintained by the HOA.

- Chamaedorea sp.
- Trachycarpus fortunei
- Chamaerops humulis
- Cycas revoluta
- Phoenix dactylifera
- Phoenix robselenii
- Syagrus romanzoffianum
- Various low growing Palms
- Windmill Palm
- Mediterranean Fan Palm
- King Sago Palm
- Date Palm
- Pigmy Date Palm
- Queen Palm

Entry Feature & Wall Elevations

The Primary Entry Feature and Monumentation will be located from Vistancia Boulevard, approximately a quarter mile North of Trilogy Boulevard. Exhibit G reflects the entry monumentation concept and will complement the existing Trilogy at Vistancia Primary Entry. Similar architectural forms and landscape features will be utilized in Trilogy West to complement adjacent residential development. Refer to Exhibit G & G-2, Entry Feature & Wall Elevations.

1. Landscape Requirements (Article 14-35)

The landscape standards for the Trilogy West PAD shall be as established in Article 14-35 – Landscape Requirements of the Peoria Zoning Ordinance, except as modified below.

Section 14-35-4 A.1 – On-Site Improvements

c. Table: All non-residential developments shall contain a minimum of one (1) tree and five (5) shrubs for every four hundred (400) square feet of required on-site landscaping, except that large turf facilities (baseball fields, soccer fields, open play areas) shall contain a minimum of one (1) tree and five (5) shrubs per fifteen-hundred (1500) square feet of required on site landscaping. For up to 25% of the required trees, a 36" box tree may count as 1.5 trees and a 48" box tree may count as 2.0 trees.

Section 14-35-4 A.2 – Street Frontages and Rights-of-Way

a. The installation of street trees, shrubs, and vegetative ground cover shall be required for projects in an amount equal to or greater than one(1) tree and three (3) shrubs for every thirty (30) lineal feet of street frontage, and vegetative ground cover. The shrubs and ground cover shall occupy a minimum of sixty percent (60%) of the total street frontage landscaped area at maturity.

d. Trilogy West shall be exempt from this provision. Future phases of contiguous development shall include street frontage and right-of-way landscaping with the first phase of development. The area and plantings provided for subsequent phases shall count only towards the landscape requirements for the future development. This requirement may be modified for large-scaled projects as approved by the Community Development Director or designee. (Ord. No. 02-95)

Section 14-35-4 A.4 – Parking Area Landscape Requirements

a. One (1) parking lot island with raised concrete or decorative curbing shall be provided for every eight (8) parking spaces. In addition, landscape islands shall be provided at the end of each parking row. A deviations from this standard may be considered by the Planning Manager or designee provided the intent of the requirement is met.

Section 14-35-4 B.5 – Irrigation Standards

Modify second paragraph as follows: A separate water meter shall be installed for landscaping that is installed within the right-of-way and maintained by the City. For developments in which the property owner and/or HOA is to maintain the right-of-way landscaping, the right-of-way irrigation system may be part of the on-site irrigation system.

Open Space and Wash Preservation (Unique to Trilogy West)

The Trilogy West Open Space and Wash Preservation standards are intended to implement Exhibit H / Amenities & Recreational Facilities. The standards below will provide the regulatory standards affiliated with drainage corridor preservation throughout the Trilogy West planned community. Exhibit H documents the drainage corridors that will be preserved in a natural condition through the implementation of the Planned Area Development (PAD) overlay plan. Drainage corridors (washes) not represented on this plan will be subject to diversion of storm water flows. To preserve and protect the significant washes within the

Trilogy West Project, it shall be the express intent of the provisions of this Section to formulate a wash preservation program through the development standards provided below. Therefore, development proposals (subdivision plats and site plans) within the Trilogy West shall not be required to conduct slope analysis studies affiliated with slope conditions within the drainage corridors.

All development within the Trilogy West shall adhere to a Wash Corridor Protection Plan documenting the location of all significant washes on the site in accordance with the standards noted below. The plan shall show the relationship between the existing primary wash corridors and the proposed development activity. The plan shall document and show all wash protection measures, road crossings and pedestrian and recreational amenities planned along the wash corridors.

- A. . All Primary (FEMA mapped) washes will be preserved pursuant to the terms of the United States Army Corps of Engineers 404 Permit.
- B. A minimum of 15% of the total acreage of the PAD will be preserved as Natural Open Space. This area may be evenly distributed among the development parcels, or concentrated in one or more areas to achieve preservation of specific features. This natural open space may include hillside areas or other sensitive lands, such as wash corridors, concentrations of native, protected vegetation and wetlands. The precise location of the natural open space areas will be determined through the master planning process and implemented by the plat and site development processes. Private, public-access or public multi-use trails shall be allowed within designated areas of Natural Open Space to encourage recreational use of these areas, while minimizing disturbance to the natural environment.
- C. All protected plants within the defined development area of a Preliminary Subdivision Plat or Preliminary Site Plan shall be protected and maintained where possible within Trilogy West. To this effect, the master developer and subordinate developers shall implement a salvage and revegetation operation to preserve and conserve natural plant resources found within Trilogy West. An onsite nursery will provide care for protected and valuable plant resources for re-use within the community.

For undeveloped and unsalvaged areas of Trilogy West, a Native Plant Inventory shall be prepared and submitted with Preliminary Plat or Site Plan submittals to the City of Peoria Planning Department to identify protected plant material as listed within Table D.7 Protected Native Plan List below. Map(s) shall be created showing the location of protected plants with an indication as to whether the vegetation will be preserved in place or relocated to another area. The site development Landscape Construction Document(s) shall indicate relocated salvaged or preserved in place plant material. Plants to be inventoried and preserved include cacti that are four (4) feet or greater in height and trees that are four (4) inches or greater in caliper. In addition, the Native Plant Inventory shall include the following regarding each protected plant:

- Plant Type – botanical and common name
- Plant Size - caliper in inches for trees; height for cacti
- Plant Status – Indication whether plant will be preserved in place, relocated, or destroyed (must include explanation if plant is not salvageable)
- Nursery Management Plan – Includes methods for salvaging and establishment of temporary nursery on site

D. Native vegetation shall not be pruned or removed from areas of designated Natural Open Space, unless a health, safety, or welfare issue exists. Table D.7 represents a list of the protected native plants which shall be preserved within areas designated or deed restricted as natural open space.

Table D.7 Protected Native Plant List

Botanical Name	Common Name
TREES	
<i>Cercidium floridum</i>	Blue Palo Verde
<i>Cercidium microphyllum</i>	Foothills Palo Verde
<i>Chilopsis linearis</i>	Desert Willow
<i>Juniperus mono sperma</i>	One-Seeded Juniper
<i>Olneya tesota</i>	Ironwood
<i>Populus fremontii</i>	Fremont Cottonwood
<i>Prosopis velutina</i>	Velvet Mesquite
CACTI/SUCCULENTS/ACCENTS	
<i>Carnegieia gigantean</i>	Saguaro
<i>Ferocactus species</i>	Barrel Cactus
<i>Fouquieria splendens</i>	Ocotillo
<i>Peniocereus greggii</i>	Desert Night-Blooming Cereus
<i>Yucca baccata</i>	Banana Yucca/Blue Yucca/Datil Yucca
<i>Yucca elata</i>	Soaptree Yucca

9. Hillside Development Overlay District, Slope Analysis

Considerable topography exists in the northeast corner of the project. A slope analysis has been performed, see Exhibit J. See Appendix for amended Trilogy West Hillside Development Overlay District standards.

10. Recreation Center

A private club facility will be built for this project and is planned to be constructed during the first phase of sales of the proposed development. The proposed 5-acre site for the private club is shown conceptually on Exhibit H. The club facility will be available for the use of all residents in the current Trilogy and within Trilogy West. Onsite parking will be provided and lighting will be in compliance with the City's night sky standards. There will be a trail system in the project starting at the club facility as well as a proposed trail connection to the Vistancia Discovery Trail system. The proposed club facility may include amenities such as:

- Pool
- Artisan Studio
- Workout Facility
- Culinary Studio
- Passive and/or Active Outdoor Programming

The building and club site are in schematic design with our architect and land planner so details are still forthcoming. Shea has committed to the current existing Trilogy homeowners, however, that they will add a new fitness equipment room equal in size to the existing fitness equipment room at the Kiva Club and a new locker room double in size to the existing Locker rooms at the Kiva Club. Shea also announced that there will be an artisan studio and culinary studio at the new club. Also, there will be an additional outdoor pool with a pool deck area the same size as at the pool deck area at the Kiva Club, doubling the pool deck offering. Exterior uses will also include passive and / or active programming.

Shea has committed that we will present the conceptual amenity offering, both indoor and outdoor, along with their sizes, to the Trilogy at Vistancia members no later than 30 days prior to our P&Z hearing with the City, as we know that the annexing of new amenities is important to current Trilogy members.

11. Infrastructure/Utilities

The main entry and point of access to the property will be from the existing improvements along Vistancia Boulevard at the eastern boundary of the site. A second point of main entry will be from Dixileta Parkway along the southern boundary of the project. Dixileta Parkway will be a public roadway and will be improved to the City of Peoria half street arterial roadway improvement standards. Shea Homes will only be responsible for the north half street improvements. Dixileta Parkway is not complete to the western boundary of Vistancia. The City of Peoria has represented that Dixileta Roadway improvement east of Trilogy West will be completed by others and available when needed for connection. Please refer to the Trilogy West Traffic Impact Study for more information.

Because Dixileta Road is adjacent to the southern boundary of the project, Shea will make the necessary half street roadway improvements along that same boundary. The Trilogy West project is only adjacent to the north half of the roadway, and Shea will only be responsible for the north half street. Similarly, 135th Avenue to the west borders the project. This roadway half

street will be constructed to City Minor Arterial Standards. Shea will be responsible for the east half street improvements and right-of-way dedications.

Because no access exists to this project and no future state land purchase is imminent, Shea will not be required to construct Dixileta Road west of the Trilogy West entrance or to build the east half of 135th Avenue until 90% of the project's Certificates of Occupancy (COFO) are issued.

To meet the internal traffic circulation needs of the project, a private collector roadway will be improved north of Dixileta Parkway and west of Vistancia Boulevard. Entry gates will be installed where the private collector roadways intersect Dixileta Parkway and Vistancia Boulevard. The collector roadway is proposed to match the existing collector street section within Trilogy at Vistancia. Private local streets will be installed within each of the proposed parcels. The typical local street section will match the street section as it exists within the Trilogy at Vistancia project.

For this project Shea may desire to provide a sidewalk or trail between rear yards in select locations. In this location a trail easement will be provided. Should this design alternative be implemented, Shea may elect to remove the sidewalks from the one side of the affected local street. Alternative designs will be approved during preliminary plat review. (See Exhibit F-3)

Water service to the property will be provided by the City of Peoria. Water service will be provided from existing excess capacity within the existing City of Peoria water system. In the long term, water supply and/or redundant water supply for Trilogy West will come from the proposed Lone Mountain water line. The timing of the Lone Mountain water line is estimated to be 24 to 36 months from completion. Water service to Trilogy West will be needed prior to the Lone Mountain water line being in place. To assure the City of Peoria adequate water supply and / or redundant water supply to the Trilogy West project an agreement is also currently being drafted between Shea Homes and EPCOR Water. The agreement will allow emergency interconnect between the City of Peoria water system and the EPCOR Water system in the vicinity of Dysart Road and Jomax Road. The emergency interconnect proposed would provide the City of Peoria water supply from EPCOR should the same be needed prior to and only until the LMWC is completed and in service

Water storage for this project will be accommodated at the proposed Westland Water Campus. The Westland campus is a proposed campus that will meet the needs of Vistancia and Trilogy West water storage and may be upsized to accommodate other participating parties. Trilogy West under guidance from the City of Peoria is currently partnering with other property owners to fund the initial water campus study and design report. Following the design report Shea, Vistancia, and potentially other property owners will fund construction plan preparation. Upon approval of the construction plans Shea, Vistancia, and potentially other property owners will fund the construction of the Westland Water Campus.

Connection to the existing water mains within Vistancia Boulevard and Dixileta Parkway will be made at the Trilogy West collector roadway intersections. An internal 12-inch water line is

proposed along the Trilogy West collector and 8-inch water lines are proposed along all local streets. Please refer to the Trilogy West Water Master Plan for additional detailed information.

Fire sprinklers will be provided within each dwelling.

Sewer service to the project will be provided by the City of Peoria. Waste water treatment will take place at the existing City of Peoria Jomax Treatment Plant. A portion of the sewer for the Trilogy West project will flow east and southeast, following the existing topography, and make connection to existing City of Peoria sewer mains. Several connections will be made to existing sewer mains that have excess capacity, per design, even when accounting for ultimate build out of the Vistancia project. Although the first two phases of the Trilogy West project will connect to existing sewer mains, Shea Homes is willing to play a role in funding that allocatable to Trilogy West dwelling units the future construction of the offsite 15-inch and 18-inch regional sewer main that travels south of Dixileta Parkway along the Dysart Road alignment. Additional detailed information is provided within the Trilogy West Sewer Master Plan.

Electrical service will be provided by the Arizona Public Service Company. Cox Communications and Century Link will provide communications and cable service. Southwest Gas will provide gas service.

The City of Peoria will provide police, fire, and refuse services.

12. Onsite and Offsite Drainage

The Federal Emergency Management Agency (FEMA) and National Flood Insurance Program (NFIP) issued the Flood Insurance Rate Map (FIRM) for Maricopa County, Arizona and Incorporated Areas, Map Numbers: 04013C0740H, Map Revised: September 30, 2005. The site property is located within the Zone X, Zone A, and Zone AE. Existing natural washes cross the site from the northwest flowing southeast. The existing washes are where the existing flood plains are mapped. Storm water from the northwest will continue to be conveyed through the existing significant natural washes flowing to the southeast. Where necessary, flood walls, bank protection, or erosion setbacks will be provided along the wash corridors to ensure the storm water is managed in a safe manner.

Several of these washes have been delineated as Section 404 of the US Clean Water Act. These washes will require a Section 404 Permit from the United States Army Corps of Engineers. Shea Homes will be preparing and requesting this permit as a part of this project. A majority of the Section 404 washes will remain in place. Open space areas adjacent to the natural washes will also be preserved with exception of modifications for pedestrian trails and roadway or utility crossings.

In some locations, new homes are proposed in areas currently shown within the existing FEMA defined flood plain. In these locations a final grading and drainage design will be implemented so as to remove the future home from the existing flood plain. To formally remove the home from the flood plain a Conditional Map of Letter Revision (CLOMR) and Letter of Map

Revision (LOMR) will be prepared and submitted to the City of Peoria, Flood Control District of Maricopa County, and FEMA for review and approval.

Onsite run off will be managed to flow in the local streets to onsite retention basin open space areas. The rainfall used to calculate the basin volume will be based on the NOAA Atlas 14, Volume 1, Version 5, Point Precipitation Frequency Estimates (PPFE) with 90% confidence interval. The proposed retention basins will be designed to retain the on-site runoff for the 100-year, 2-hour storm event for those basins that are not located adjacent to natural washes. Basins located adjacent to natural washes will be designed as first flush retention basins. The designed side slope is 6:1 adjacent to public rights-of-way or pedestrian access, and 4:1 adjacent to the lot walls and fences. The retention basins will have a maximum ponding depth of 3-feet with minimum bottom slope of 0.1% for positive drainage toward discharge points. The retention basins will be designed to drain within 36 hours. However, certain variations in the geological characteristics make-up of the property may result in a slower drain time. If this occurs, dry wells will be installed as necessary to ensure the retention basins drain properly and within the allocated 36 hour period. Retention basins adjacent to existing natural washes will have bleed off pipes installed to allow storm water to drain at a metered rate.

13. Legal Description

See Exhibit K.

14. Community Facilities District

A Community Facilities District (CFD) is desired by Shea Homes and the City of Peoria for this project. The City has indicated a desire to keep property taxes between the Trilogy at Vistancia project and this project at similar levels. In keeping with this desire Shea Homes may request that the City allow formation of a new CFD.

Shea and the City have agreed to assessment and / or General Obligation Bonds to be issued in amounts equating to the desired \$2.10/home tax rate on an equal amortization schedule to Vistancia CFD or 20 years.

The structure will be as finally approved by the City of Peoria but is contemplated to include the timing of bond issuances to be only once tax basis exists to justify the debt service as Shea Homes is not in a position to provide credit enhancements or corporate guarantees.

15. Stipulation and / or Conditions of Approval

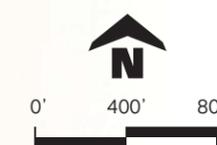
As outlined above, the Trilogy West project incorporates several significant infrastructure projects. City of Peoria and Shea Homes are working towards more defined requirements stipulations and / or conditions of approval for the various infrastructure elements of this project. Conditions of approval will be incorporated in the final PAD and/or attached as stipulations.



Trilogy[®] West

City of Peoria Zoning Map

Exhibit A



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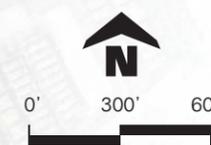




Trilogy[®] West

Existing Conditions Map

Exhibit B



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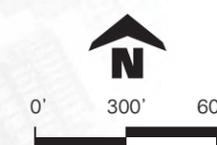
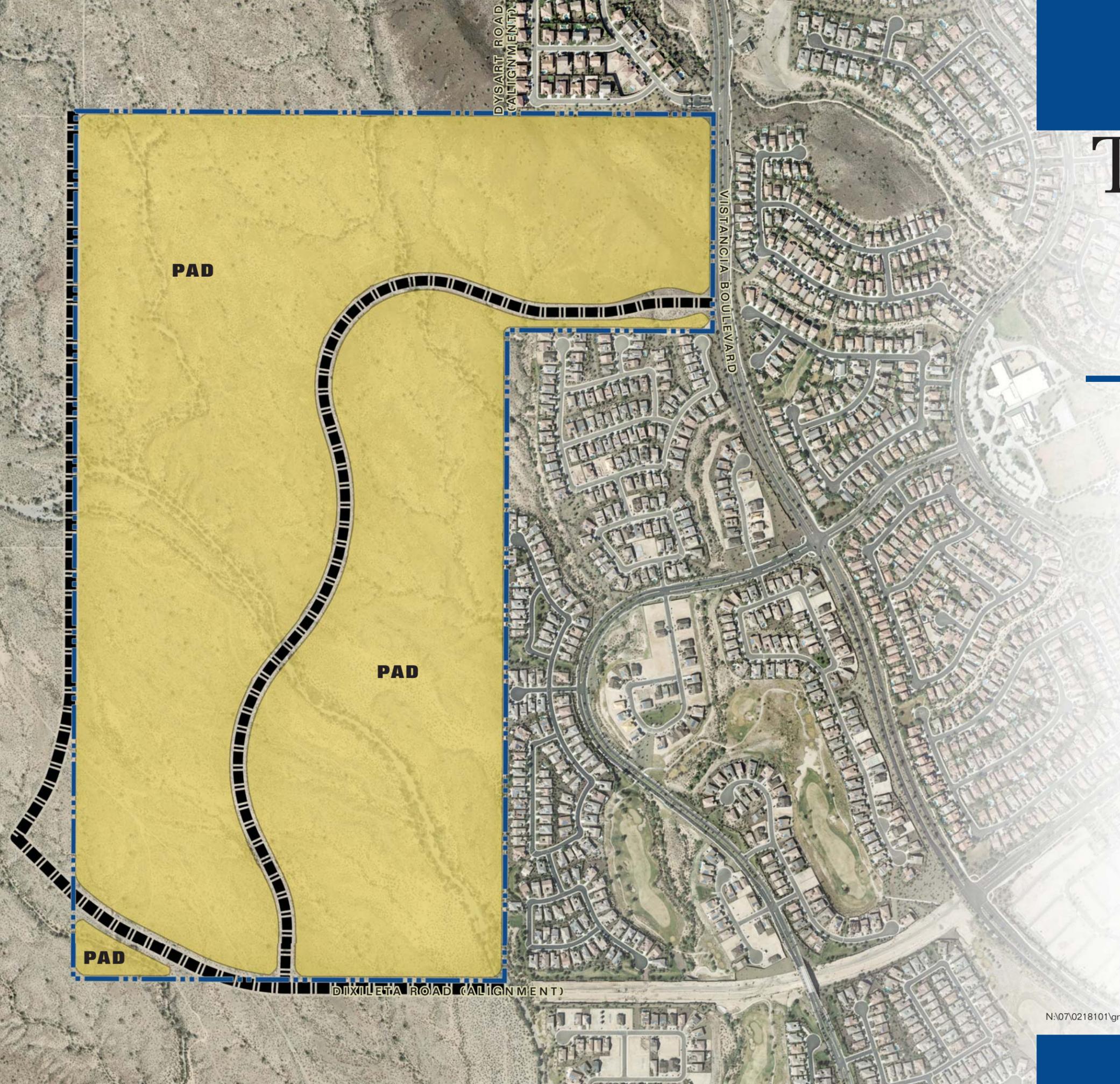




Trilogy[®] West

Bubble Plan

Exhibit C



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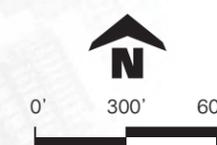
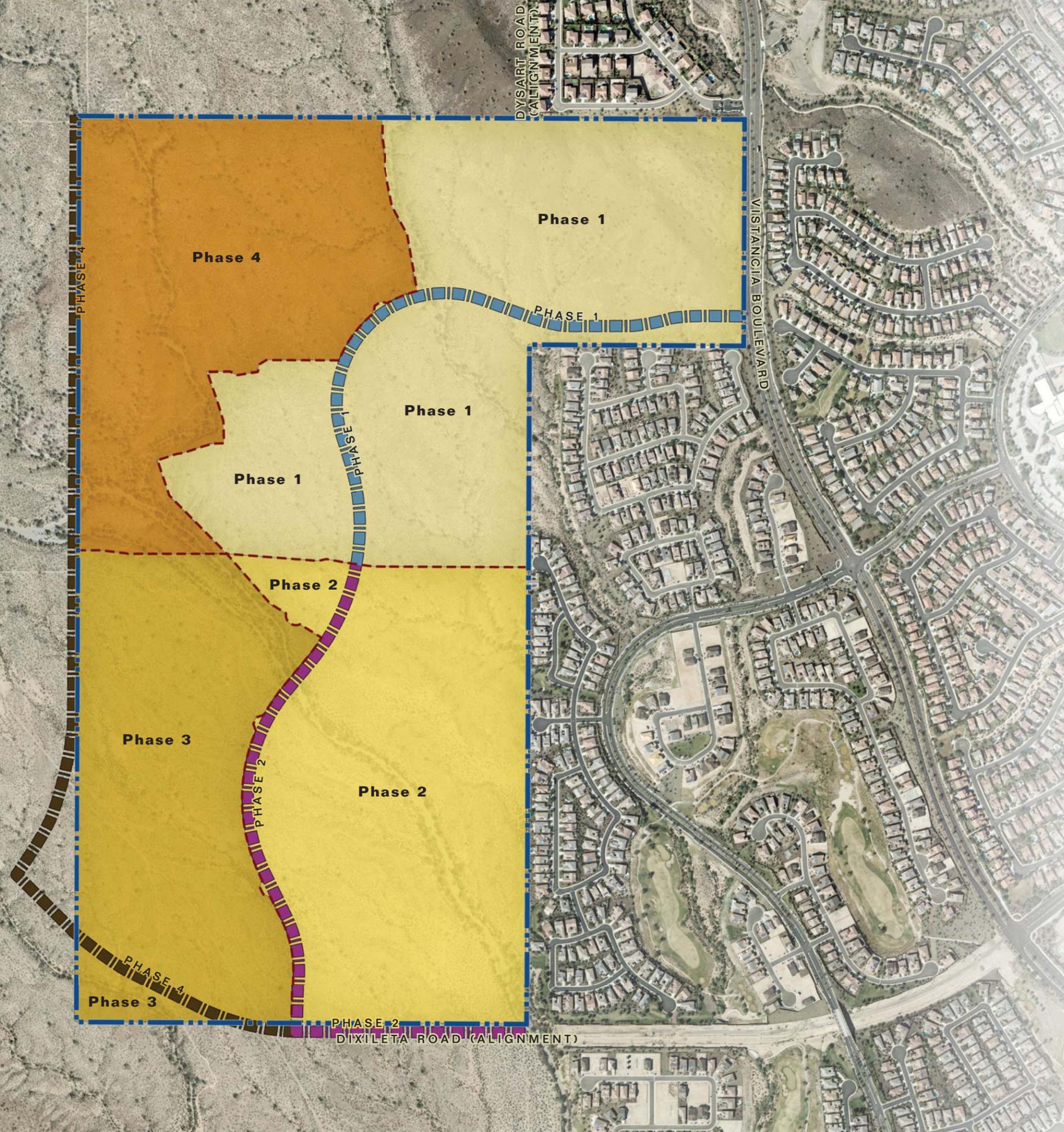




Trilogy[®] West

Proposed Project Phasing Map

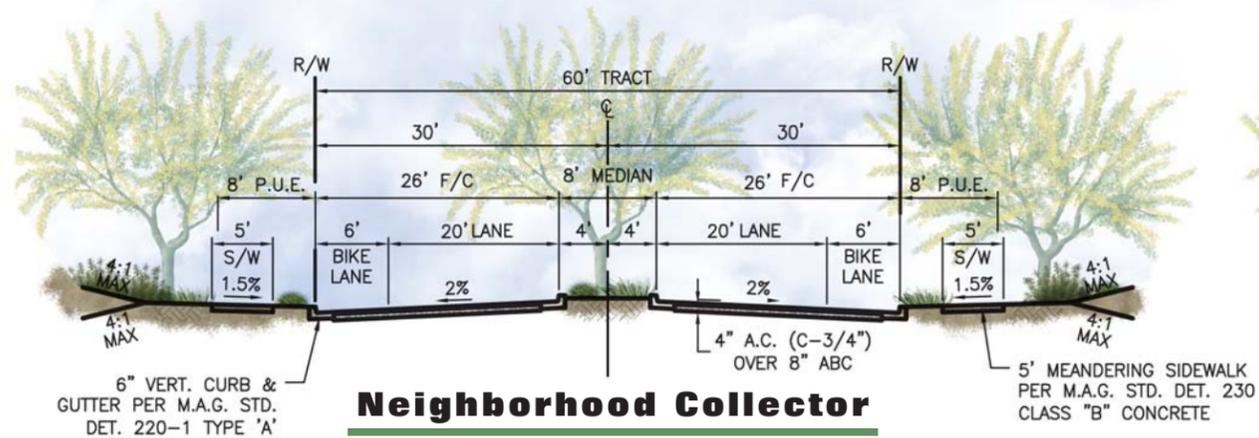
Exhibit D



3 September 2013

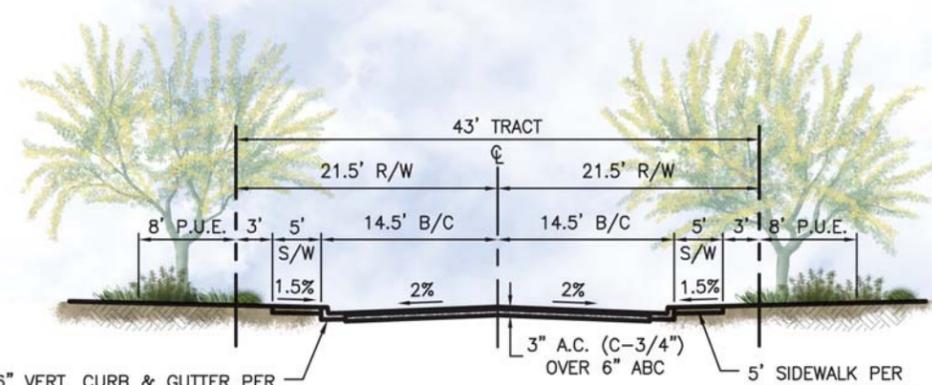
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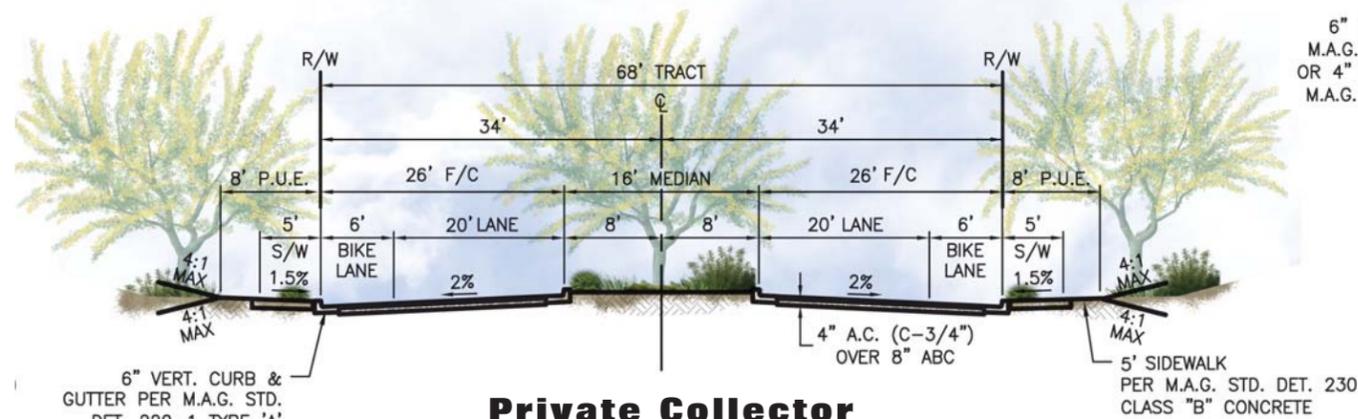
Neighborhood Collector

Recreation Center Entrance Road
Modified City STD



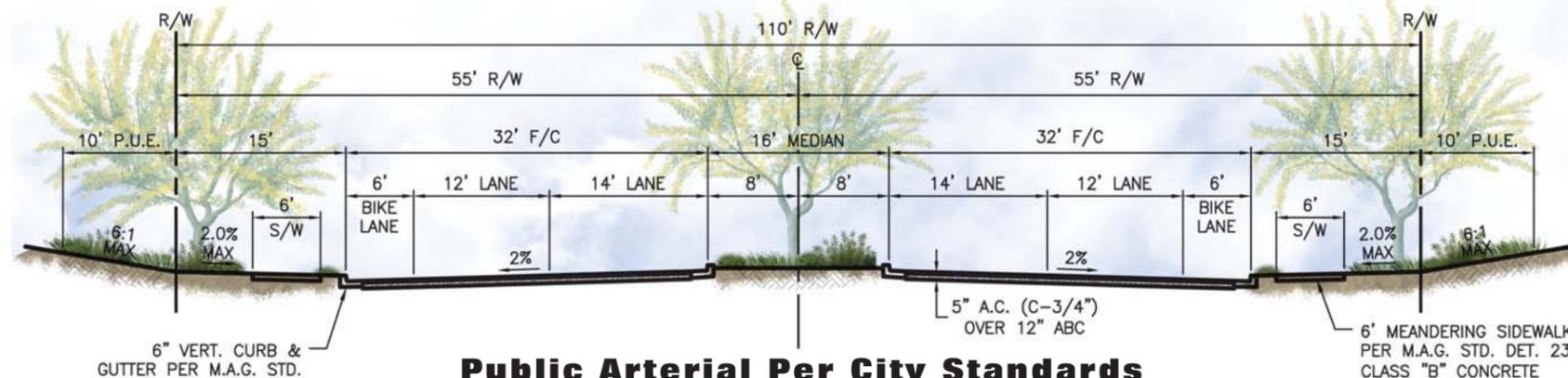
Private Local Street

Modified City STD



Private Collector

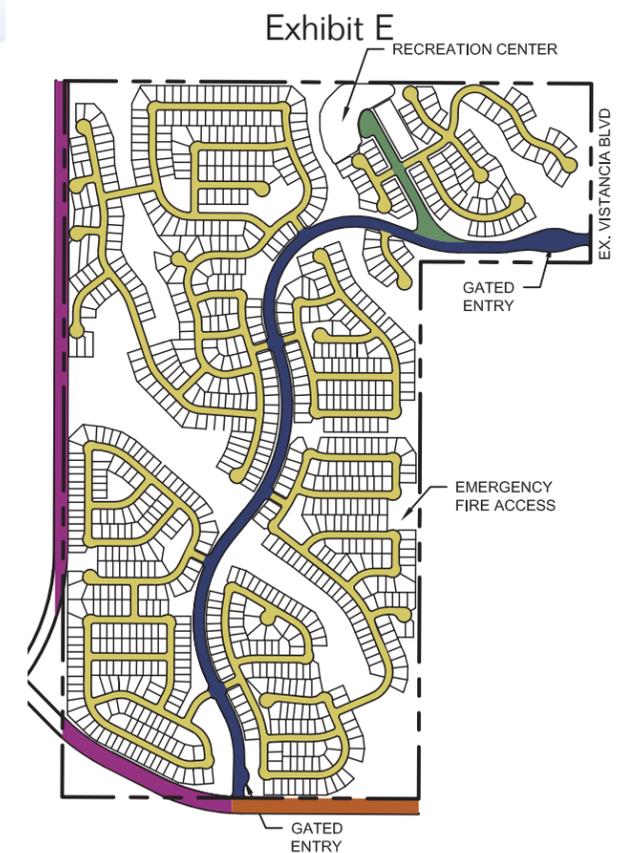
Modified City STD



Public Arterial Per City Standards

Dixileta North - Half Street Only
135th Avenue East - Half Street Only

Proposed Street Sections



- LEGEND
- PROPERTY BOUNDARY
 - PRIVATE LOCAL STREET
 - NEIGHBORHOOD COLLECTOR
 - PRIVATE COLLECTOR
 - 1/2 STREET PUBLIC ARTERIAL (PHASE 2)
 - 1/2 STREET PUBLIC ARTERIAL (PHASE 4)



Trilogy[®] West

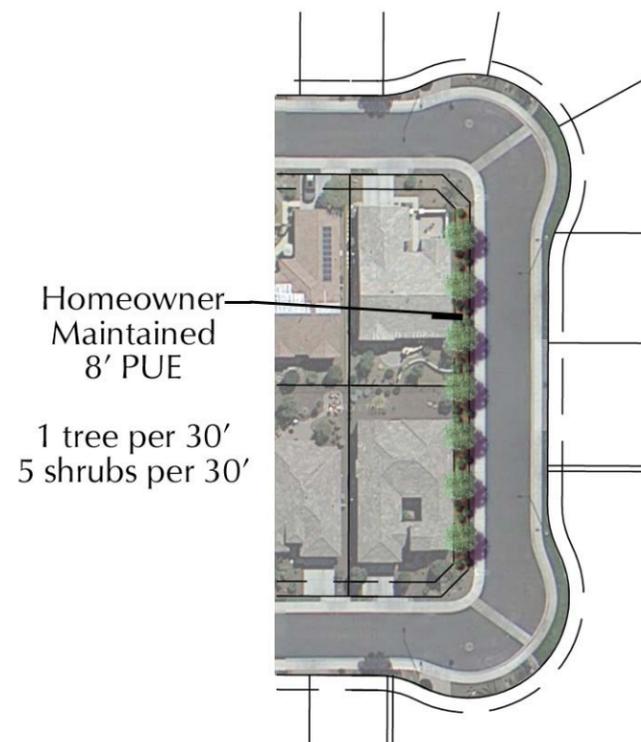
Proposed Collector Road and End of Block Landscape



Collector Road Landscape



Exhibit F



End of Block Landscape Landscape

Landscape Design &
Rendering by:

GREY | PICKETT

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**Proposed Neighborhood
Park & Entry**

Exhibit F-2

Landscape Design &
Rendering by:

GREY | PICKETT

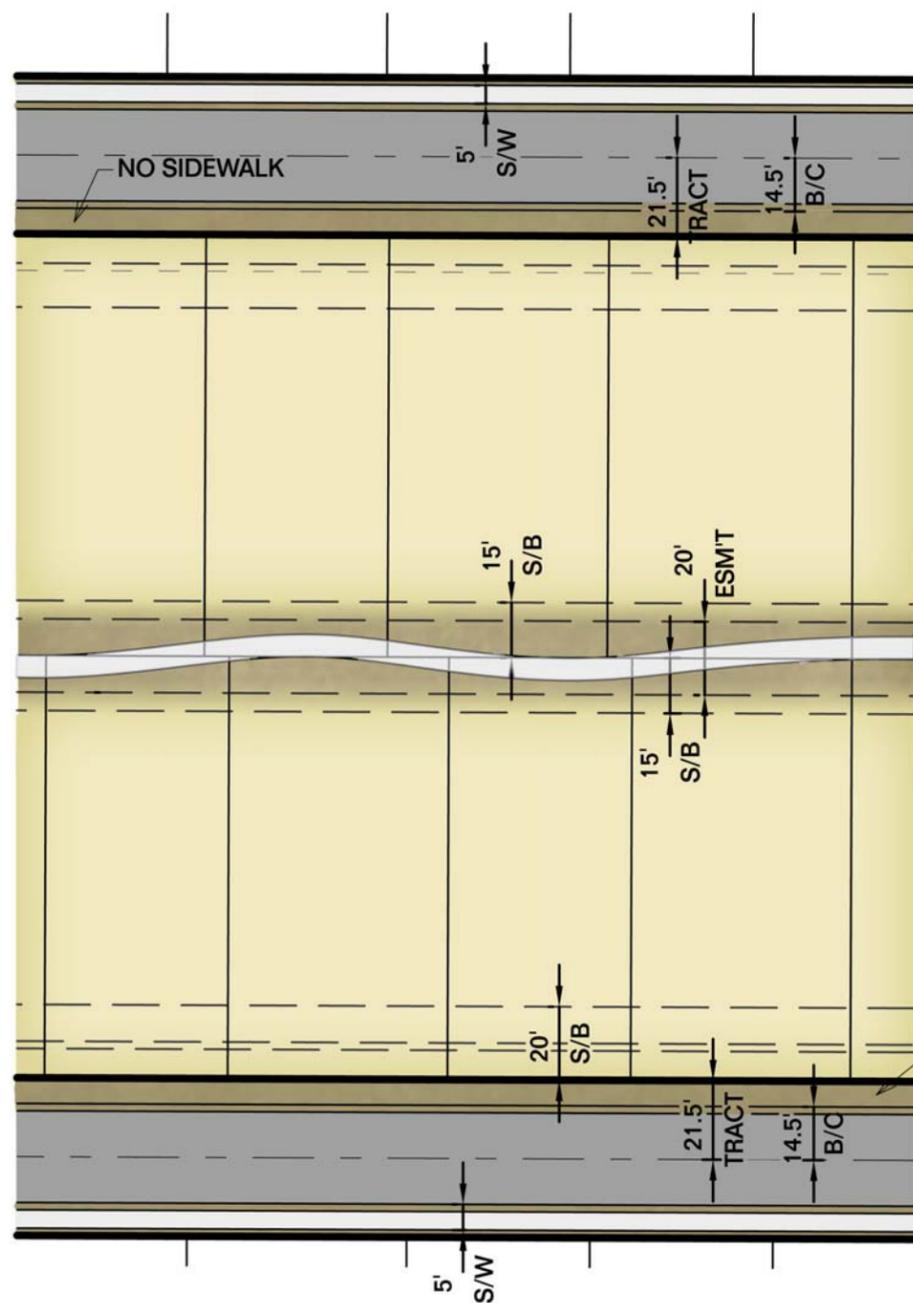
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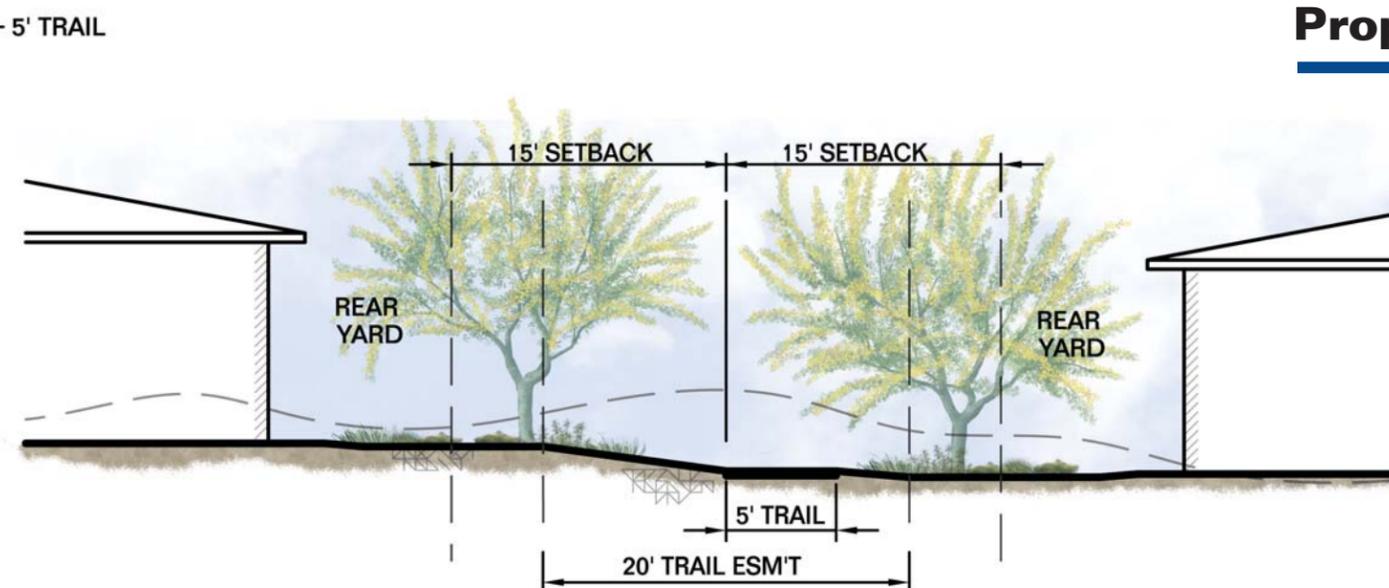
Proposed Rear Yard Trail

Exhibit F-3

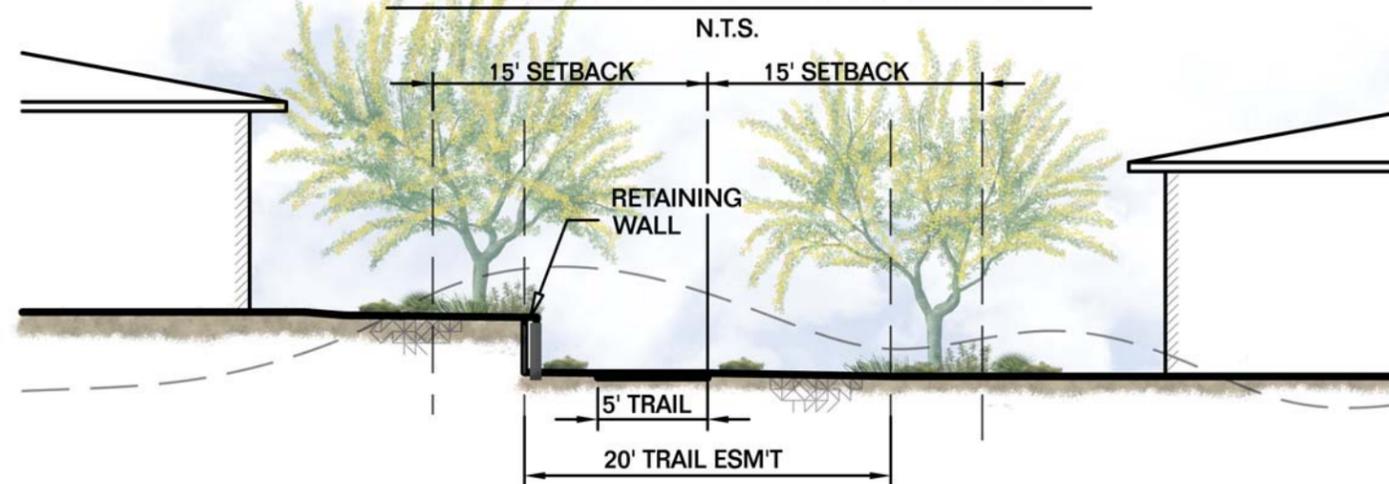


REAR YARD TRAIL DETAIL

N.T.S. WHERE SHOWN

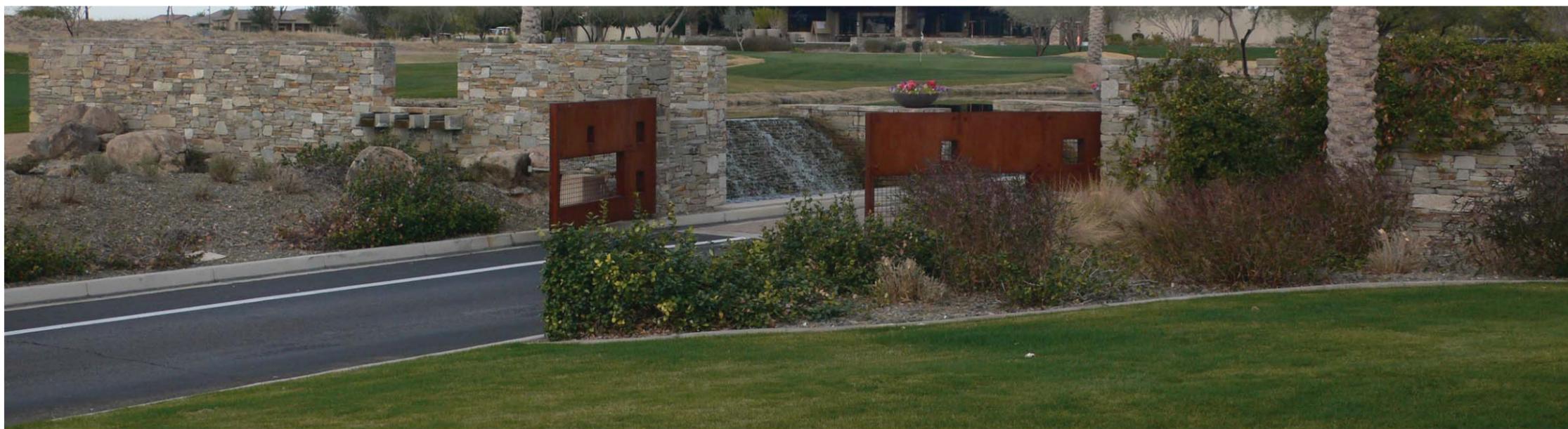


TYPICAL REAR YARD TRAIL



REAR YARD TRAIL

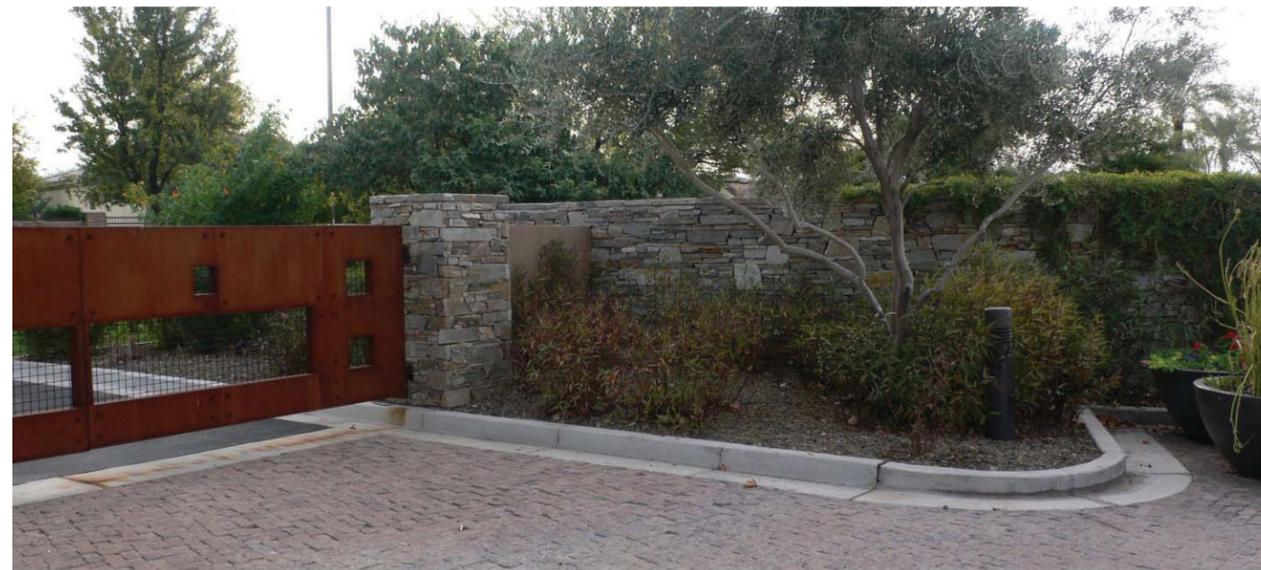
N.T.S.



Trilogy
West

Proposed Entry Feature

Exhibit G



Primary Entry Gate Examples

Landscape Design &
Rendering by:

GREY | PICKETT

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Trilogy West

Proposed Wall Elevations

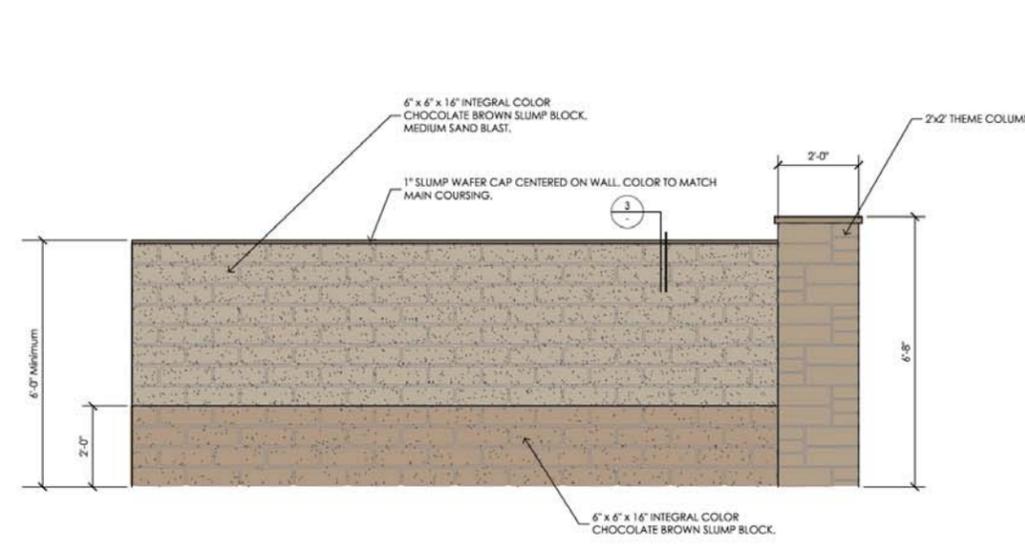
Exhibit G-2

Landscape Design & Rendering by:

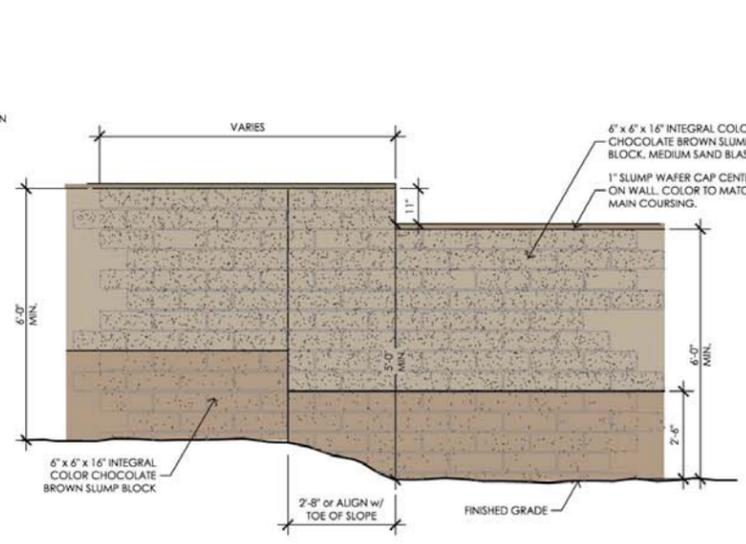
GREY PICKETT

3 September 2013

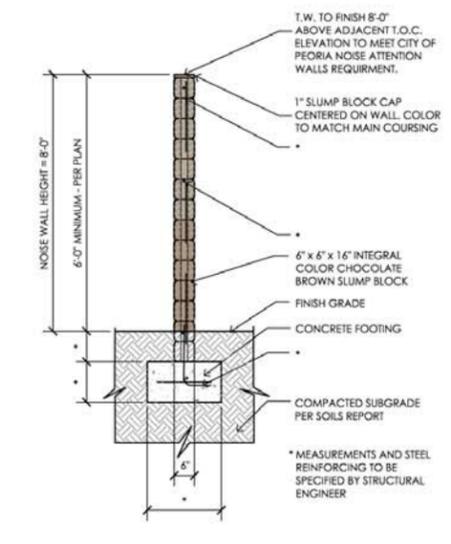
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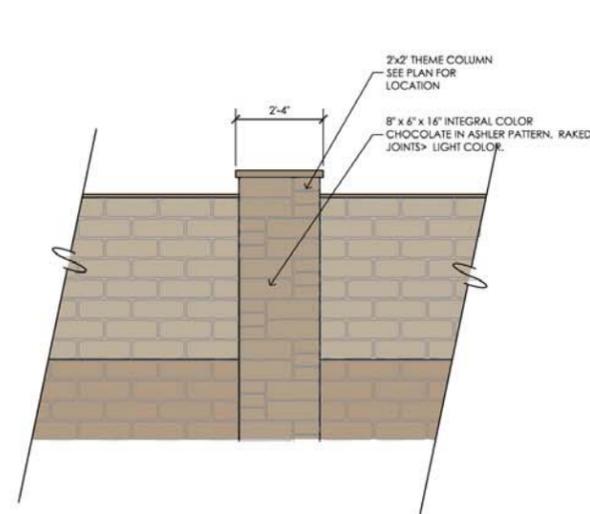
1 Theme Wall
Scale: 1/2" = 1'-0"



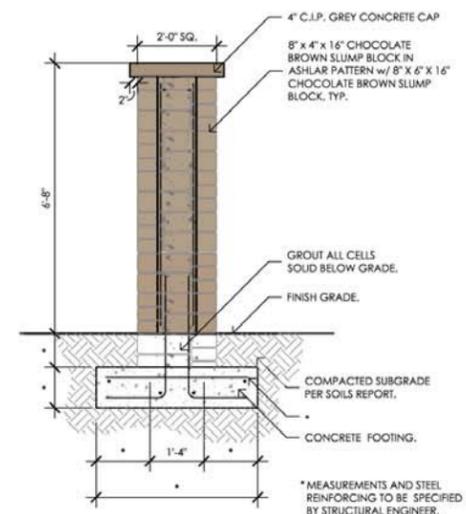
2 Wall Offset with Grade Change
Scale: 1/2" = 1'-0"



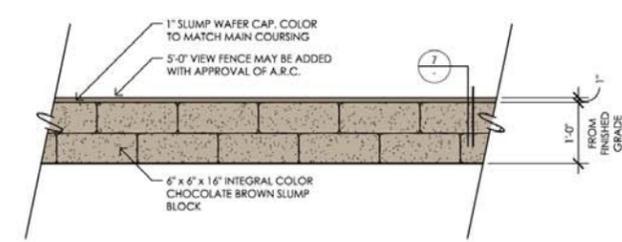
3 Theme Wall Section
Scale: 1/2" = 1'-0"



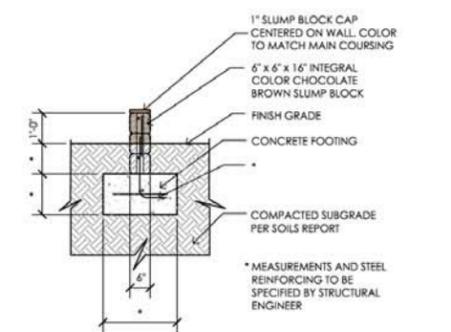
4 Theme Column
Scale: 1/2" = 1'-0"



5 Theme Column Section
Scale: 1/2" = 1'-0"

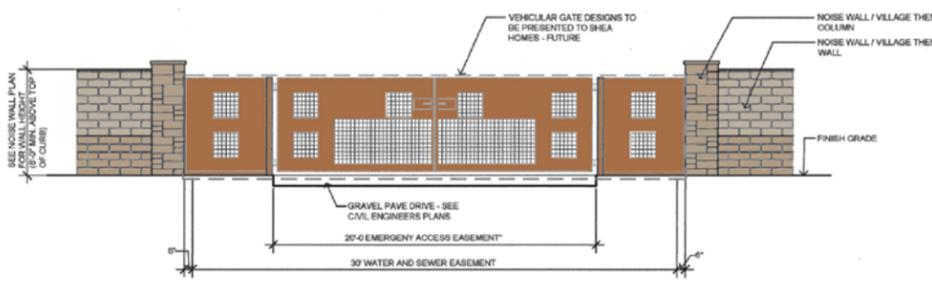


6 Lot Boundary Wall
Scale: 3/4" = 1'-0"

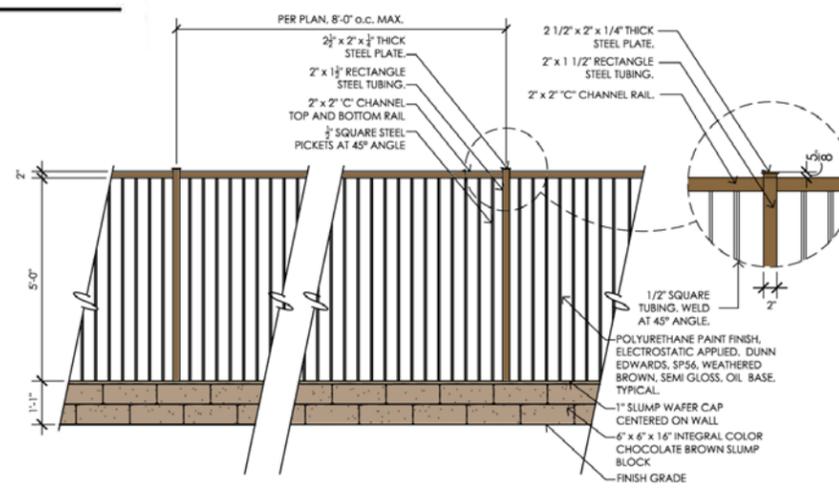


7 Lot Boundary Wall Section
Scale: 1/2" = 1'-0"

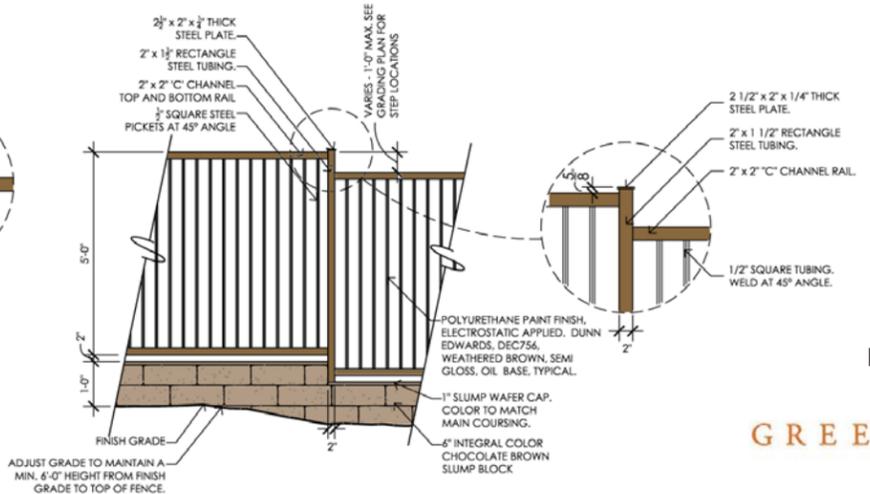
8 Not Used
Scale: 1/2" = 1'-0"



9 Emergency Access Gate
Scale: 1" = 5'-0"



10 Optional View Fence @ Lot Boundary Elevation
Scale: 1/2" = 1'-0"



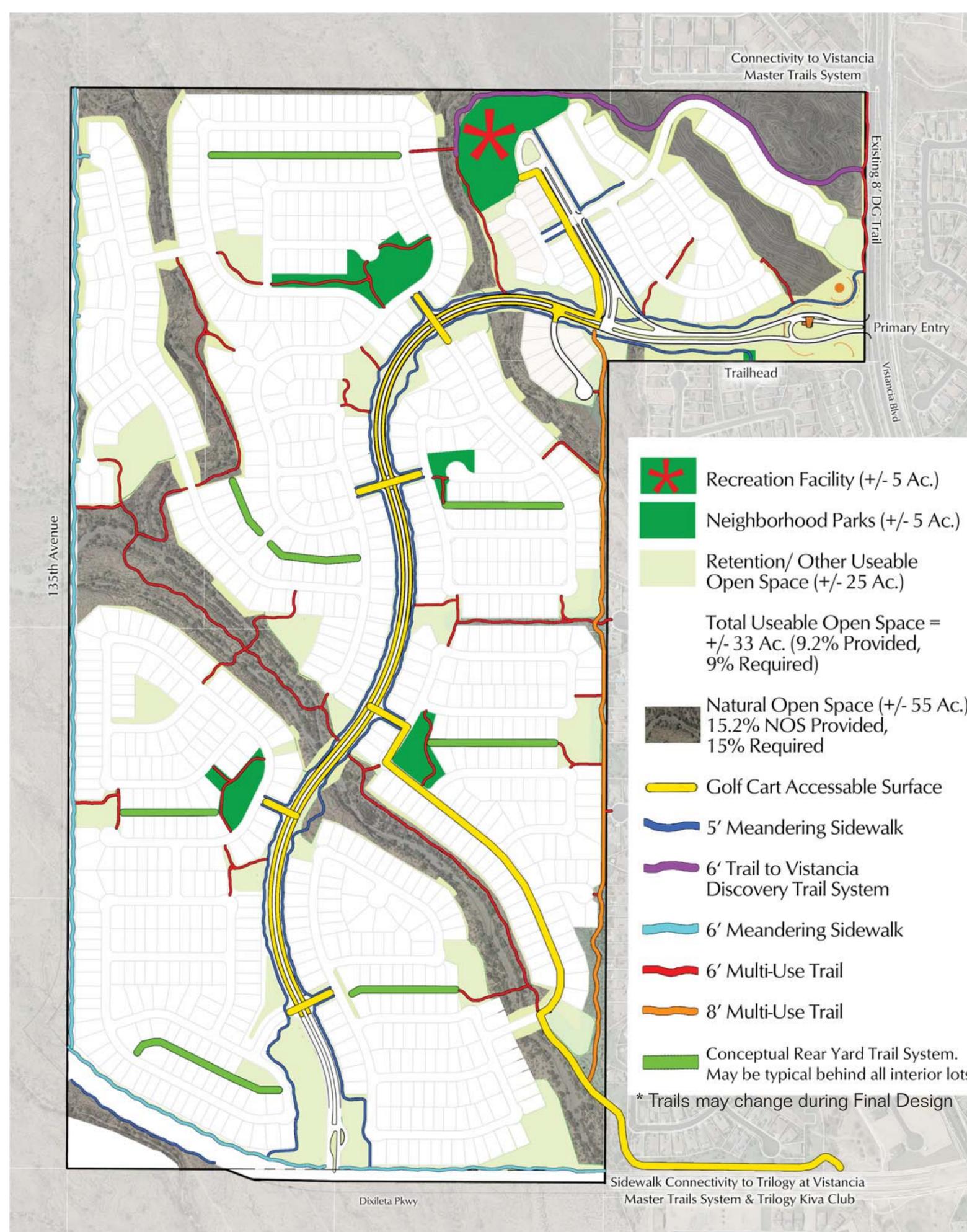
11 Optional View Fence Elevation with Grade Change
Scale: 1/2" = 1'-0"



Trilogy[®] West

Proposed Amenities & Recreational Facilities

Exhibit H



Landscape Design & Rendering by:

GREY | PICKETT

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Trilogy[®]
West

Proposed Trilogy West Home Product Examples

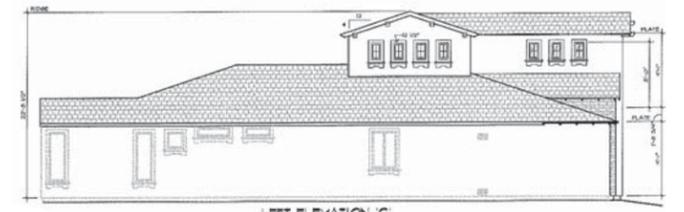
Exhibit I



FRONT ELEVATION 'C'



REAR ELEVATION 'C'



LEFT ELEVATION 'C'



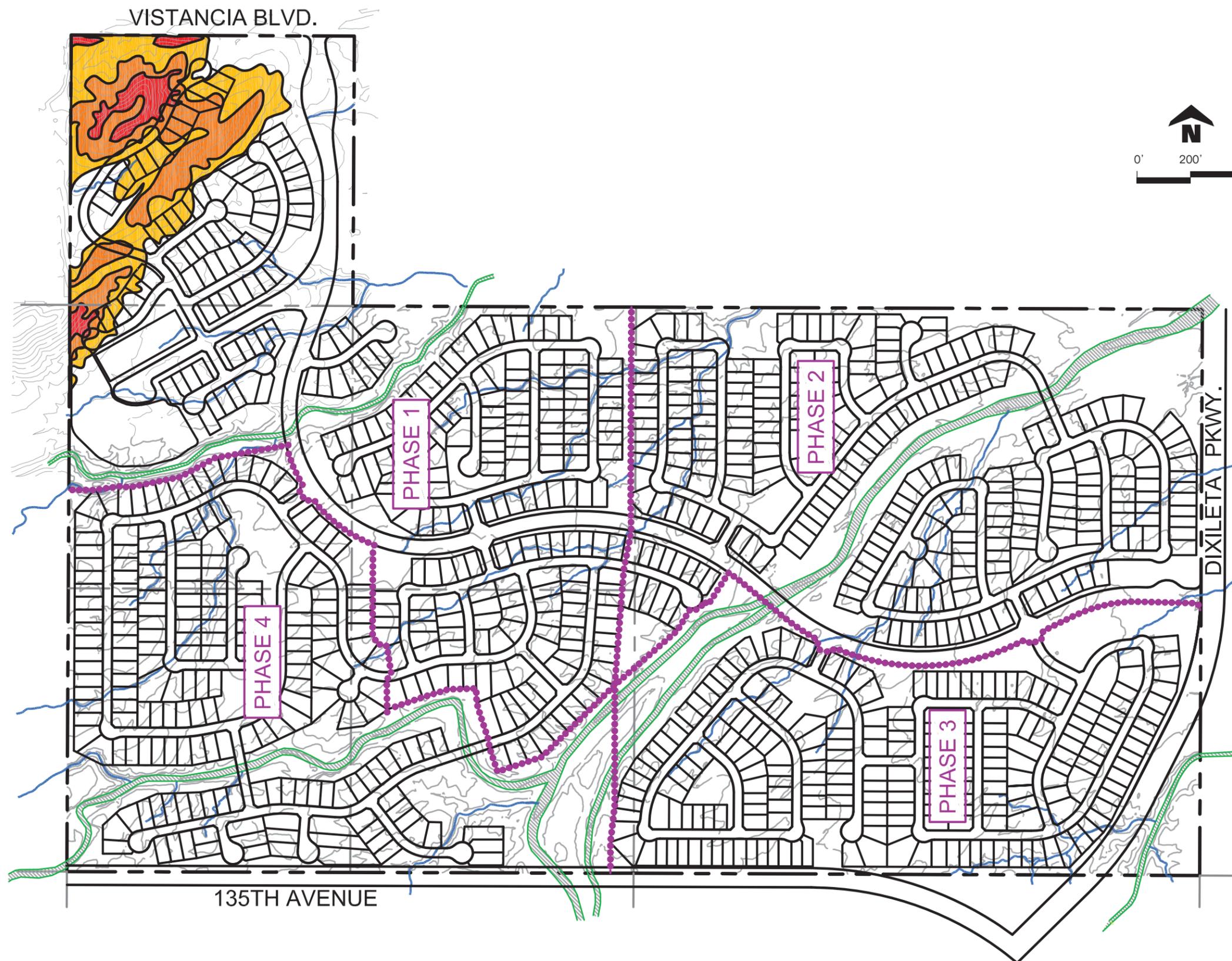
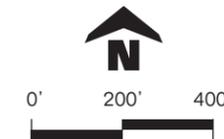
RIGHT ELEVATION 'C'



PLAN 4 3 BED / 2 BA, 1,446 SQ. FT., 2 CAR GARAGE, 410 SQ. FT. COURTYARD
 PLAN 2 2 BED - SMART SPACE / 2 BA, 1,328 SQ. FT., 1 CAR GARAGE, 174 SQ. FT. REAR YARD
 PLAN 3 3 BED - DEN - OPT. BED / 2 BA, 1,582 SQ. FT., 515 SQ. FT. REAR YARD
 PLAN 1 1 BED - DEN - 1.5 BA, 1,043 SQ. FT., 423 SQ. FT. REAR YARD



Trilogy[®] West



Hillside Slope Analysis

Exhibit J

	10% - 15% = 9.07 AC = 2.54%
	15% - 25% = 6.65 AC = 1.86%
	> 25% = 1.93 AC = 0.54%

LEGEND

- 404 WASH
- MINOR WASH
- PHASE LINE

NOTES

PERCENTAGES WERE CALCULATED BY DIVIDING THE SLOPE AREA BY THE GROSS AREA. GROSS AREA OF THE SITE IS 357.365 ACRES.

PHASES 2, 3 & 4 DO NOT HAVE HILLSIDE CONDITIONS AND THEREFORE ARE NOT INCLUDED IN THE SLOPE ANALYSIS.

SLOPE ANALYSIS WAS GENERATED WITH 1' CONTOURS. 5' CONTOURS ARE SHOWN FOR CLARITY.

3 September 2013

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LEGAL DESCRIPTION FOR TRILOGY WEST

That part of Sections 22, 23 and 27, Township 5 North, Range 1 West of the Gila and Salt River Meridian, Maricopa County, Arizona, more particularly described as follows:

Beginning at the G.L.O. Brass Cap marking the East Quarter Corner of said Section 22, from which the Aluminum Cap marked LS#36113 marking the Center of said Section 22 bears North $89^{\circ}42'34''$ West, a distance of 2,636.21 feet;

Thence South $89^{\circ}41'28''$ East, along the North line of the Southwest Quarter of said Section 23, a distance of 1,255.89 feet to a point on a line which is parallel with and 65.00 feet Westerly, as measured at right angles, from the East line of the Northwest Quarter of the Southwest Quarter of said Section 23;

Thence South $00^{\circ}14'08''$ West, along said parallel line, a distance of 1,319.76 feet to a point on the South line of the Northwest Quarter of the Southwest Quarter of said Section 23;

Thence North $89^{\circ}41'33''$ West, along said South line, a distance of 1,255.62 feet to the 1" Iron Pipe marking the Southwest Corner of the Northwest Quarter of the Southwest Quarter of said Section 23;

Thence South $00^{\circ}13'26''$ West, along the East line of the Southeast Quarter of said Section 22, a distance of 1,319.98 feet to the Northeast Corner of said Section 27;

Thence South $00^{\circ}13'07''$ West, along the East line of the Northeast Quarter of said Section 27, a distance of 2,639.82 feet to the Maricopa County Aluminum Cap marking the East Quarter Corner of said Section 27;

Thence North $89^{\circ}43'03''$ West, along the South line of the Northeast Quarter of said Section 27, a distance of 2,634.31 feet to the 1/2" Rebar with cap marked LS#22782 marking the Center of said Section 27;

Thence North $00^{\circ}13'52''$ East, along the West line of the Northeast Quarter of said Section 27, a distance of 2,638.20 feet to the G.L.O. Brass Cap marking the South Quarter Corner of said Section 22;

Thence North $00^{\circ}10'13''$ East, along the West line of the Southeast Quarter of said Section 22, a distance of 2,641.74 feet to the Aluminum Cap marked LS#36113 marking the Center of said Section 22;

Thence South 89°42'34" East, along the North line of the Southeast Quarter of said Section 22,
a distance of 2,636.21 feet to the Point of Beginning.

Containing 357.365 Acres, more or less.



Expires: 6/30/2013

Appendix - Plant List

Botanical Name	Common Name	Park	Entry	Streetscape/ Open Space
TREES				
<i>Acacia aneura</i>	Mulga	X	X	X
<i>Acacia salicina</i>	Willow Acacia	X		
<i>Acacia smallii</i>	Sweet Acacia	X	X	X
<i>Acacia stenophylla</i>	Shoestring Acacia	X		
<i>Bauhinia congesta</i>	Orchid Tree	X		X
<i>Bauhinia congesta 'Lunariodes'</i>	Pink Orchid Tree	X		X
<i>Caesalpinia cacalaco</i>	Cascalote	X		X
<i>Cercidium 'Desert Museum'</i>	Hybrid Palo Verde	X	X	X
<i>Cercidium praecox</i>	Palo Brea	X	X	X
<i>Cercidium floridum</i>	Blue Palo Verde	X	X	X
<i>Cercidium microphyllum</i>	Foothills Palo Verde	X	X	X
<i>Chilopsis linearis</i>	Desert Willow	X		X
<i>Chitalpa tashkentensis hybrid</i>	Chitalpa	X		
<i>Jacaranda mimosifolia</i>	Jacaranda	X		
<i>Lysiloma microphylla v. thornberi</i>	Desert Fern	X		X
<i>Olneya tesota</i>	Ironwood	X	X	X
<i>Pithecellobium flexicaule</i>	Texas Ebony	X	X	X
<i>Pithecellobium mexicanum</i>	Mexican Ebony	X		X
<i>Pithecellobium pallens</i>	Tenaza	X		X
<i>Prosopis alba</i>	Argentine Mesquite			X
<i>Prosopis glandulosa</i>	Texas Honey Mesquite	X		X
<i>Prosopis pubescens</i>	Screwbean Mesquite	X		X
<i>Prosopis velutina</i>	Velvet Mesquite	X	X	X
<i>Sophora secundiflora 'Silver Peso'</i>	Texas Mountain Laurel	X		
<i>Tipuana tipu</i>	Tipu Tree	X		
<i>Vitex angus-castus</i>	Chaste Tree	X		X
TWO STORY SCREEN TREES				
<i>Cercidium 'Desert Museum'</i>	Hybrid Palo Verde			
<i>Cercidium praecox</i>	Palo Brea			
<i>Cercidium floridum</i>	Blue Palo Verde			
<i>Chilopsis linearis</i>	Desert Willow			

Botanical Name	Common Name	Park	Entry	Streetscape/ Open Space
<i>Jacaranda mimosifolia</i>	Jacaranda			
<i>Olneya tesota</i>	Ironwood			
<i>Pithecellobium flexicaule</i>	Texas Ebony			
<i>Prosopis glandulosa</i>	Texas Honey Mesquite			
* Acceptable only in park turf areas:				
* <i>Fraxinus velutina</i>	Arizona Ash	X	X	X
* <i>Platanus wrightii</i>	Sycamore	X	X	X
* <i>Quercus virginiana</i>	Southern Live Oak	X	X	X
CACTI / ACCENTS				
<i>Agave deserti</i>	Desert Agave	X		X
<i>Agave geminiflora</i>	Twin-flowered Agave	X		X
<i>Agave murpheyi</i>	Hohokam Agave			X
<i>Agave parryi v. huachuensis</i>	Parry's Agave	X		X
<i>Agave species</i>	Agave	X		X
<i>Agave toumeyana</i>	Toumey's Agave			X
<i>Asclepias subulata</i>	Desert Milkweed	X		X
<i>Carnegiea gigantea</i>	Saguaro	X		X
<i>Dasyllirion acrotriche</i>	Green Desert Spoon	X		X
<i>Dasyllirion longissimum</i>	Mexican Grass Tree	X		X
<i>Dasyllirion wheeleri</i>	Desert Spoon	X		X
<i>Euphorbia myrsinites</i>	Euphorbia	X		X
<i>Euphorbia rigida</i>	Gopher Plant	X		X
<i>Fouquieria splendens</i>	Ocotillo	X		X
<i>Hesperaloe funifera</i>	Coahuilan Hesperaloe	X		X
<i>Hesperaloe parviflora</i>	Red Hesperaloe	X		X
<i>Hesperaloe parviflora (yellow)</i>	Yellow Hesperaloe	X	X	X
<i>Nolina bigelovii</i>	Beargrass	X		X
<i>Nolina microcarpa</i>	Beargrass	X		X
<i>Pedilanthus macrocarpus</i>	Lady's Slipper	X		
<i>Yucca baccata</i>	Banana Yucca			X
<i>Yucca recurvifolia</i>	Curveleaf Yucca	X		X
SHRUBS				
<i>Abutilon palmeri</i>	Indian Mallow	X		X
<i>Acacia craspedocarpa</i>	Leather Leaf Acacia	X		X

Botanical Name	Common Name	Park	Entry	Streetscape/ Open Space
<i>Alyogyne huegelii</i>	Blue Hibiscus	X		X
<i>Ambrosia deltoidea</i>	Bursage	X		X
<i>Anisacanthus quadrifidus v. brevilobus</i>	Mountain Flame	X	X	X
<i>Anisacanthus quadrifidus v. wrightii</i> 'Mexican Flame'	Flame Honeysuckle	X	X	X
<i>Anisacanthus therberi</i>	Desert Honeysuckle	X	X	X
<i>Bougainvillea 'Barbara Karst'</i>	Bougainvillea	X	X	X
<i>Bougainvillea 'La Jolla'</i>	Bush Bougainvillea	X	X	X
<i>Bougainvillea 'San Diego Red'</i>	Bougainvillea	X	X	X
<i>Bougainvillea spectabilis</i>	Bougainvillea	X	X	X
<i>Buddleia marrubifolia</i>	Wooly Butterfly Bush	X	X	X
<i>Caesalpinia gilliesii</i>	Desert Bird of Paradise	X		X
<i>Caesalpinia mexicana</i>	Mexican Bird of Paradise	X		X
<i>Caesalpinia pulcherrima</i>	Red Bird of Paradise	X		X
<i>Calliandra californica</i>	Baja Red Fairy Duster	X	X	X
<i>Calliandra eriophylla</i>	Fairy Duster	X	X	X
<i>Cassia artemisioides</i>	Feathery Cassia	X		X
<i>Cassia nemophila</i>	Desert Cassia	X		X
<i>Cassia oligophylla</i>	Outback Cassia	X		X
<i>Cassia phyllodenia</i>	Silver-leaf Cassia	X		X
<i>Celtis pallida</i>	Desert Hackberry	X		X
<i>Convolvulus cneorum</i>	Bush Morning Glory	X	X	X
<i>Cordia boissieri</i>	Anacahuite	X		X
<i>Cordia parvifolia</i>	Small Leaf Cordia	X	X	X
<i>Dalea frutescens 'Sierra Negra'</i>	Sierra Negra Dalea	X	X	X
<i>Dalea pulchra</i>	Indigo Bush	X		X
<i>Dicliptera suberecta</i>	Velvet Honeysuckle	X	X	X
<i>Dodonea viscosa</i>	Hopbush	X	X	X
<i>Dodonea viscosa 'Purpurea'</i>	Purple Hopbush	X	X	X
<i>Encelia farinosa</i>	Brittlebush	X		X
<i>Ericameria laricifolia</i>	Turpentine Bush	X	X	X
<i>Guara lindheimeri</i>	Guara	X		X
<i>Hymenoxis acaulis</i>	Angelita Daisy	X	X	X
<i>Justicia californica</i>	Chuparosa	X		X

Botanical Name	Common Name	Park	Entry	Streetscape/ Open Space
<i>Justicia ovata</i>	Red Justicia	X		X
<i>Justicia spicigera</i>	Mexican Honeysuckle	X	X	X
<i>Lantana camara</i>	Bush Lantana	X	X	X
<i>Larrea tridentata</i>	Creosote Bush	X		X
<i>Leucophyllum candidum 'Thunder Cloud'</i>	Thunder Cloud Sage	X	X	X
<i>Leucophyllum frutescens</i>	Texas Sage	X	X	X
<i>Leucophyllum frutescens 'Compacta'</i>	Compact Texas Sage	X	X	X
<i>Leucophyllum frutescens 'Green Cloud'</i>	Green Cloud Sage	X	X	X
<i>Leucophyllum frutescens 'White Cloud'</i>	White Cloud Sage	X	X	X
<i>Leucophyllum hybrid 'Rain Cloud'</i>	Rain Cloud Sage	X	X	X
<i>Leucophyllum laevigatum</i>	Chihuahuan Sage	X	X	X
<i>Leucophyllum langmaniae 'Lynn's Legacy'</i>	Lynn's Legacy Sage	X	X	X
<i>Leucophyllum langmaniae 'Rio Bravo'</i>	Rio Bravo Sage	X	X	X
<i>Leucophyllum pruinosum 'Sierra Bouquet'</i>	Sierra Bouquet Sage	X	X	X
<i>Leucophyllum revolutum 'Sierra Magic'</i>	Sierra Magic Sage	X	X	X
<i>Leucophyllum zygophyllum</i>	Blue Ranger	X	X	X
<i>Lotus rigidus</i>	Desert Rock Pea	X		X
<i>Mimosa dysocarpa</i>	Mimosa	X		
<i>Plumbago scandens 'Summer Snow'</i>	Summer Snow Plumbago	X	X	X
<i>Rosa banksiae 'Alba Plena'</i>	White Lady Bank's Rose	X	X	X
<i>Ruellia brittoniana</i>	Ruellia	X	X	X
<i>Ruellia peninsularis</i>	Shrub Ruellia	X	X	X
<i>Salvia chamaedryoides</i>	Mexican Blue Sage	X		X
<i>Salvia clevelandii</i>	Chaparral Sage	X		X
<i>Salvia leucantha</i>	Mexican Bush Sage	X		X
<i>Senna wislizenii</i>	Shrubby Senna	X		X
<i>Simmondsia chinensis</i>	Jojoba	X		X
<i>Sophora secundiflora</i>	Texas Mountain Laurel	X		X
<i>Sphaeralcea ambigua</i>	Desert Globemallow	X	X	X
<i>Tagetes lemmoni</i>	Mt. Lemmon Marigold	X		X
<i>Tecoma stans</i>	Yellow Bells	X		X
<i>Vaquelinia californica</i>	Arizona Rosewood	X		
<i>Viguiera deltoidea</i>	Goldeneye	X	X	X
<i>Zauschneria californica</i>	California Fuchsia	X		X

Botanical Name	Common Name	Park	Entry	Streetscape/ Open Space
GROUNDCOVERS				
<i>Acacia redolens</i>	Prostrate Acacia	X	X	X
<i>Antigonon leptopus</i>	Queen's Wreath	X		X
<i>Aizoaceae species</i>	Ice Plant	X	X	X
<i>Baccharis 'Centennial'</i>	Centennial Baccharis	X	X	X
<i>Baileya multiradiata</i>	Desert Marigolde	X	X	X
<i>Calylophus hartwegii 'Sierra Sundrop'</i>	Calylophus	X	X	X
<i>Convolvulus mauritanicus</i>	Ground Morning Glory	X	X	X
<i>Dalea capitata 'Sierra Gold'</i>	Sierra Gold Dalea	X	X	X
<i>Dalea greggii</i>	Trailing Indigo Bush	X		X
<i>Drosanthemum speciosum 'Rosa'</i>	Ice Plant	X	X	X
<i>Dyssodia pentachaeta</i>	Dyssodia	X	X	X
<i>Erigeron divergens</i>	Spreading Fleabane	X		X
<i>Erigeron 'Profusion'</i>	Profusion Fleabane Daisy	X		X
<i>Gazania rigens 'Sun Gold'</i>	Gazania	X	X	X
<i>Hardenbergia comptoniana</i>	Lilac Vine	X	X	X
<i>Lantana montevidensis</i>	Trailing Purple/Yellow Lantana	X	X	X
<i>Melampodium leucanthum</i>	Blackfoot Daisy	X	X	X
<i>Muhlenbergia capillaris 'Regal Mist'</i>	Regal Mist Muhley	X	X	X
<i>Muhlenbergia emersleyi 'El Toro'</i>	Bull Grass	X	X	X
<i>Muhlenbergia lindheimeri 'Autumn Glow'</i>	Autumn Glow Muhley	X	X	X
<i>Muhlenbergia rigens</i>	Deer Grass	X	X	X
<i>Muhlenbergia rigida 'Nashville'</i>	Nashville Grass	X	X	X
<i>Oenothera barlandieri</i>	Mexican Evening Primrose	X		X
<i>Oenothera caespitosa</i>	Evening Primrose	X		X
<i>Oenothera stubbii</i>	Saltillo Primrose	X		X
<i>Osteospermum fruticosum</i>	Trailing Aftican Daisy	X	X	X
<i>Penstemon baccharifolius</i>	Rock Penstemon	X	X	X
<i>Penstemon eatonii</i>	Firecracker Penstemon	X	X	X
<i>Penstemon grandiflorus</i>	Penstemon	X	X	X
<i>Penstemon palmeri</i>	Palmer's Penstemon	X	X	X
<i>Penstemon pseudospectabilis</i>	Parry's Penstemon	X	X	X
<i>Penstemon superbus</i>	Superb Penstemon	X	X	X
<i>Penstemon wrightii</i>	Penstemon	X	X	X

Botanical Name	Common Name	Park	Entry	Streetscape/ Open Space
<i>Plumbago auriculata</i>	Cape Plumbago	X	X	X
<i>Podranea ricasoliana</i>	Pink Trumpet Vine	X	X	X
<i>Psilostrophe cooperi</i>	Paperflower	X	X	X
<i>Salvia sp. 'Quicksilver'</i>	Quicksilver Salvia	X	X	X
<i>Santolina chamaecyparissus</i>	Lavender Cotton	X	X	X
<i>Santolina virens</i>	Green Santolina	X	X	X
<i>Verbena gooddingii</i>	Goodding's Verbena	X	X	X
<i>Verbena pulchella</i>	Moss Verbena	X	X	X
<i>Verbena rigida</i>	Sandpaper Verbena	X	X	X
<i>Verbena tenera</i>	Moss Verbena	X	X	X
<i>Verbena tenuisecta 'Edith'</i>	Edith Verbena	X	X	X
<i>Zephyranthes candida</i>	Rain Lily		X	
<i>Zinnia acerosa</i>	Desert Zinnia	X	X	X
<i>Zinnia grandiflora</i>	Little Golden Zinnia	X	X	X
VINES				
<i>Antigonon leptopus</i>	Queen's Wreath	X		X
<i>Bougainvillea 'Barbara Karst'</i>	Bougainvillea	X	X	X
<i>Bougainvillea 'California Gold'</i>	Orange Bougainvillea	X	X	X
<i>Bougainvillea 'Jamaica White'</i>	White Bougainvillea	X	X	X
<i>Bougainvillea 'San Diego Red'</i>	Bougainvillea	X	X	X
<i>Bougainvillea spectabilis</i>	Bougainvillea	X	X	X
<i>Clytostoma callistegioides</i>	Violet Trumpet Vine	X		X
<i>Gelsemium sempervirens</i>	Yellow Flowering Jessamine	X	X	X
<i>Hardenbergia comptoniana</i>	Lilac Vine	X	X	X
<i>Mascagnia lilacina</i>	Lilac Orchid Vine	X		X
<i>Mascagnia macroptera</i>	Yellow Orchid Vine	X		X
<i>Maurandya antirrhiniflora</i>	Snapdragon Vine	X		X
<i>Rosa banksiae</i>	Lady Bank's Rose	X	X	X
<i>Solanum jasminoides</i>	Potato Vine	X		X
<i>Vigna caracalla</i>	Snail Vine	X		X

**ARTICLE 14-22A
TRILOGY WEST HILLSIDE DEVELOPMENT
OVERLAY DISTRICT
(Revised Ord. No. 04-201)**

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SECTION 14-22A-1 INTENT (Ord. No. 99-105)

- A.** It is the purpose of this Article to establish regulations which recognize that development of land in hilly or mountainous areas involves special considerations and unique situations which result from the slope of the land. These special considerations and unique situations include but are not limited to increased hazards to development from rock falls, storm water runoff, geologic hazards, increased limitations on vehicular travel, and increased difficulties in providing public services. In addition, steeply sloped lands introduce design limitations to roadways, cuts and fills, and building sites. In general, the more steeply the land slopes, the greater the hazard and development limitation.
- B.** The Trilogy West Hillside Development Overlay District shall apply to all parcels less than five (5) gross acres in size which have over fifty percent (50%) of the gross area of the parcel having a slope of ten percent (10%) or greater. For those parcels not having fifty percent (50%) or greater of the gross parcel area within a Trilogy West Hillside Development Area or those parcels in excess of five (5) gross acres in size, the requirements of the Trilogy West Hillside Development Overlay District shall be applied only to that portion of the lot containing slopes of ten percent (10%) or greater. Where multiple slope categories (as defined below) exist within a parcel, requirements for the category that is found to be of the greatest percentage shall apply to the applicable hillside area(s). Commercial, Office, Industrial and Resort Developments shall comply with all applicable provisions of the Trilogy West Hillside Development Overlay District. All other provisions that have not been met shall apply. The provisions of this Article may not be modified, except as expressly provided within this Article.

- C. Conservation features identified in Article 14-22B shall be preserved in accordance with that Article.

SECTION 14-22A-2 DENSITY AND SLOPE CATEGORIES

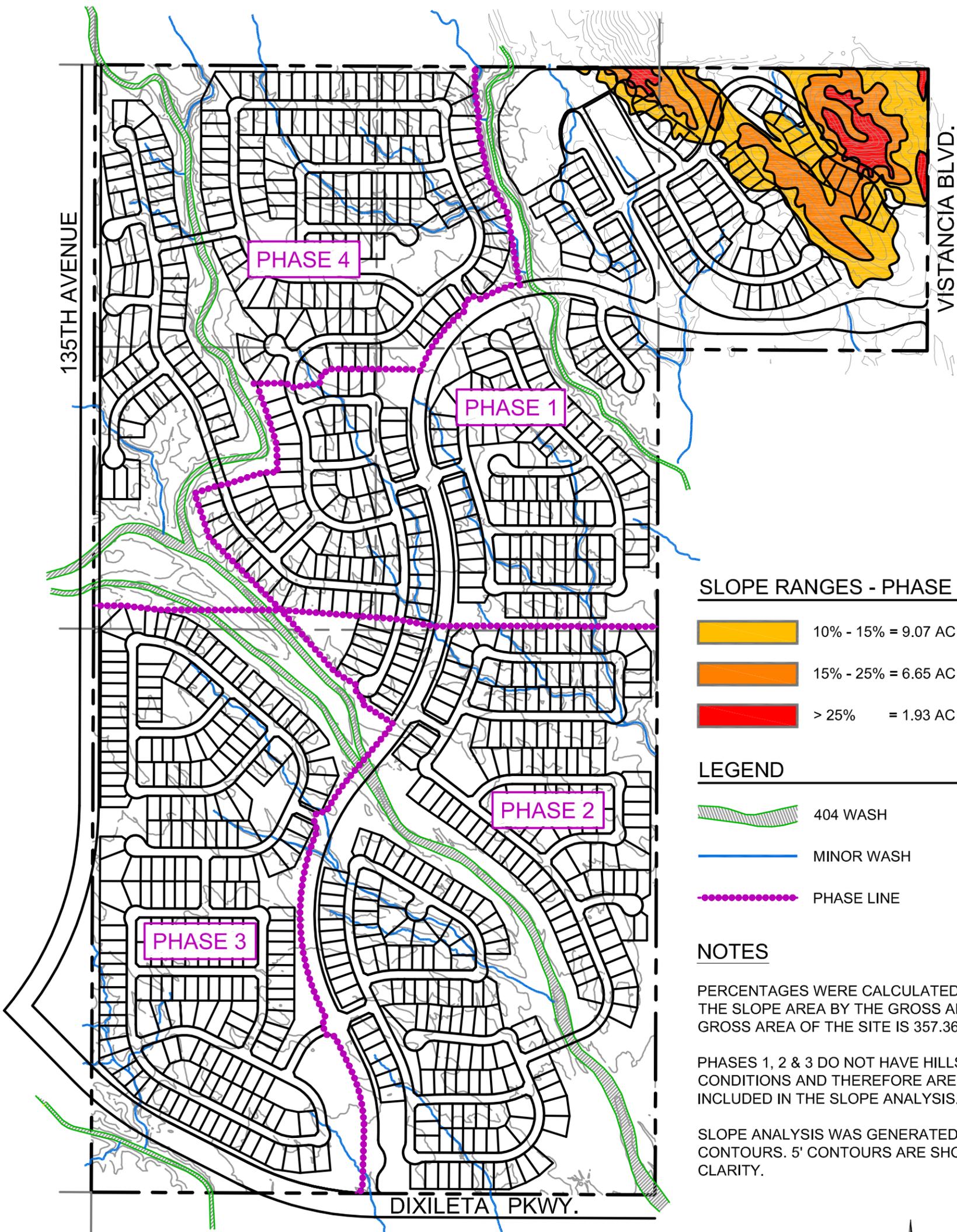
- A. The maximum number of residential lots or units permitted within hillside development areas shall be:

The following slope categories are based on landform characteristics and the ability for development to occur in these areas. Landforms of less than 10% are identified as Flatlands and are not subject to these Hillside regulations. Landforms having slopes over 10% up to 15% are identified as Lower Transitional Lands. Landforms containing slopes over 15% up to 25% are identified as Upper Transitional Lands. Areas with slopes over 25% are identified as-“Uplands”- are areas with slopes that are extremely rugged in terrain, offer very limited development opportunities, and or contain land features specific upon themselves. _ **(See Figure E.1. Hillside Slope Analysis.** Each landform category contains specific development parameters that will serve as tool for the Developer and the City during development process.

TABLE – 1 DENSITY ALLOCATION

Slope of Land	Maximum Number of Lots Per Gross Acre
10% to 15% (Lower Transitional)	Per Underlying Zoning
Over 15% to 20% (Upper Transitional)	Per Underlying Zoning
Over 25% (Uplands)	Per Underlying Zoning

- B. The transfer of density within a Hillside Development Area shall not be an assumed right and in no case shall a transfer of density occur without the approval of the Planning Manager according to the criteria set forth in the PAD.. Approvals of a density transfer shall only be made only upon a finding that the proposed transfer will not be detrimental to the intent of the Trilogy West Hillside Development Overlay District and will advance the City’s interests in protecting a Trilogy West Hillside Development Area.



SLOPE RANGES - PHASE 4*

	10% - 15% = 9.07 AC = 2.54%
	15% - 25% = 6.65 AC = 1.86%
	> 25% = 1.93 AC = 0.54%

LEGEND

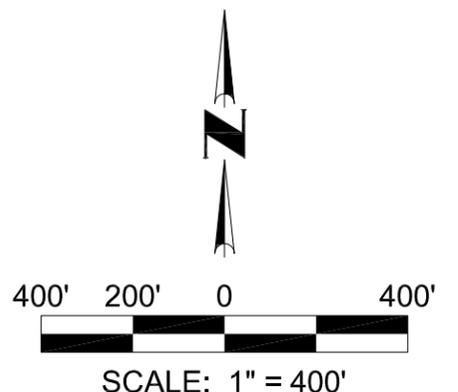
-  404 WASH
-  MINOR WASH
-  PHASE LINE

NOTES

PERCENTAGES WERE CALCULATED BY DIVIDING THE SLOPE AREA BY THE GROSS AREA. GROSS AREA OF THE SITE IS 357.365 ACRES.

PHASES 1, 2 & 3 DO NOT HAVE HILLSIDE CONDITIONS AND THEREFORE ARE NOT INCLUDED IN THE SLOPE ANALYSIS.

SLOPE ANALYSIS WAS GENERATED WITH 1' CONTOURS. 5' CONTOURS ARE SHOWN FOR CLARITY.



SECTION 14-22A-3 SLOPE DETERMINATION

- A.** A Slope Category Determination Study shall be required by the Community Development Department prior to the initiation of any Site Disturbance Activities for all land located north of Pinnacle Peak Road and shall be prepared pursuant to the requirements of this Section. (Ord. No. 05-44)
- B.** A property owner subject to Subsection A above shall prepare a Slope Category Determination Study utilizing one of the two methodologies outlined in this Article. A property owner or authorized agent shall submit to the Planning Manager a Slope Category Determination Study pursuant to this Section, or request for a waiver from such, as follows:
1. Simultaneously with a rezoning application;
 2. If a rezoning action is not required, simultaneously with a preliminary plat or site plan; or
 3. If a rezoning, plat, site plan, or minor land division is not required, prior to the issuance of any building permit or site grading permit.
- C.** Applicants seeking a waiver from the provisions of this Section may request a waiver of the requirements for a Slope Category Determination Study to the Planning Manager. A written waiver request shall be submitted to the Planning Manager with an explanation of why a waiver is warranted and shall include such supporting materials as follows:
1. Site photographs;
 2. Site specific topography information;
 3. An analysis by the Applicant of 207 Claims and whether the Owner will enter into a Waiver of Proposition 207 regarding the property that is the subject of the waiver request;
 4. All other such information which may provide information on the request.

The Planning Manager may approve or deny an application as submitted or may request additional information if necessary. In addition to any other grounds the City may have, the City expressly reserves the right to reject the waiver request in the event the Owner is unwilling to enter into a Waiver of Proposition 207 regarding the property that is the subject of the waiver request. It shall be the sole burden of the applicant requesting such a waiver to show that the subject property does not qualify as a Hillside Development Area under this Article. The Planning Manager may grant the requested waiver upon a finding that reasonable evidence exists that the subject site does not contain potential slope area that would qualify as a Hillside Development Area.

(Section 14-22A-3 amended by Ordinance No. 07-14. Enacted April 17, 2007 and effective May 17, 2007.)

- D. Applicants may prepare a Slope Category Determination Study utilizing a methodology differing from those outlined in this Article, if acceptable to the Planning Manager. Applicants seeking to utilize an alternative methodology shall provide both a written explanation of the proposed alternative methodology and a graphical example of its use. If, upon review of the proposed alternative Slope Category Determination Study by the Planning Manager, the slope analysis is not acceptable, the applicant shall utilize one of the adopted methodologies contained herein. Appeals from the Planning Manager decision pursuant to this paragraph may be appealed to the Administrative Hillside Hearing Officer subject to the provisions of Article 14-39 of the Zoning Ordinance. (Ord. No. 05-44)
- E. To determine parcel density and the location and extent of slope categories, carry out one of the following procedures:
1. Manual Slope Determination Method:
 - a. Utilize a topographic map at a scale of two hundred (200) feet or less to the inch and with contours shown at two (2) foot intervals. Applicant may utilize maps containing contours at five (5) foot intervals for grades of more than twenty percent (20%). All contour lines shall be extended onto adjacent properties to a distance that establishes the overall slope of the land but in no case shall they be extended less than fifty (50) feet onto the adjacent properties.
 - b. The Hillside Development Area shall commence at the midpoint of the one hundred (100) foot horizontal dimensions used to determine the slope. The one hundred (100) foot slope determination lines shall be located perpendicular to the site or property contour bands. Those properties containing multiple slope planes should provide slope information for all such planes.
 - c. To determine those locations where slopes of ten percent (10%), fifteen percent (15%), twenty percent (20%), twenty-five percent (25%), thirty percent (30%), and thirty-five percent (35%) begin by the application of one hundred (100) foot straight lines that fall within each category. The one hundred (100) foot slope determination lines shall be extended onto adjacent properties to a distance that establishes the overall slope of the land but in no case shall they be extended less than fifty (50) feet onto the adjacent properties.
 - d. Connect the midpoints of each series of one hundred (100) foot lines of the same slope category to establish the limits of that slope category.
 - e. Measure the areas resulting between each series of straight lines to determine the areas in each slope category.

2. Computer Generated Slope Determination Method:

- a. Utilize digital topographic information with contours shown at a maximum of two (2) foot intervals, except as established herein. Areas known or shown to contain slopes of more than twenty percent (20%) may utilize digital topographic information with contours shown at five (5) foot intervals.
 - b. Utilizing a slope generating software application, slope categories shall be determined utilizing the slope categories established in Section 14-22A-2 of this Section.
 - c. Computer generated slope analyses shall be prepared utilizing the following modeling parameters:
 - i. Maximum two (2) foot slope contour intervals for slopes less than twenty percent (20%);
 - ii. Maximum five (5) foot slope contour intervals for slopes more than twenty percent (20%);
 - iii. The slope analysis shall utilize the above noted slope contour intervals through the modeling basis of grid evaluation to determine slope facets or contours;
 - iv. The analysis shall utilize a twenty-five (25) foot grid system.
 - d. All data generated through the use of a computer generated slope determination shall be presented in both chart and graphical formats. The presentation of all graphical slope information shall be presented in a clear and easily understandable format.
 - e. The final map shall be plotted at 1" = 200' and submitted to the Planning Manager for review. If the Planning Manager finds the analysis acceptable, the final slope determination map shall be approved. The Planning Manager may reject the analysis and require correction(s) to the digitized slope category lines to more accurately reflect the generalized slope conditions of the property or other revisions necessary to ensure compliance with this Article. Appeals from the decision of the Planning Manager may be filed for disposition by the Administrative Hillside Hearing Officer pursuant to Article 14-39 of the Zoning Ordinance.(Ord. No. 05-44)
3. The Final Slope Category Map resulting from either Section 14-22A-3.E.1 or Section 14-22A-3.E.2 shall be utilized in determining allowable densities, lot area, lot disturbance and lot coverage requirements. Preliminary Plats shall reflect proposed disturbance/coverage envelopes for each lot and shall contain tabular information necessary to determine compliance with this Article.

SECTION 14-22A-4 GENERAL PROVISIONS FOR HILLSIDE CONSTRUCTION

- A. In those situations where a density transfer is being utilized, the increased density permitted under Table 1 shall only be permitted in an amount equal to the number of lots being transferred.
- B. In those situations where density has been transferred from a higher slope category to a lower slope category minimum lot sizes shall be limited as shown in Table 2. The Planning Manager shall have authority to further reduce lot sizes by up to twenty percent (20%) provided that all dwelling units/development rights have been transferred off of slope categories greater than twenty percent (20%).

10-15%	Per Underlying Zoning District
Over 15% to 25%	Per Underlying Zoning District
Over 25%	Per Underlying Zoning District

- C. No residential lot within the Trilogy West Hillside Development Overlay District shall have a front lot width less than fifty (50) feet. The front lot width of all flag lots located within the Hillside Development Overlay District shall be measured from the point at which the drive access intersects with the main body of the lot or at a point not to exceed two hundred and fifty (250) feet from the front lot line of the flag lot.
- D. Building setbacks shall be as required by the zoning district.
- E. All development units and custom lots shall conform to the disturbance and open space requirements of Table 3. Individual lots in a subdivision that has already met the open space requirements of Table 3 shall not be required to provide additional open space. Additional open space may be required per the Desert Lands Conservation Overlay, see Article 14-22B. Desert Lands Conservation Overlay.
- F. Maximum lot coverage by the main building and all accessory buildings shall not occupy more than that permitted by the underlying zoning district or Table 3, whichever is the lesser area.
- G. No building shall exceed a height of twenty-eight (28) feet, above the newly established or finished grade of the land at any section through the structure for non-custom residential, thirty (30) feet for custom residential and thirty-six (36) for commercial.

- H. Custom lots within a development parcel that has met the open space requirements are not subject to Table 3. If a custom lot is within a development parcel that has not met any of the open space requirements for that parcel, the custom lot shall conform to Table 3 and an individual analysis for each lot shall be prepared prior to submitting construction documents for the house and lot. For custom lots within a development parcel which has met a portion of the open space requirements, the remainder of the open space requirement for space provided both by the development parcel and the custom lots within said development parcel shall conform to Table 3. No building permit shall be issued prior to a demonstrating compliance with an existing approved grading and drainage plan or approved of the grading and drainage plan and individual site analysis unique to the subject lot.
- I. All Hillside lots or parcels which abut a dedicated public open space or preserve area shall provide a one foot (1') non-vehicular access easement along the common property line.

SECTION 14-22A-5 HEIGHTS AND APPEARANCES

For development within hillside areas, the height of structures shall be determined by the following Sections and not by the definitions described in Section 14-2 of the Zoning Ordinance.

- A. No part of any structure shall penetrate an imaginary plane, the height of which is twenty-eight (28) feet for non-custom residential (30) feet for custom residential, and (36) feet for commercial measured vertically from any point of the building to any newly established or finished grade directly below that point of the building except that:
- B. No exposed face in any vertical plane (excluding walls) shall be allowed unless it is a rock feature or land form that appears natural. Where a rock feature or rock face remains, an engineer may be required to certify that the exposed face is stable. Where the natural grade is not restored back against the building, and the exposed face is not of rock or a landform that appears natural, in any vertical plane shall exist and a combination of retaining walls and/or slope will be utilized to tie into existing grade (**See Figure 4&5**).
- C. Materials used for exterior surfaces of all structures shall blend in color, hue and tone with the surrounding natural setting to avoid high contrasts.
 - 1. Structures, walls, roofs and fences shall blend with the surrounding terrain and there shall be no material or colors used which have an LRV (Light Reflecting Value) greater than forty percent (40%). Mirror surfaces, or any treatment which changes ordinary glass into a mirror surface is prohibited. Bright untarnished copper or other metallic surfaces shall be treated so they are non-reflective.
 - 2. All electrical service equipment and subpanels and all mechanical equipment including, but not limited to, air conditioning and pool equipment, solar panels, and antennas, shall not be visible from outside the property when viewed from the same or a lower elevation. Restrictions on visibility of solar panels and mechanical equipment may be modified if they are integrated into the roof design.
- D. The principal and accessory buildings, excluding chimneys, shall not exceed forty (40) feet from the highest point of the building to the lowest exposed base of a supporting structure (see Figure 3). The subterranean portion of a structure is not included in the total height calculation.

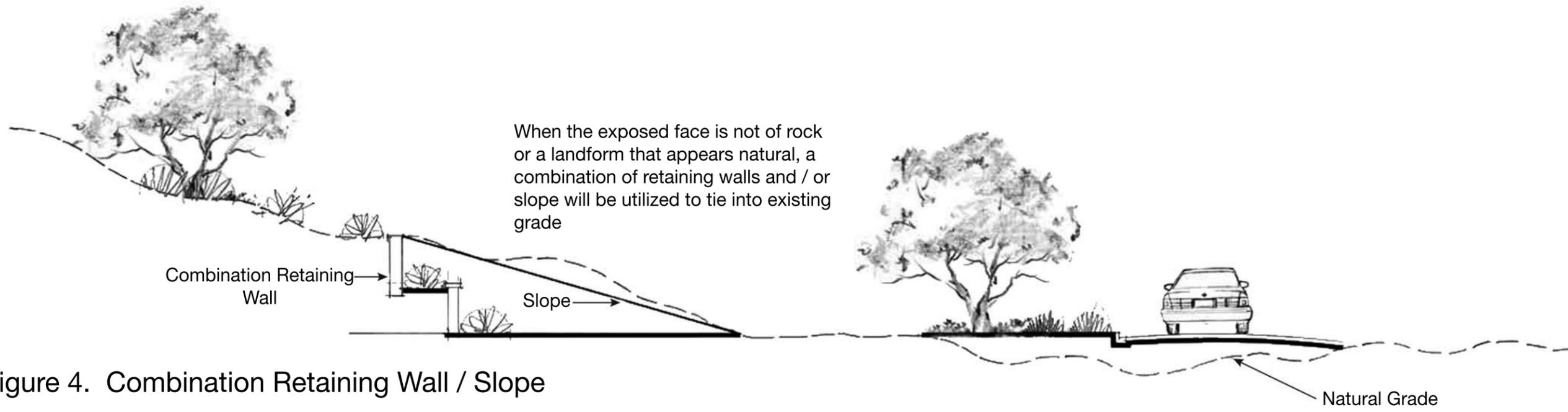


Figure 4. Combination Retaining Wall / Slope

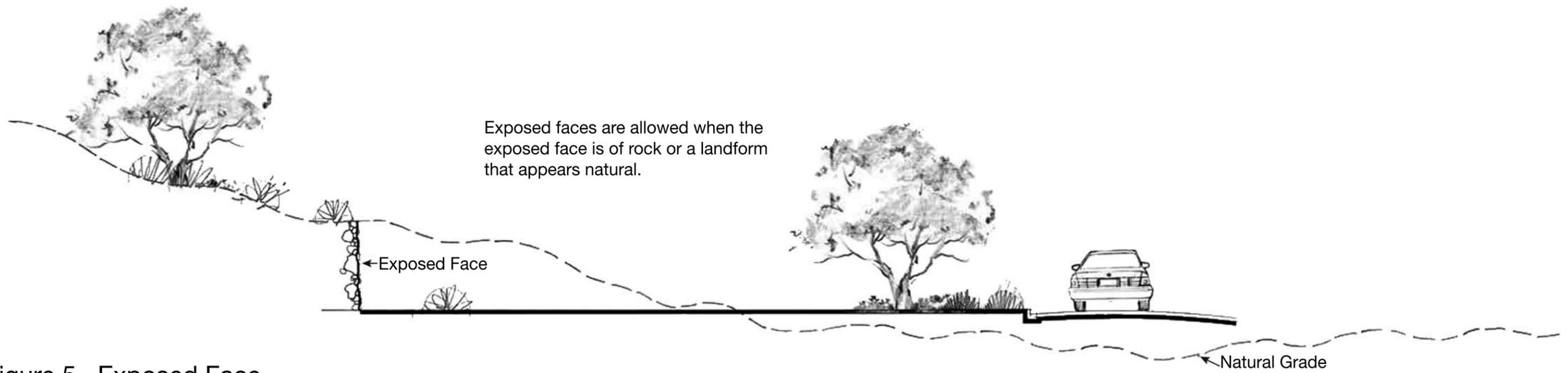


Figure 5. Exposed Face

SECTION 14-22A-6 DISTURBED AREAS and HILLSIDE OPEN SPACE

A. The Preservation Master Plan (Figure E-2) identifies all significant landforms that will be preserved except to allow construction of trails or paths providing access into the featured open spaces, roads and utility crossings. All other areas are subject to disturbance in accordance to Table 3. In areas above the 25% slope line, disturbance is limited to areas within the development unit, parcel envelope, localized envelope, or individual custom lot only, and disturbance may not occur on lands outside the limits of the development unit or custom lot except for necessary infrastructure required to serve the proposed development. Specific criteria for development in hillside is detailed below. Where multiple slope categories (as defined below) exist within parcel requirements for the category that is found to be of the greatest percentage shall apply to the applicable hillside area(s).

1. Minimum lot size is determined by underlying zoning.
2. 30' cut/fills permitted. Total vertical exposed face not to exceed 30' (terracing is permitted and encouraged). Deviations may only occur if approved by Director or designee-effect shall not be uninterrupted exposed face or retaining wall of greater than 30'.
3. All walls must meet zoning ordinance requirements except where modified within this document.
4. Areas preserved per the provisions of the Trilogy West Lands Conservation Overlay count towards required minimum open space.
5. Alternative development options, such as cluster products, may be considered along with the associated development standards on a case-by-case basis with approval from the City's Hillside Hearing Officer.

Specific Criteria for areas within the 10-15% slope category, including criteria for grading, are described below.

1. Mass grading is allowed on 100% of the site per Table 3.
2. Disturbance is allowed on 100% of the site per Table 3.
3. 20% of site must remain as natural or recreated open space.

Specific Criteria for areas within the 15-25% slope category, including criteria for grading, are described below.

1. 75% of the site is eligible for mass grading.
2. 100% of the site may be disturbed, but 25% of the site must be restored to look natural (re-vegetated with similar plant species and densities prior to disturbance) and remain as open space.

Specific Criteria for areas above 25%, including criteria for grading, are described below.

1. Mass grading is not permitted.
2. 50% of the site may be disturbed. 50% must remain natural and undisturbed.
3. Disturbance is limited to areas within the development unit, parcel envelope, localized envelope, or individual custom lot only, and disturbance may not occur on lands outside the limits of the development unit or custom lot except for necessary infrastructure required to serve the proposed development.
4. Disturbances used to construct roadways and driveways will not be included site disturbance calculations.
5. Solid parcel boundary walls are not permitted except where adjacent to a right of way. Walls are restricted to the building envelopes only.
6. Alternative development options, such as cluster products, may be considered along with the associated development standards on a case-by-case basis with approval from the City's Hillside Hearing Officer.
7. Envelope Types. Grading/disturbance envelopes are the areas within which all grading and/or improvements must occur. The type of envelope to be used depends on the type of development and/or the land use. The three basic types of grading envelopes are described below. The envelopes are configured to preserve significant natural features such as was corridors, specimen vegetation and/or major rock outcropping and to preserve scenic vistas or specific view opportunities.
 - a. Localized Envelope:

In certain areas where mass grading or larger areas of disturbance are permitted, but areas of preservation are present, the development parcels may employ localized multi-building construction envelopes as opposed to comprehensive grading of the entire development parcel. These localized multi-building construction envelopes could entail the grading of small groups of lots while maintaining pockets of naturally vegetated open space within and around the parcel. **(See figure 7).**
 - b. Parcel Envelopes:

In areas which do not have significant land forms, washes or natural features, one or more development parcels may be graded to achieve the permitted density. These areas will be subject to the plant salvage and transplant standards established for Trilogy West, as well as the site grading, drainage and erosion control standards as defined in this document, the City's Design Manual, and **Trilogy West Desert Lands Conservation Overlay**" **(See figure 8).**

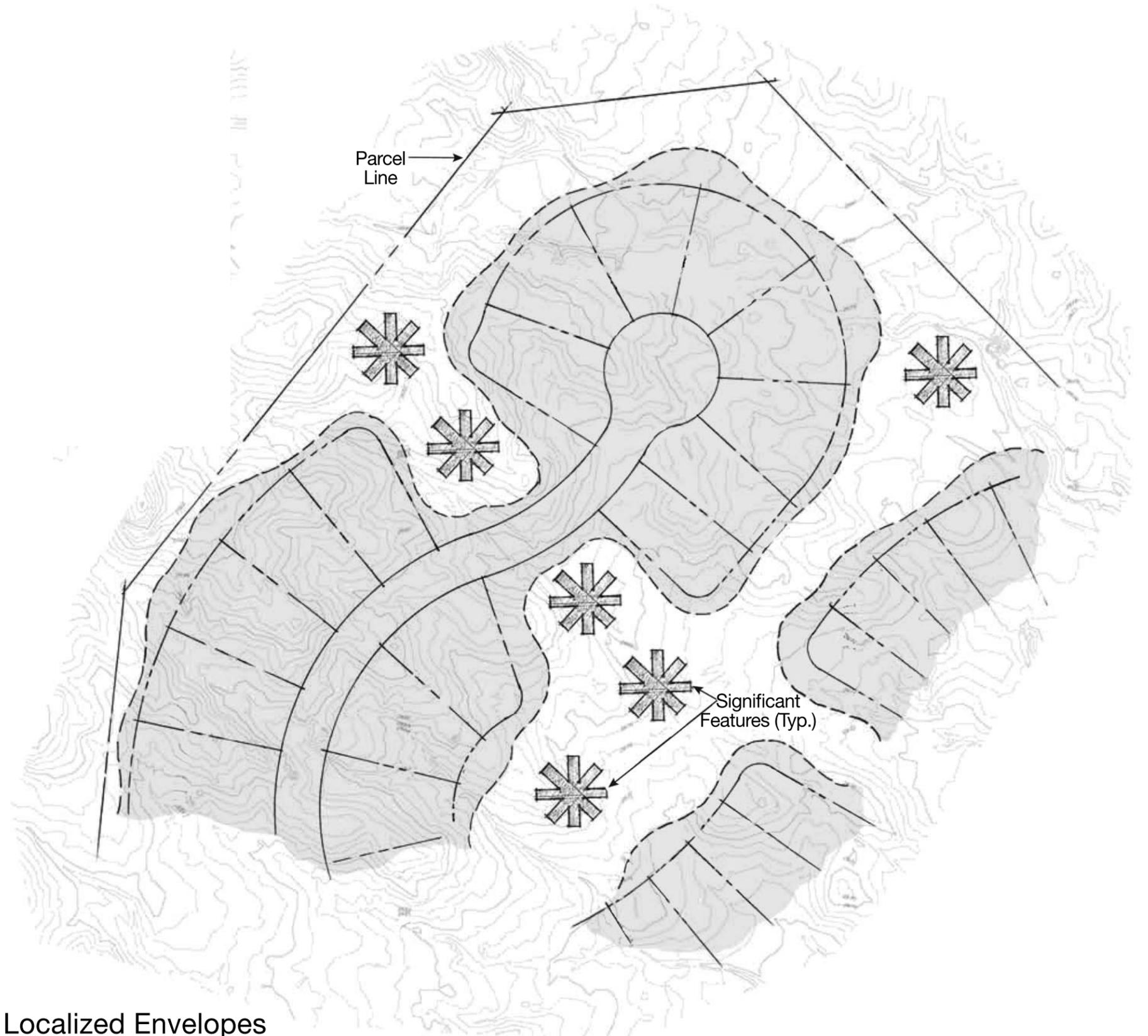


Figure 7. Localized Envelopes

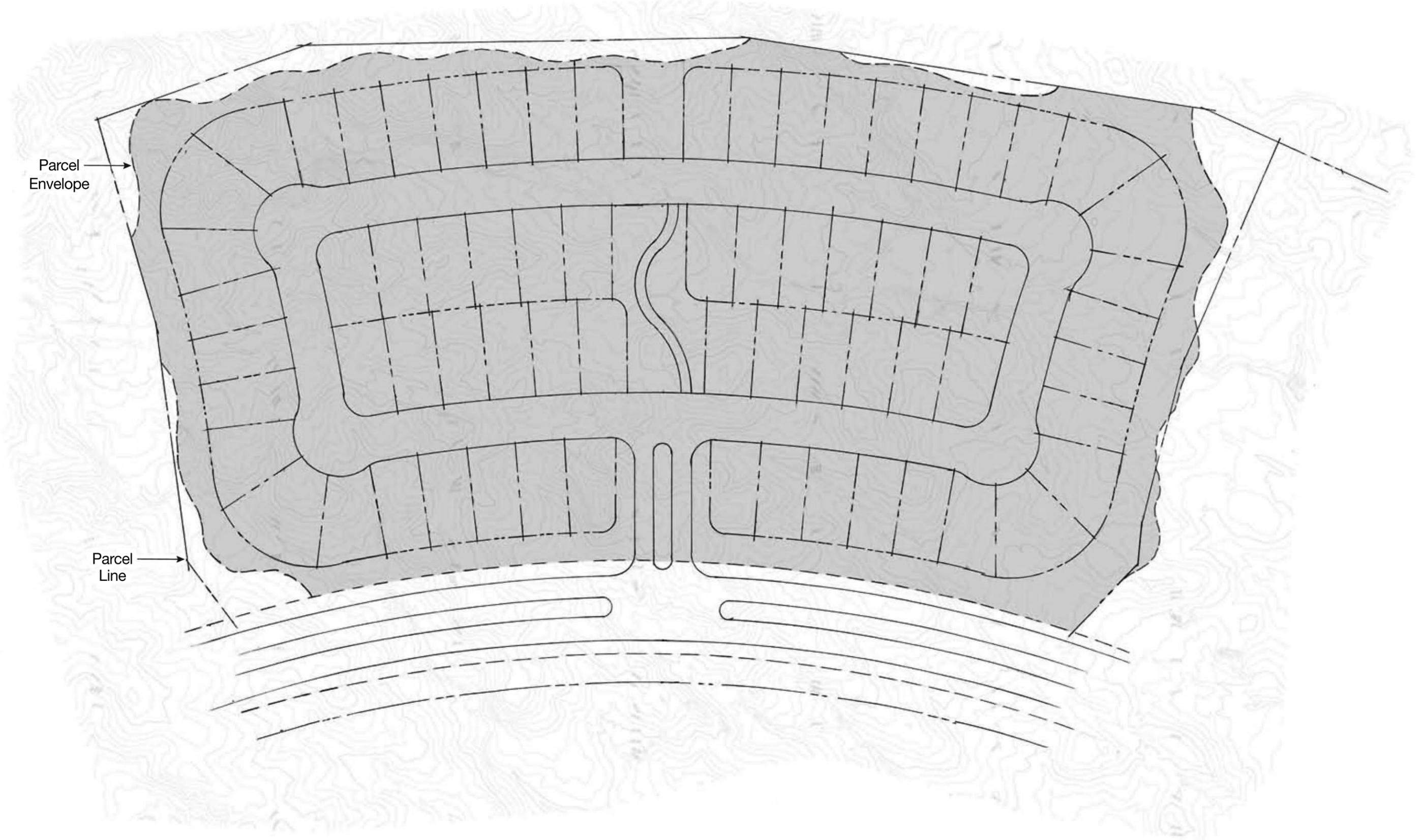


Figure 8. Parcel Envelope

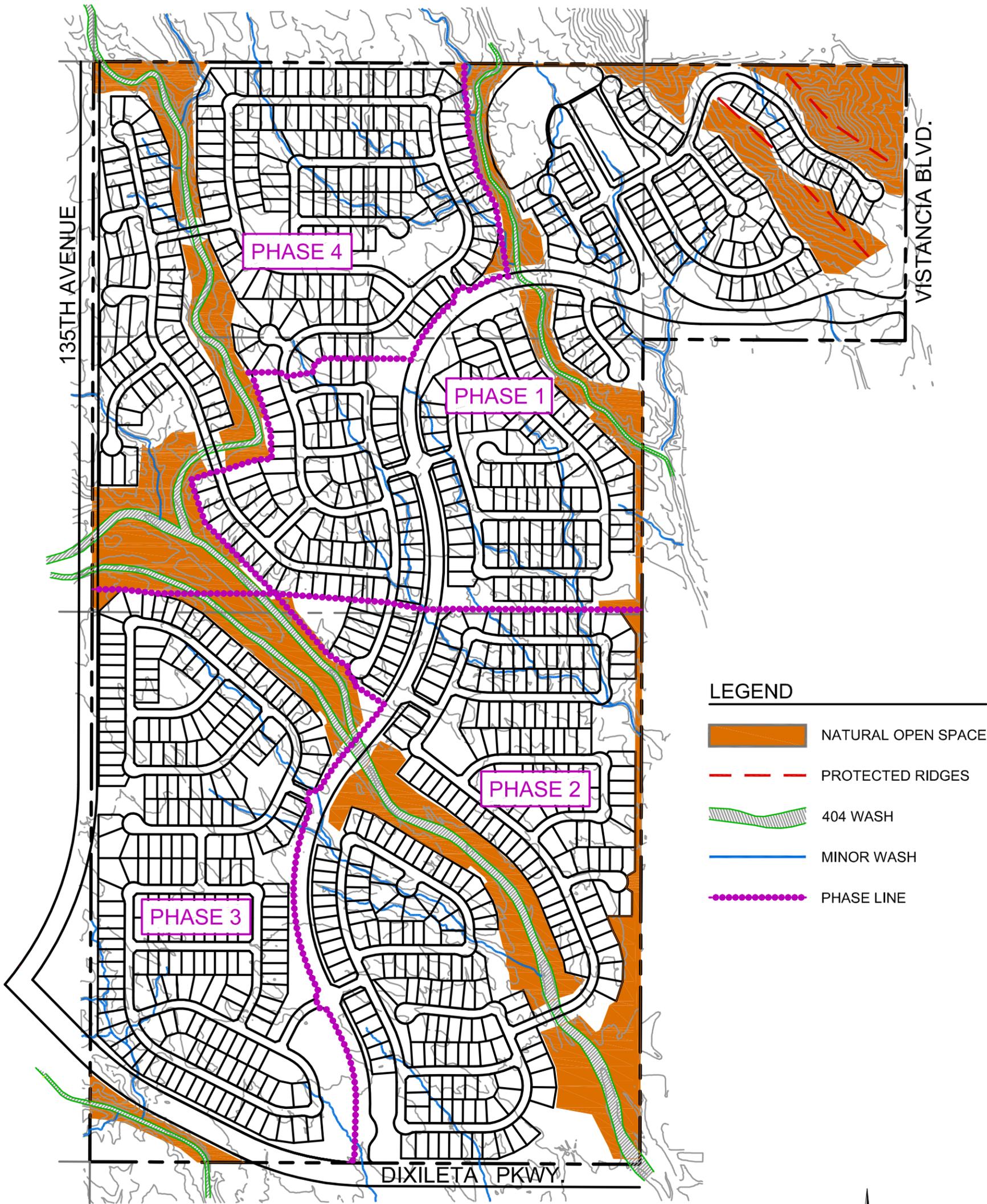
Table 3

Landform Category	Building Site Slope Category	Maximum Disturbed Area	Maximum Lot Coverage	Min. required Open Space
Lower Transitional	10% to 15%	100% Disturbance 100% available for Mass Grading	Per Underlying Zoning	20% Non-Natural 0% Natural
Upper Transitional	15%-25%	100% Disturbance* 75% available for Mass Grading	Per Underlying Zoning	25% Natural or Non-Natural *(25% of total area must be restored to look natural)
Uplands	25%+	50% Disturbance 0% available for Mass Grading (Mass Grading is not allowed)	Per Underlying Zoning	50% Natural

- c. A minimum amount of open space must be provided within each development parcel. These areas will be counted towards the required parcel open space. Open space will be both natural and re-created through slope restoration and re-vegetation. Open space will be provided within each development parcel based upon minimum open space criteria that is listed in Table 3.

Open Space provided within these parcels can be natural, re-created (as defined below) or combination thereof. Open space requirements will be calculated and determined at time of Plat.

1. Natural open space that is undisturbed and free from development will primarily be visual amenity for the community. In addition, some natural open space areas may contain trails that link open space and development parcels within Trilogy West. Significant drainage areas (as identified on **Figure E-2. Preservation Master Plan**) shall be set aside as open space (with the exception of potential road and utility crossings). They will be used as primary drainage ways, but also serve as migration corridors for animals, and potential trail corridors that link the open space throughout Trilogy West.
2. Re-created, restore or “improved” open space will exist in a variety of types. These areas include parks, both active and passive, paseos, parcel open space and restored desert areas.



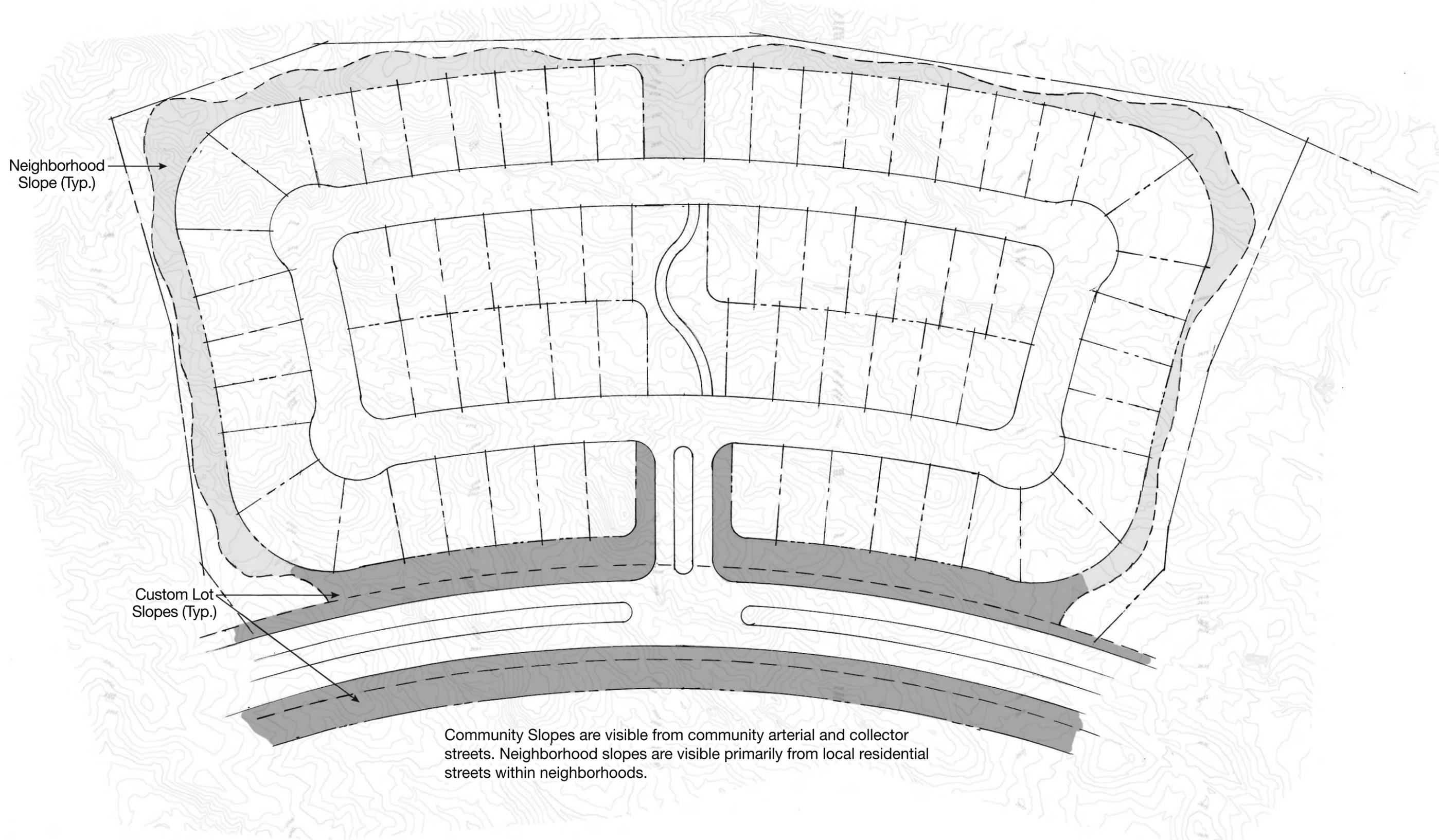
SECTION 14-22A-7 GRADING AND DRAINAGE

All proposed development within Hillside Development Area shall be required to submit for and received Grading and Drainage Plan approval through the City of Peoria Engineering prior to the commencement of any development or Site Disturbance Activities.

Grading of development areas must respect the sensitive landforms of the community. As noted earlier, mountain ridges of significance, as identified in **Figure E-2 Preservation Master Plan**), shall not be graded or disturbed except to allow construction of roads, utilities, trails or paths providing access into the featured open spaces. Other significant features, such as large rock outcroppings, and significant drainage areas, other than disturbances allowed under the Section 404 permit, shall be preserved except to allow construction of roads, utilities, trails or paths providing access to these significant areas. All cuts and fills are limited to (30) feet in height. All cuts or fill greater than thirty (30) feet in height require approval from the Planning Manager or Designee.

- A. Graded slopes within Trilogy West will be characterized as follows into the following slope categories:
 1. Community Feature Slopes
 2. Neighborhood Slopes
 3. Residential Lot Slopes

- B. Each of these slope categories are defined below, and contains its own set of standards. In addition, certain slopes may be characterized as “low visibility”, which are defined as slopes that are not readily visible from either public or private streets within the community. These slopes shall be subject to criteria that are appropriate to areas of low visibility. The following describes in detail each of the slope categories.
 1. Community Feature Slopes: Community Feature slopes are located within the community and are in highly visible areas. These slopes will most commonly be found along major roadways and between development parcels. Community Feature slopes will emphasize the look and character of the community. The landforms and landscape will mimic the character of the natural desert, and may be enhanced given the high visibility of these areas. Uniform slopes shall not be allowed and restoration and re-vegetation shall occur in a timely manner so as not to leave an undisturbed area exposed in a high visibility area. In some instances, slopes found along community roadways, may not be readily visible; these slopes may be uniform. **(See Figure 9).**
 2. Neighborhood Slopes: Neighborhood slopes are located primarily within the residential neighborhoods within the community. These slopes will be visible primarily from the specific neighborhood but may be visible from community collectors and arterial streets. These slopes shall feature the look and character of the community and reflect the natural character of the surrounding land. Uniform Neighborhood slopes are discouraged but may be permitted in areas of low visibility. Restoration and re-vegetation of these slopes shall occur in a timely manner so as not to leave an undisturbed area exposed in a visible area **(see Figure 9).**
 3. Residential Lot Slopes: Residential lot slopes exist within residential areas and are found on individual lots owned and maintained by the individual lot owner. Specific



Community Slopes are visible from community arterial and collector streets. Neighborhood slopes are visible primarily from local residential streets within neighborhoods.

Figure 9. Community & Neighborhood Slopes

cut and fill slope criteria (Section 14-22A-7-C & Section 14-22A-7-D) have been established that will provide developers and home builders direction for developing both production and custom lots. Most of these slopes will not be visible from collector or arterial streets. Uniform slopes may be permitted and restoration/landscaping will occur with construction of each home **(See Figure 10)**.

C. Cut Slopes

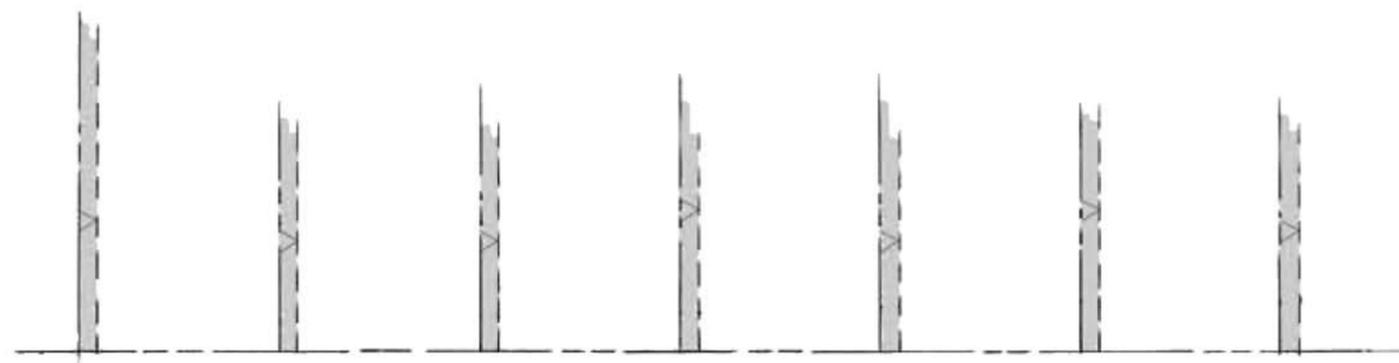
1. Cuts shall not be steeper than two to one (2:1) and must average 3:1 for Community Feature Slopes and Neighborhood Slopes. Steeper slopes will be allowed when use of boulder walls or other natural or natural looking material is used to stabilize slope. This average allows for all types of landscape planting including trees. Cut slopes vary in gradient 2:1 to 4:1 but may be less to create flatter areas for landscape planting **(See Figure 11)**. Cut slopes shall be re-vegetated in accordance with section 14-22A-7-F.
2. Cuts in the Residential Lot Slopes area shall not be steeper than 2:1 on a side lot to side lot basis, up to 6' in height. Slopes greater than 6' in height in a side yard condition may not be steeper than 2.5:1. Slopes shall not be steeper than 2.5:1 on a rear yard condition **(See Figure 12)**.

D. Fill Slopes

1. Fill slopes shall not be steeper in gradient than 1.5:1, but must average 3:1. Steeper slopes will be allowed when use of boulder walls or other natural or natural looking material is used to stabilize slope, The criterion applies to all Community Feature Slopes and Neighborhood Slopes. Fill slopes vary in gradient from 1.5:1 to 4:1 but may be less to create flatter areas for landscape planting. This average allows for landscape planting of all types, including trees **(See Figure 13)**.
2. Fill areas in the Residential Lot Slopes area shall not be steeper than 2:1 on a side lot to side lot basis, up to 6' in height. Slopes greater than 6' in height in a side yard condition may not be steeper than 2.5:1. Slopes shall not be steeper than 2.5:1 on a rear yard condition **(See Figure 14)**.

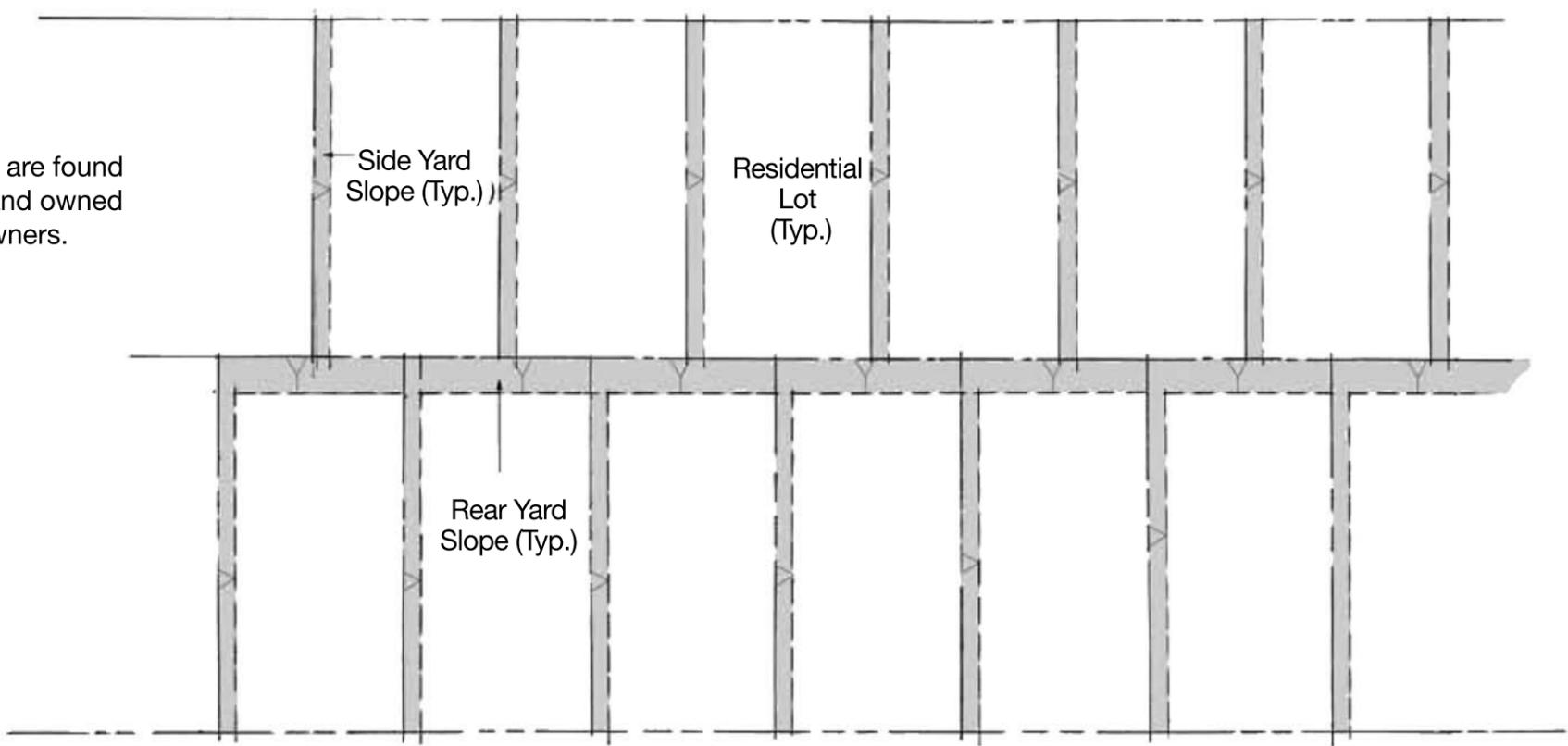
E. Grade tie-ins

1. Where cut or fill slopes meet existing natural grade, transitions shall be made to mimic or follow the natural movement of the land. Areas where slopes meet natural grade the slope should be rounded to avoid abrupt grade changes which create unnatural looking conditions. **(See Figure 15)**.



Local Residential Street

Residential Slopes are found on individual lots and owned by individual lot owners.



Local Residential Street

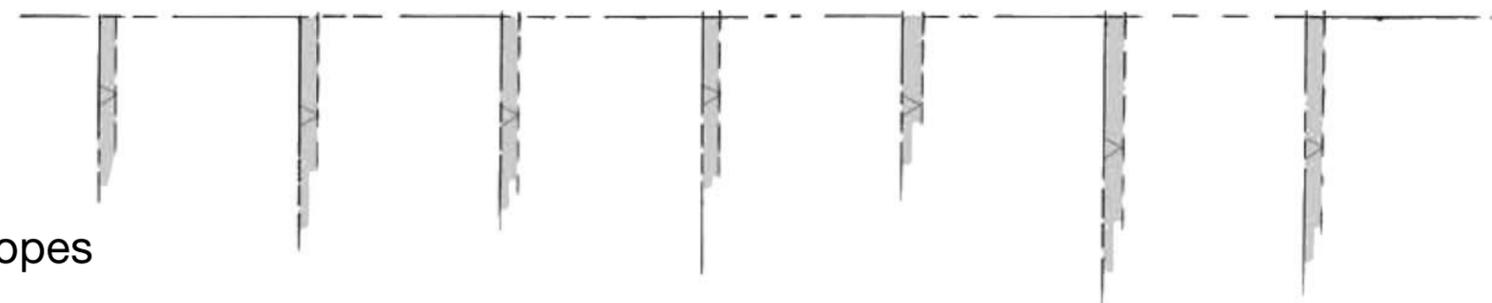


Figure 10. Residential Slopes

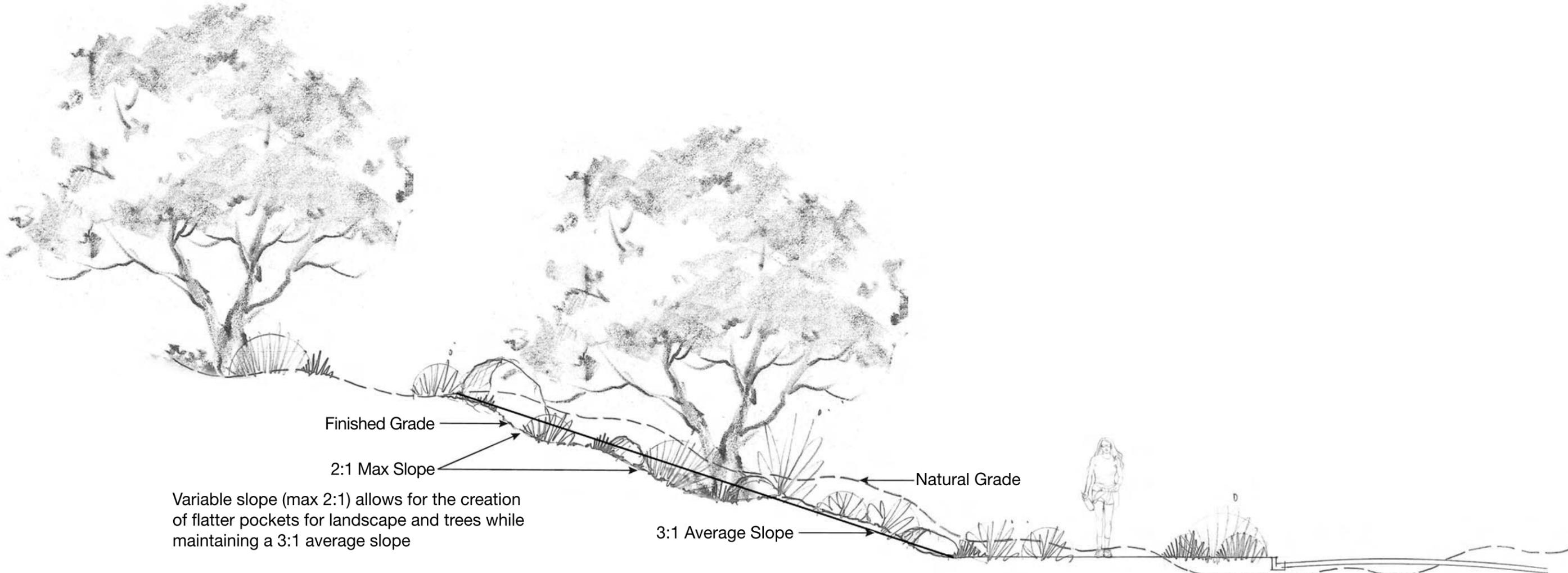


Figure 11. Cut Slopes Requirements - Community and Neighborhood Slopes

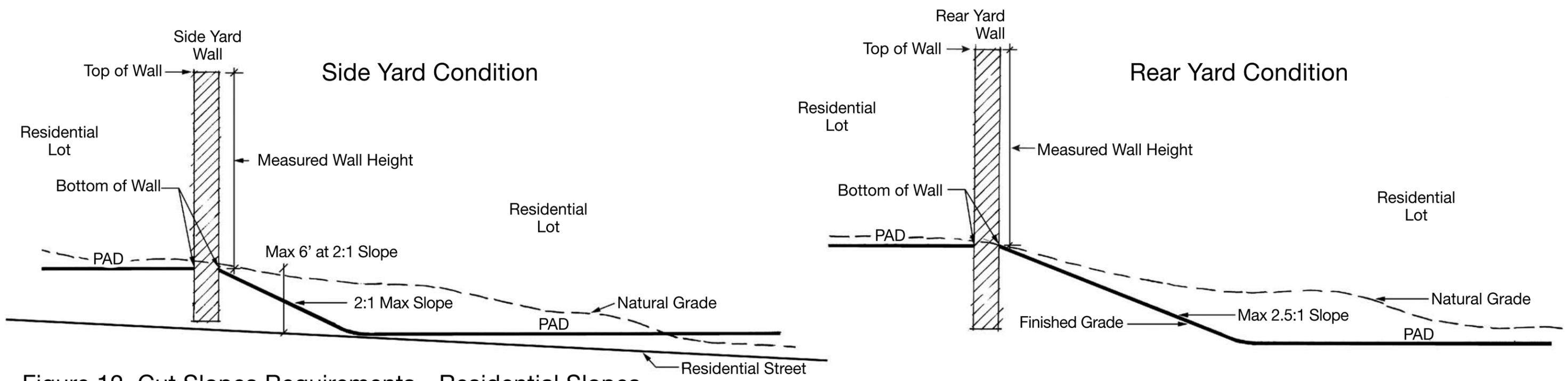


Figure 12. Cut Slopes Requirements - Residential Slopes

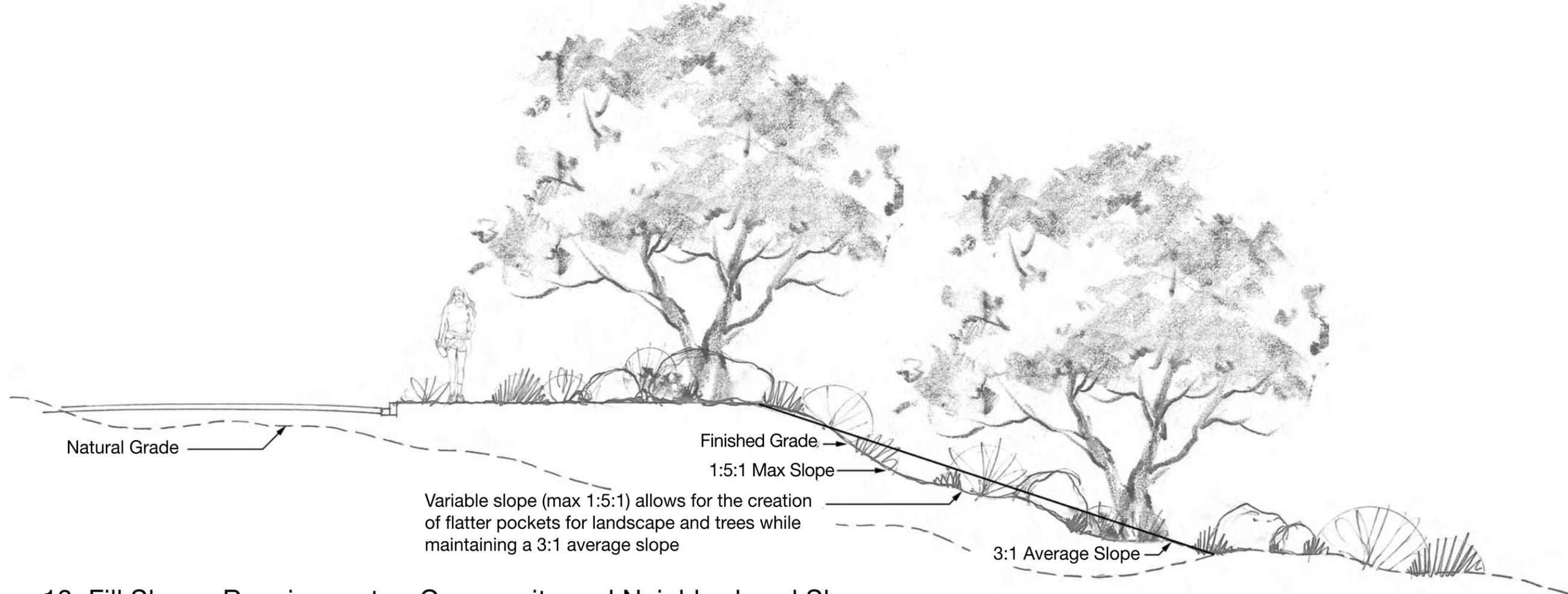


Figure 13. Fill Slopes Requirements - Community and Neighborhood Slopes

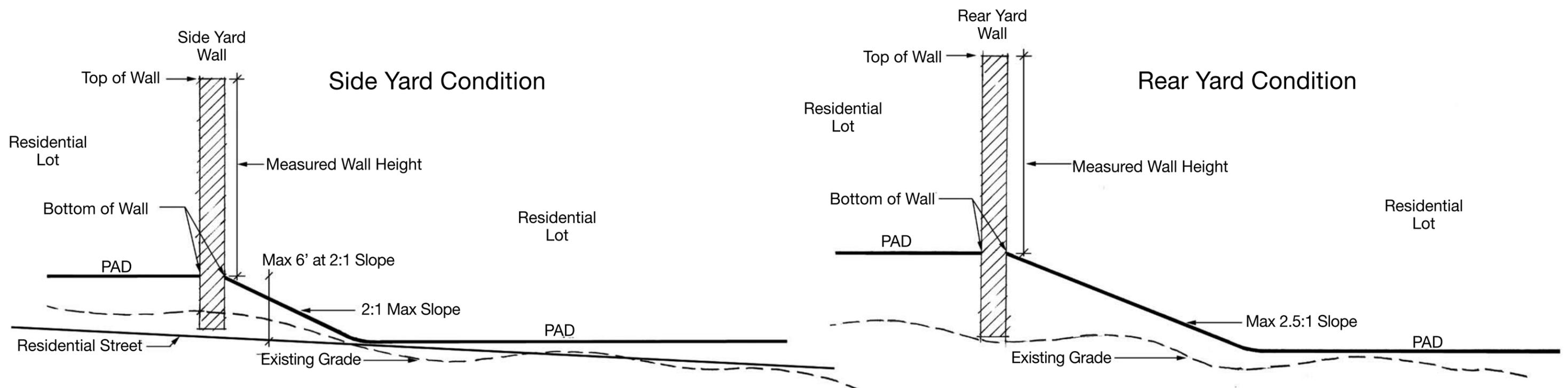
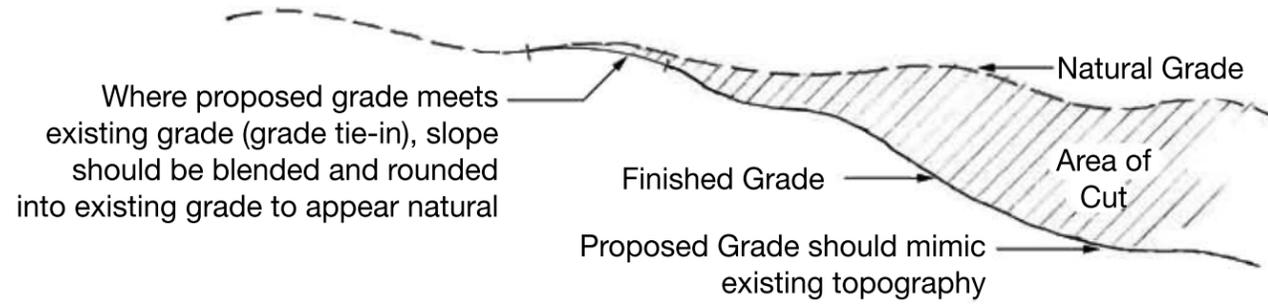
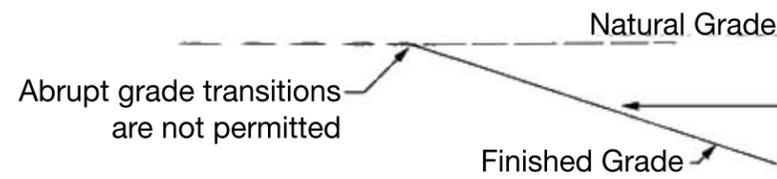
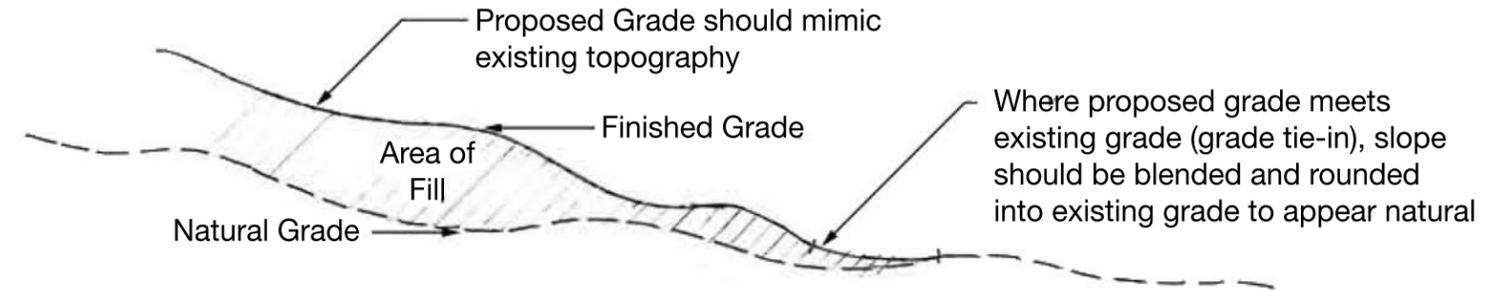


Figure 14. Fill Slopes Requirements - Residential Slopes

Cut Slopes

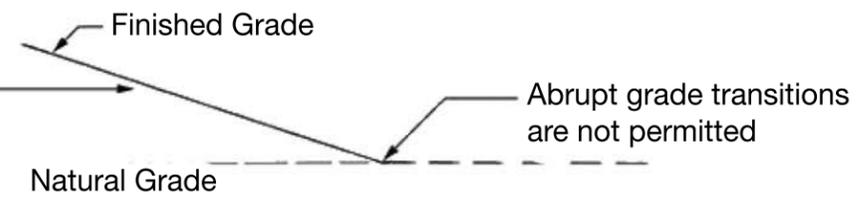


Fill Slopes



Cut Slopes

Uniform Slopes are not allowed in Community (except in areas of low visibility) and discouraged in Neighborhood slopes



Fill Slopes

Figure 15. Grade Tie-ins (Cut & Fill Slopes)

F. Landscape De-vegetation, Re-vegetation and Restoration

1. Devegetation: Devegetation shall occur per **Trilogy West Lands Conservative Overlay**. This process requires a Native Plant Permit or multiple Native Plant Permits which must be obtained prior to the destruction, mutilation, removal, or relocation of any protected native plant.
2. Re-Vegetation: Re-vegetation shall occur where any area is disturbed for development, and will remain as open space or right of way. Areas of re-vegetation shall mimic-the landscape character and match or exceed density of the area prior to disturbance in the following manner. These criteria are intended to supersede Article 14-35 at the discretion of the Planning Manager.
 - a. Community Feature Slopes: These slopes will emphasize the look and character of the community. The Developer is encouraged to re-vegetate these areas to higher plant densities than they were prior to development. These slopes shall feature a wide range of plant material, including plant material that may not have occurred prior to development. Community slopes that are characterized as “low visibility” may utilize a reduction of plant densities up to 15%.
 - b. Neighborhood Slopes: These slopes will also feature the look and character of the community and reflect the natural character of the surrounding land. Plant densities will be consistent with densities prior to disturbance. In highly visible areas, densities may be increased by as much as 25% to enhance the scenic quality of these highly visible areas. Neighborhood slopes that are characterized as “low visibility” may utilize a reduction of plant densities up to 15%.
 - c. Residential Lot Slopes: Residential lot slopes exist within residential areas and are owned and maintained by the individual lot owner. Specific criteria has been established both in the City’s Design Manual and Trilogy West Codes Covenants and Restrictions to provide developers and home builders specific direction for landscape requirements on an individual lot basis.
3. Restoration: Restoration occurs where the desert has been damaged or destroyed due to factors outside of the development process. These areas may include, but are not limited to, areas that may have been damaged in a fire or other natural occurrence, disturbed by previous land owners, or areas that are noticeably different from their immediate surroundings. The Developer is committed to restoring previously damaged desert when part of a development parcel. Previously damaged that are restored, when part of a development parcel, shall count towards any Natural Open Space (NOS) that may be required for that particular development parcel. The developer, when the disturbed area is part of development parcel’s open space, shall return the damaged desert area to the same landscape character as the immediate surrounding areas. If large scale and unforeseen damage occurs on the property after the approval date of this document, the City and Developer will work together to determine reasonable Restoration requirements. Salvaged plant material, from other areas of the community, may be used to restore any damaged area within Trilogy West. The Developer shall not be required to perform any Restoration activities on the land dedicated to the City as designated open space.

SECTION 14-22A-8 DRIVEWAYS

- A. If any portion of a driveway grade is more than twenty percent (20%), the entire residence and all accessory buildings over one hundred twenty (120) square feet of roof area shall be protected with an approved fire sprinkling system.
- B. Driveways with turning radii of less than forty (40) feet may be used provided all structures are protected with an approved fire sprinkling system.
- C. In the Uplands (areas above 25% in slope) or on any custom lot, to reduce the visual impact of driveways the following is intended to be an incentive to preserve the natural mountain vistas. Driveways surfaced with paving bricks, colored concrete or with exposed aggregate, colored to blend with existing native color of the site, shall only be included in disturbed area calculations at fifty percent (50%) of their total area.
- D. Any individual driveway cut greater than eight (8) feet in depth shall not have a length greater than one hundred (100) feet; and the maximum height of any cut or fill used to establish a driveway shall not exceed (15) feet.

SECTION 14-22A-9 PERIMETER WALLS, PRIVACY WALLS, RETAINING WALLS AND SPILL SLOPES

- A. The design of all retaining walls and ground coverings shall be prepared by registered engineer or architect and shall be designed to blend with the surrounding environment and/or development in color, materials and style.
- B. Raw spill slopes are prohibited.
- C. All exposed disturbed area fill shall be contained behind retaining walls or covered with a natural rock veneer and treated with an aging agent and landscaped with indigenous plant material.
- D. Residential retaining walls shall not exceed six (6) feet in height; non-residential retaining walls shall not exceed eight (8) feet in height; if additional height is needed, the wall shall be offset at a minimum of four (4) feet or one (1) foot per one (1) foot of height. Whichever is greater. View fences not exceeding six (6) feet in height above the highest part of adjacent natural grade may be added to a retaining wall. Increases in the height of view fences may be granted by the Planning Manager provided that the retaining wall contains unique design and materials or their amenity features that, in the determination of the Planning Manager, mitigate the impact of the additional height. (Ord. No. 05-44).
- E. Fences or walls on lots within a hillside district shall be restricted to privacy walls attached to or directly screening a portion of the main residence. Privacy walls shall not exceed six (6) feet in height, shall be architecturally compatible with the main residence and shall be limited to the development envelope only. Perimeter walls and fences surrounding a lot, tract or parcel shall be prohibited except as provided by Section F of this Article. Privacy walls shall not be erected on a retaining wall and shall be offset a minimum of four (4) feet when utilized.

- F. Within the ten to twenty-five (25%) slope category only, exceptions to the limitations on fences or walls may be permitted. In those instances where an exception is desired, applicants shall submit a detailed Wall Plan to the Planning Manager for review and action. In conjunction with the submittal of the Wall Plan to the Planning Manager, the applicant shall submit a copy of the Wall Plan to the Engineering Department for review and approval for conformance with all City Grading and Drainage requirements. Wall Plans shall indicate the proposed locations of walls or fences, the proposed materials, colors and design of any wall or fence, and fence construction and disturbance mitigation measures. Such plans shall be accompanied by a narrative explaining the reasons why such an exception should be made. Upon completion of the review of the Wall Plan by the Planning Manager, and following the review and approval of the Wall Plan by the Engineering Department, the Planning Manager may approve the Wall Plan. Wall Plans may be approved by the Planning Manager upon a finding that the proposed location and design of the wall(s) is in accordance with the Article and further that the proposed wall will not be contrary to the intent and purpose of this Article.
- G. Perimeter walls or fences approved by the Planning Manager or designee within the ten to twenty-five percent (10-25%) slope category and abutting an open space area or tract, shall be a maximum of six feet eight inches ('-8") in height with no more than three (2) feet be constructed of a solid or opaque material. That portion of the wall or fence not constructed of a solid or opaque material shall be open in design and may not include chain-link or wood materials. Notwithstanding the foregoing, walls exceeding six (6) feet eight inches in height and constructed of solid or opaque material may be approved by the Planning Manager if the wall is for the purpose of screening non-residential uses.
- H. All fences and walls within a Hillside Development Area shall be required to obtain a fence permit from the Community Development Department, in addition to all other necessary City of Peoria permits, prior to the initiation of any fence or wall related construction activities.

SECTION 14-22A-10 LIGHTING, SEWERS, UTILITIES

- A. All outdoor lighting concepts, fixture types, lamps and wattage shall be indicated on the site plan.
- B. Connection to a public sewer system is required in connection with Chapter Twenty-Five (25) of the City Code where available.
- C. Private Individual lot sewer systems shall be designed by a registered engineer.
- D. All on-site utilities shall be placed underground.

SECTION 14-22A-11 MOUNTAIN RIDGE PROFILE

Within a hillside development area and above the twenty-five (25%) slope line, no construction shall occur which will alter the mountain top profile and no building or structure shall be constructed which will project above a ridge line of significance when viewed from adjacent properties not a part of Trilogy West lines of significance have been identified and indicated on **Figure E-2, Preservation Master Plan**.

Prior to the issuance of any building permits, cross sections shall be submitted showing the relationship of the proposed development with established mountain top ridge lines and ridge lines of significance when applicable.

SECTION 14-22A-12 SUBMITTAL REQUIREMENTS FOR CONSTRUCTION IN THE HILLSIDE OVERLAY AREA

- A. In addition to drawings, plans, specifications and details necessary to obtain a building permit, the following documentary requirements and certifications shall be provided for staff review:
1. A topographic map at an appropriate scale on a 24" x 36" sheet presenting the total lot and a twenty (20) foot area beyond the property line shall be submitted with the application. This map shall show existing and proposed finished contours at two (2) foot intervals within a twenty (20) foot perimeter from any proposed building, five (5) foot intervals elsewhere. Existing contours shall be shown with dashed lines. This map shall show limits of excavation and fill, slope of cut and fill, total cubic yards of excavation and fill. The location and area of the sewage disposal systems, if public sewers are not provided.
 2. Detailed site plans and landscape plans at an appropriate scale, shall be submitted with each application and shall include, but not be limited to, the following: grade and slope in percent at all disturbed areas. Dimensions and calculations of all cut and fill for the building site, roads, drives, swimming pools, and the method of concealment for each fill or exposed cut. Dimensions of length and height of retaining walls, fences and other attachments; the location and grade of all drainage channels, swales, drain pipes, etc. The amount and degree of surface disturbance, destruction or removal of natural vegetation. Protected desert vegetation shall be preserved in an appropriate manner in accordance with the Trilogy West Desert Lands Conservation Overlay district.
 3. Cross sections at 1:1 scale, at two (2) or more locations perpendicular to the contours through the building site. Location of the cross-sections shall be clearly shown on the topographic map. Properties impacting ridge lines shall provide additional cross-sections indicating their relation and impact on such ridge lines as established in Section 14-22A-11
 4. An overall excavation, grading and drainage plan shall be prepared in accordance with sound professional engineering practices and to address minimum standards adopted by the City. Said plans shall be prepared and certified by a professional engineer registered in the State of Arizona. If any drainage structures or culverts are involved, it will be necessary to include calculations for peak flows for a 100 year storm to establish appropriate drainage facilities, cross-sections and details.

Storm water diverted from its original drainage pattern shall be returned to its natural course before leaving the property.

5. Where possible and appropriate on less complex lots and lots with acceptable site conditions, the combining of the above maps into one drawing may be acceptable.
6. The Planning Manager, or their designee, may require an accurate oblique view architectural rendering in color; showing the appearance of the building, lot, landscaping, and skyline. The Planning Manager may also require a model if determined necessary to evaluate the project. The model may be a three dimensional physical model or it may be a computer generated model in a three dimensional format and presented by a series of prints or by a disc that can be viewed on a monitor. The rendering and the model will remain in the custody of the Planning Manager until a Certificate of Occupancy is issued. On the rendering or attached thereto, the applicant shall list all colors depicted on the exterior of all structures according to Section 14-22A-54.C
7. Plans for any structure to be constructed on any land governed by these Hillside Regulations shall be sealed by a registered engineer or architect.
8. The plans for any hillside development of any kind or nature whatsoever, must be approved by the staff and appropriate permit(s) issued, before any grading, bulldozing, blasting, or movement of earth is commenced.

SECTION 14-22A-13 RESERVED

SECTION 14-22A-14 INSPECTIONS

- A. Inspections may be made to insure compliance with this Article.
- B. Prior to the inspection of property, an authorized employee shall attempt to obtain the consent of the property owner or representative pursuant to this Article. If consent is denied, the employee may conduct an inspection as permitted pursuant to applicable state or federal law.

SECTION 14-22A-15 ENFORCEMENT/COMPLIANCE

- A. Violations should be reported by the City to the property owner, together with a Compliance Order describing the measures required to correct the violation(s). Failure to comply with the terms of a Compliance Order shall constitute a violation of this Article.
- B. In those instances where a Site Disturbance Activity has commenced within a Hillside Development Area without an approved Slope Category Determination Study or where another violation of this Article has occurred, the City may issue a Stop Work Order to terminate immediately all development or construction related Site Disturbance Activity on the site, parcel or property. In addition, the City may revoke any or all of the permits issued by the City for the site, parcel or property. Upon the issuance of a Stop Work Order, the responsible party shall immediately terminate all activities on the site and then contact the City of Peoria Planning Division regarding what measures should be taken to eliminate any problems resulting from the development activity. Failure to comply with the terms of a Stop Work Order shall be a violation of this Article.

C. Violations of this Article are subject to prosecution by the City of Peoria as a Misdemeanor violation under the City Code and shall be punishable as provided by law.

SECTION 14-22A-16 DEFINITIONS

Alter the Mountain Top Ridge Line. Means to alter or change the view or appearance of an established ridge line or ridge line of significance with cuts, fills or structures when viewed from a distance.

Construction Envelope. A specific area defined by the sum of the maximum allowable disturbed area plus the maximum coverage allowed for the lot or parcel.

Custom Lot. A lot which can be irregular in shape and size, and gives the lot owner the ability to design a completely unique home.

Cut. The land surface which is shaped through the removal of soil, rock, or other materials.

Disturbed Area. That area of natural ground that has been or is proposed to be altered through limited grading, cut and fill, removal of natural vegetation, placement of material, trenching, or by any means that causes a change in the undisturbed natural surface of the land or natural vegetation. These areas have not been Mass Graded

Disturbed Area Reclaimed. Disturbed areas may be reclaimed if they are restored to their natural contours, vegetation and colors to the satisfaction of the Staff.

Fill. The deposit of soil, rock, or other materials placed by man.

Finished Grade or Newly Established Grade. The final grade and elevation of the ground surface after grading is completed.

Grading. Any excavating, or filling or combination thereof, including the conditions resulting from any excavation or fill.

Hillside Development Area. Building areas, other than sloped areas within washes and rivers, with a building site slope of ten percent (10%) or greater, measured as a vertical rise of ten (10) feet in a horizontal distance of one hundred (100) feet.

Landscape Development Areas. Areas within a site with different recommended plant palettes based on their proximity to natural open space, soil stabilization attributes and the desired visual character for the area.

1. Oasis Area: A landscaped area consisting of enclosed courtyards, similar semi-private areas and other areas located within the Disturbed Area where the use of Native Sonoran, Sonoran Character and Arid Zone plants are strongly encouraged, but where Exotic Zone plants are also allowed.

2. Transitional Areas: A landscaped area consisting of open backyards, commercial and public areas, streetscapes and common areas where use of Arid Zone plants is limited to 30% by area and where a buffer of Native Sonoran Zone plants is required at the perimeter of the lot or parcel or between the Disturbed Area and Natural Open Space.

3. Buffer Area: A landscaped area consisting of open areas adjacent to preserved wash corridors and Natural Open Space areas where the use of plants is limited to the Native Sonoran Zone palette.

Mass Grading. A technique used to significantly alter the landforms, including “flattening” of a relatively large area, for the purpose of developable pads.

Natural Grade. The grade and elevation of the ground surface in its natural undisturbed state.

Natural Open Space. Areas dedicated for public ownership or retained in private ownership containing naturally occurring conservation features and accreted Sonoran Desert that have not been altered except to allow decomposed granite trails (private or public) in accordance with ADA guidelines, roadways and utility easements as necessary.

Retaining Wall. A retaining wall is a wall used solely to retain more than eighteen inches (18") of material but not to support or to provide a foundation or wall for a building.

Site Disturbance Activity. Any action which results in a cutting of the natural soil grade, creation of an un-natural soil fill or movement of a significant natural landscape feature. A Site Disturbance Activity may include, but not be limited to the following activities: digging, trenching, filling, drilling, grading or clearing.

Slope Category Determination Study. A detailed study of the topography and slope of a development site, parcel or property. The study shall include a detailed graphic showing all slope areas on the site utilizing the methodologies established in this Article and shall be composed of both graphical, numerical and textual information.

Spill. To cause or allow earth or other material to fall, flow or run down a slope, thereby creating a change in the natural appearance and topography.

Vertical Exposed Face. A remaining unimproved exposed area of earth as a result of grading that is vertical in nature or appears to be vertical in nature (rising more than five (5) feet per every one (1) foot).

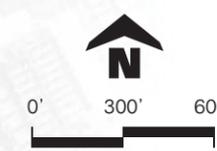
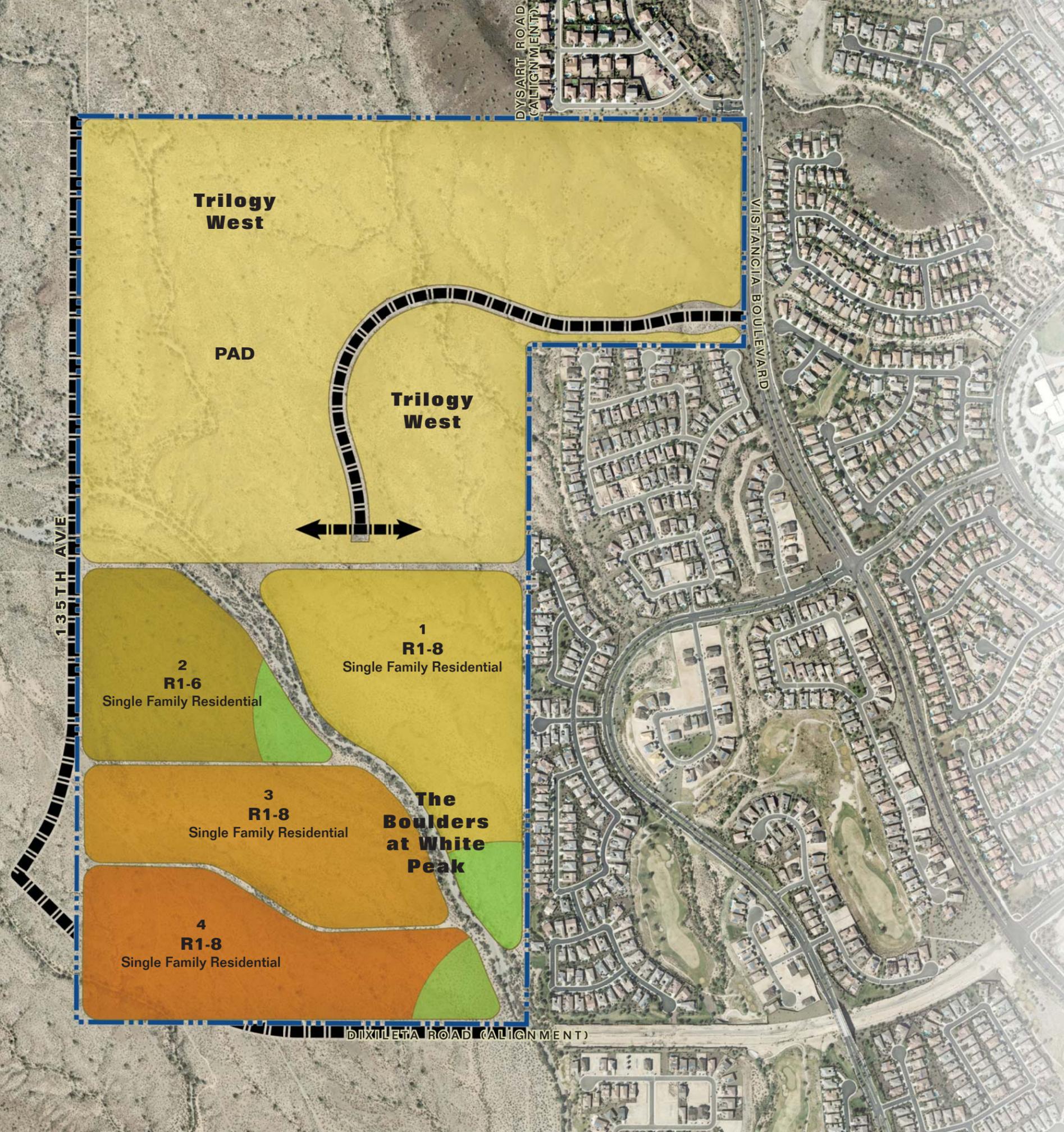


Trilogy[®] West

THE BOULDERS AT WHITE PEAK (OPTION 1)

Bubble Plan

Appendix Exhibit if Option 1
development is exercised



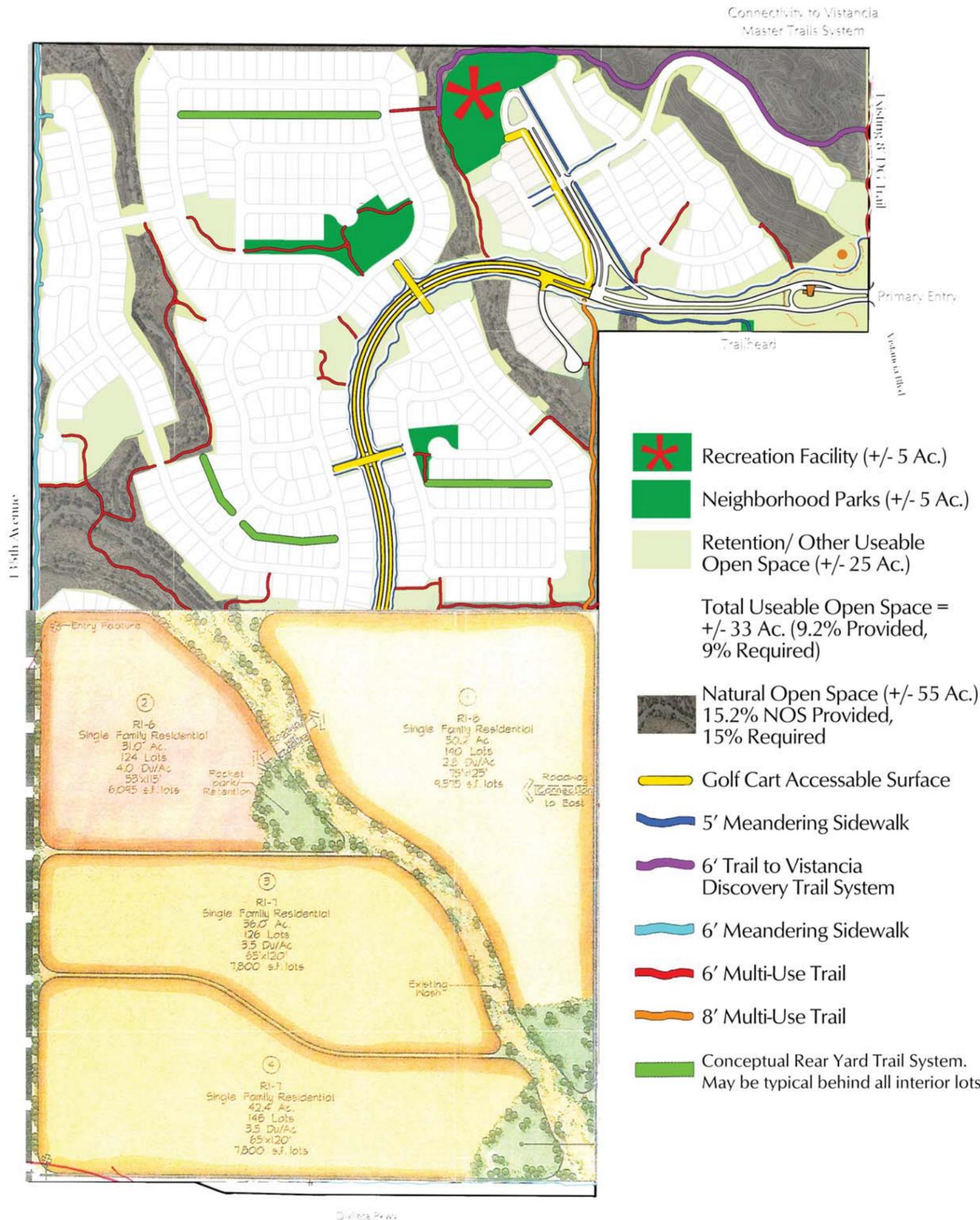


Trilogy[®] West

THE BOULDERS AT WHITE PEAK (OPTION 1)

Open Space & Concept

Appendix Exhibit if Option 1
development is exercised



Landscape Design &
Rendering by:

GREY | PICKETT



3 September 2013

N:\070218101\graphics\exhibit\Boulders- Option1.indd



Boulders at White
Peak

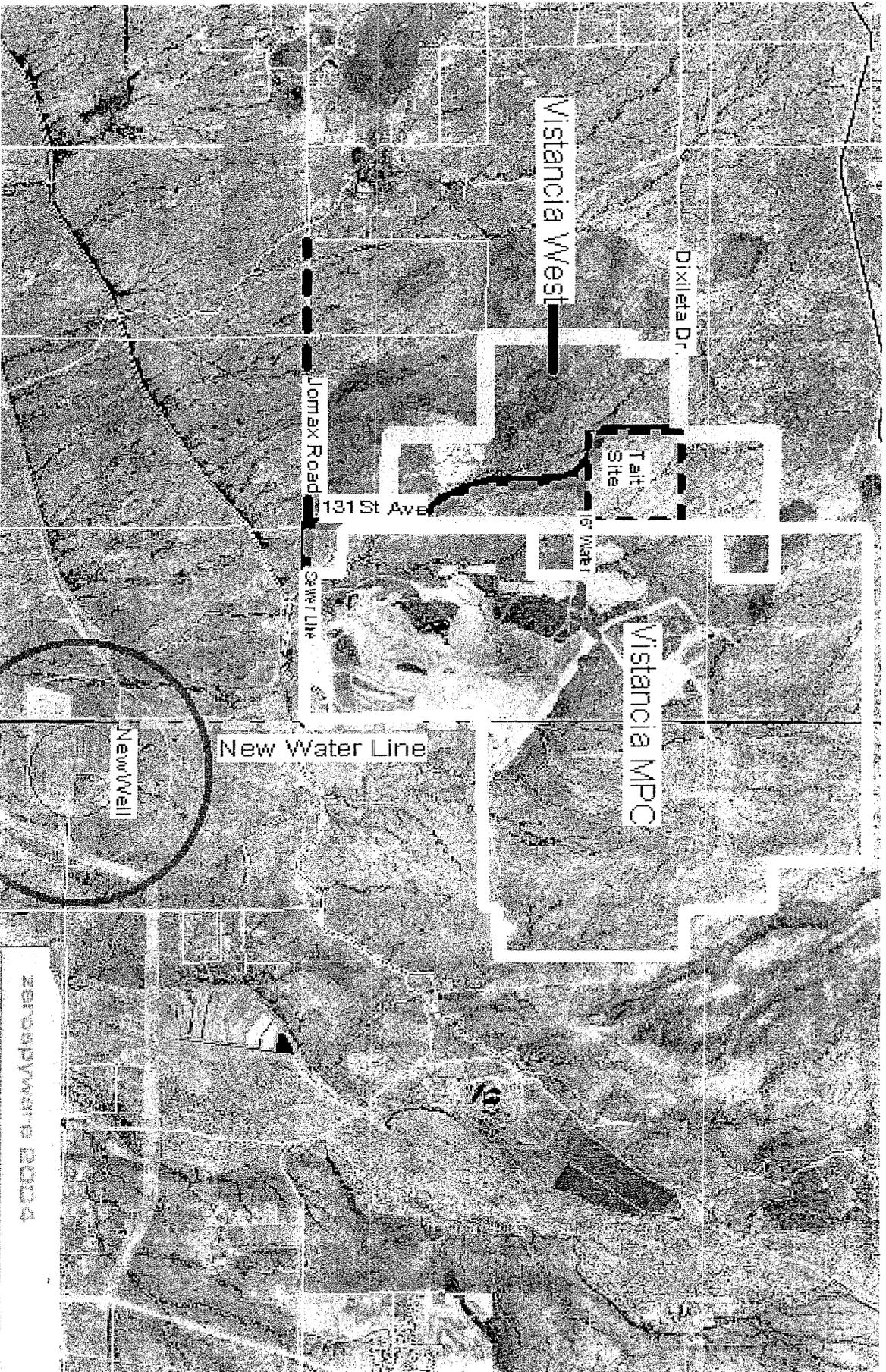
Planned Area Development

159.6 Acre Parcel

**Southwest Corner of Dysart Road
and
Dixileta Drive**

May 27, 2003

Vistancia West Regional Infrastructure Exhibit



Development Team

Developer/Applicant:

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Boulders at White Peak PAD Narrative

Introduction

The PAD is a 159.6-acre residential community that includes: a mixture of single-family residential densities, private open space and natural open spaces within the context of a common design theme. The Planned Area Development (PAD) zoning includes the R1-6, R1-7 and R1-8 underlying base zoning districts.

The property encompasses one-quarter square mile located within the alignments of Dixileta Drive to the north, Dysart Road to the east, Peak View Road to the south, and 135th Avenue to the west (see Exhibit A). The site is undeveloped desert that is relatively flat with a slight slope from northeast to southwest. The site includes a wash that runs diagonally through the property.

Adjacent properties to the north, east, south and west are undeveloped desert. The adjacent property to the east is part of the Vistancia (Lakeland Village) master plan that is planned and zoned for commercial retail, employment, multi-family residential, single-family residential, schools, parks and golf course. The property to the north is part of the White Peak Ranch Master Plan that is planned and zoned for commercial retail, employment, multi-family residential, single-family residential, school, park and golf course. The adjacent property to the west and south is being planned as a residential community under the name Pleasant Valley Hills that includes a combination of single and multi-family residential densities (see Exhibit B). All of the surrounding master plans include the extension of major roads and utilities into the area.

General Plan

A general plan application was filed on this site to allow 2-5 dwelling units per acre with a target density of 3.0 units per acre. The amendment to the General Plan was approved on June 4, 2002 through General Plan Amendment 02-01 to allow residential density designations on the site consistent with the planned densities in the master plans to the north, east, south and west. The proposed PAD at 3.34 units per acre is consistent with the 2-5 units per acre General Plan residential land use designation (see Exhibit C).

The PAD is also consistent with the General Plan criteria to exceed the 3.0 target density. The General Plan allows development to exceed the target density to 5.0 units per

acre if six criteria are met in the project. The target density can be exceeded in increments above 3.0 if some but not all of the six criteria are met. The Boulders at White Peak meets four of the six criteria to exceed the target density. The criteria and how they are met are as follows:

- *Efficient and appropriate utilization of the development site.* The Boulders at White Peak includes 159.6-acres, all of which is planned for single-family detached residences. The land uses are appropriate for the area due to the location of planned single-family lots on adjacent the Vistancia master planned community to the east. This plan coordinates open spaces, trails, and local street connection with Vistancia. The plan retains a natural wash and designs an active open space adjacent to the wash to take advantage of this natural vista.
- *Variation in product type, location and lot sizes.* The Boulders at White Peak proposes a combination of one and two-story house products with at least four elevations for each of the four subdivisions with the PAD. There are three different lot sizes planned ranging from a minimum of 6,095 to 7,800 to 9,375 square feet. Each lot size will have a different house product. The smallest lots are located in the smallest subdivision along 135th Avenue frontage. The medium size lots are located between the open space wash and 135th Avenue. The largest lots are located between the wash an adjacent to residential lots in Vistancia away from major streets.
- *Incorporation of developed recreational amenities.* The PAD proposes a pocket park adjacent to the open space wash in the southeast corner of the smallest lot subdivision (parcel 2). The recreation improvements include: soccer field, children's playground, Ramada, picnic table, barbeque grill, and turf area for passive recreation.
- *Integration of plans to retain, replace or salvage native desert vegetation.* The PAD retains significant areas of native vegetation by leaving the wash that runs diagonally through the site adjacent to all four subdivisions in its natural condition.

PAD Development Plan

The PAD is currently under the holding zone of SR-43. The proposed PAD zoning provides a master planned residential community that encompasses 159.6-acres on a quarter square mile parcel of land (see Legal Description, Exhibit J).

Residential Land Uses

The PAD proposes a mix of three different single-family lot sizes, private retention/park/recreation area, landscaped open space/retention areas, and the conservation of a natural open space wash corridor (see Exhibit D). The residential component includes 537 single-family residential lots. The single-family lots vary from approximately 6,000 to 10,000 square-feet in size. The overall residential density is 3.4 units per gross acre. To exceed the target density of 3.0 the PAD introduces the preservation of a large wash as natural open space that runs diagonally through the property along with three-internal landscaped open spaces outside the wash, a trail that crosses the entire site, and recreation amenities in the most central open space area. The plan creates four residential neighborhoods that are internally or externally linked with a collector street, local streets, and a linear natural open space corridor. The linear natural open space corridor is adjacent to all four neighborhoods. These natural open spaces provide common design elements that link the neighborhoods together.

The distribution of lot widths (53' to 75'), depths (115' to 125'), and minimum lot sizes (6,095 to 9,375 square-feet) vary throughout the PAD. The slightly smaller lots and a pocket park are planned in the neighborhood on parcel 2 along 135th Avenue and the Dixileta Drive alignment near the northwest corner of the PAD. Medium size lots are planned in two neighborhoods on parcels 3 and 4 near the center and southern portion of the PAD along 135rd Avenue and the Desert View Road alignment. The largest lots are planned in the neighborhood east of the natural open space corridor in parcel 1 along Dysart Road alignment on the northeast portion of the PAD.

The distribution of the 538 lots includes: 140 lots that are a minimum 9,375 square feet in size on parcel 1; 124 lots that are a minimum 6,095 square feet in size on parcel 2; 126 lots that are a minimum 7,800 square feet in size on parcel 3; and 148 lots that are a minimum 7,800 square feet in size on parcel 4.

Open Space

The PAD comprises approximately 17.6-acres or 11 percent useable open space as required by the City Design Guidelines. A large natural wash provides an open space corridor that runs diagonally through the middle of the site. The wash includes a pedestrian trail that is the extension of a planned trail from the Vistancia project located on the adjacent property to the southeast. The trail is designed to connect to future subdivisions in Vistancia to the southeast and to future subdivisions in the White Peaks master plan to the north (see Exhibit F). The trail will provide pedestrian access to the pocket park and recreational amenities located on the southeast portion of parcel 2 in the PAD. The remaining open spaces and retention areas are planned on parcels 1, 2 and 4 adjacent to the large natural open space corridor. A 20-foot wide landscape open space

tract in addition to the right-of-way with a detached pedestrian sidewalk improvement planned along the length of 135th Avenue (see Exhibit H).

A pocket park is designed to be contiguous to the large natural open space near the center of the PAD on parcel 2. The park includes a soccer field, children's playground, shade Ramada, picnic table, barbeque grill, and turf area for passive recreation activities (see Exhibit E). The natural open spaces, retention areas, landscape tracts, and pocket park will be owned and maintained by a homeowners' association.

Single-Family Development Standards

The PAD allows the: permitted uses defined under Section 14-5-2 with the addition of private recreation facilities associated with common open spaces constructed for the use and enjoyment of residents within the PAD; permitted conditional uses under Section 14-5-3 with the exception of day care group homes, group care facilities, and community residential setting facilities which are not permitted; and permitted accessory uses under Section 14-5-4 of the Zoning Ordinance. The property development standards are in accordance with the following Development Standards Table:

Boulders at White Peak Development Standards

Parcel #	R1-8 District	Parcel #1 PAD	R1-6 District	Parcel #2 PAD	R1-7 District	Parcels # 3,4 PAD
Description	Ordinance Requirements w/o PAD	Residential Lots **	Ordinance Requirements w/o PAD	Residential Lots **	Ordinance Requirements w/o PAD	Residential Lots **
Min Area	8,000 square-feet	9,375 square-feet	6,000 square-feet	6,095 square-feet	7,000 square-feet	7,800 square-feet
Min Width	70-feet	75-feet	50-feet	53-feet	70-feet	65-feet
Min Depth	100-feet	125-feet	100-feet	115-feet	100-feet	120-feet
Front	20-feet	15' for Living Area or Side Load Garage 18' for Front Load Garage ***	20-feet	15' for Living Area or Side Load Garage 18' for Front Load Garage ***	20-feet	15' for Living Area or Side Load Garage 18' for Front Load Garage ***
Side	5-feet one side with 15-feet combined total	5-feet one side with 15-feet combined total*	5-feet/8-feet	5-feet/8-feet*	5-feet/10-feet	5-feet/8-feet*
Street Side	10-feet	10-feet	10-feet	10-feet	10-feet	10-feet
Rear	15-feet	15-feet	15-feet	15-feet	15-feet	15-feet
Lot Coverage	40 percent	45 percent	45 percent	45 percent	40 percent	45 percent
Bldg Height	25-feet	25-feet	25-feet	25-feet	25-feet	25-feet

* Fireplaces, bay windows, pop-outs for entertainment centers may encroach 2-feet into side yard.

** Note: Upon engineering of the subdivisions in the PAD, some lots in the PAD may be less than the minimum areas, widths and depths identified in the Development Standards Table, however in no case will the lots be less than the minimum requirements identified in the corresponding base zoning district.

*** Side loaded garages shall include a faux window or other architectural treatment on the street side of the garage that architecturally gives the appearance of a living area rather than a garage.

There are a few design standards that are changed from the equivalent base-zoning district:

- The R1-7 base district requires minimum 70-foot lot width and 100-foot lot depth with minimum 7,000 square feet in area. The PAD proposes 65-foot width, 120-foot depth and 7,800 square feet in area. The lot width is reduced to lower the per linear foot cost of infrastructure improvements that run along the front of the lot (street paving, curb & gutter, sidewalk, water line, sewer line, underground electric, telephone, and cable TV). The lot is then made deeper to allow for increased rear yard area because that is where people spend most of their outdoor free time (swing sets, pools, BBQ, table, patio, volley ball, horseshoes, etc.) Lot depth has more value to the homebuyer than lot width in terms of actual cost per square foot and practical use.
- The R1-7 requires 5'/10' side yards where the PAD proposes 5'/8'. The additional two feet allows a larger house footprint, which gives more flexibility in floor plan layouts. The average homebuyer can see the different in the internal floor plan but does not see the different between 15-foot and 13-foot between houses. The shift in the two feet is valued added to the homebuyer, but does not impact safety or useable open space.

Single-Family Design Guidelines

The following design guidelines apply to all single-family homes including principal and accessory structures. All subdivisions and house products shall be subject to approval in accordance with the following design guidelines. The guidelines are separated into three categories: Architectural Design, Plat/Lot Design and Landscape/Perimeter Wall Design.

Architectural Design

The proposed homes may include one and two-story plans that exhibit high quality materials and architectural features.

Each home shall include the following:

1. Stucco or block exterior with optional stone, brick or wood accents.
2. Optional covered rear patio designed to match the home.
3. Ground mounted Air Conditioning and Heating unit.

4. Concrete tile roof.
5. Accents and window treatments.
6. Two-car garage with three-car garage option.
7. Painted stucco or block decorative return walls to match the houses.
8. Dual pane windows. Window frames and mullions finished with either baked enamel paint or anodized.
9. Roof vents, flashing, pipes shall be painted to match roof tile color.
10. Exterior light fixture at front entrance door. Enhanced exterior light fixtures on garage doors as an option.
11. Metal flashing, vents, pipes, electrical panels and other exposed metal on elevations shall be painted to match the color of the house.
12. Boxed fireplace chimneys to avoid exposed metal flues if buyers include a fireplace as an option, or if the owner adds a fireplace at a later date.
13. The garages will be a minimum of 20' x 20', free of obstructions.
14. Two parking spaces in driveways outside of the garage.
15. Second story balconies shall be a minimum of fifteen (15) feet from any property line.
16. The use of reflective surfaces, except windows, shall be prohibited.
17. Roof mounted equipment, except solar panels and related equipment, shall be prohibited.
18. All utilities and ground mounted mechanical equipment shall be fully screened from view and shall meet the PAD setbacks.
19. Accessory structures 6-feet or more in height and/or 120 square-feet or more in area shall utilize like colors, materials and architectural style as the principal structure.
20. Additions to principal and accessory structures shall utilize like colors, materials and architectural style as the principal structure and shall conform to existing rooflines.
21. Each subdivision shall provide choices of roof colors and roof material types.

22. Each subdivision shall provide choices of exterior accent materials such as, brick, stone or masonry.
23. Each subdivision shall provide a minimum of 4 different architectural elevations.
24. Roof lines may vary from homes on adjacent lots and directly across the street
25. House products may include side-entry garages, or L-shaped floor plans.

Plat/Lot Design

26. All public local residential streets in excess of 900-feet in length shall be curvilinear in design with a minimum radius of 150-feet and a minimum curve length equal to one-half of the radius. Private streets may be developed within the PAD, at the developer's discretion, with standards as approved by engineering department.
27. When a cul-de-sac abuts a useable open space area, a landscaped access easement shall be provided. Said easement shall be 10-feet wide that may be dedicated as a pedestrian path.
28. Plats should be designed to integrate and/or continue existing or approved open space areas adjacent to developed areas.
29. At the developer's discretion, subdivisions may utilize alternative local street cross-section. Use of ribbon curbs, modified street lighting and reduction of pavement width for public and private rights-of-way shall be considered by the City Engineer. Private streets may be used, at the developer's discretion.
30. Useable Open Space shall be clearly designated on each preliminary and final development plan. Areas that may be included in the calculation of open space shall include: landscaped retention area; private park and recreation area; landscape tracts, washes, and natural area open spaces.
31. Useable Open Space shall not include any of the following:
Dedicated streets, alleys, vehicular drives, parking, loading and storage areas; required setback areas except where tracts are delineated; reservation of public park and school sites for which the City or school district shall be required to purchase; areas reserved for the exclusive use or benefit of an individual owner or tenant; or concrete areas designed primarily for the conveyance of water.
32. Dedication Statement on final plat shall include provision dedicating all open space and retention areas as tracts, providing for the maintenance of such areas and adjacent right-of-way by an established home owners association, and precluding such areas from future development.
33. Rights-of-way and retention areas shall be improved with landscaping as required by the City of Peoria Zoning Ordinance.

34. Entry features including decorative entry signage and landscaping with stamped concrete or specialty pavers shall be required for the main entrance off of 135th Avenue (See Exhibit G).

Landscape and Design

There is an integrated landscaping and wall theme for the PAD. The Conceptual Landscape Exhibit establishes the landscape theme (see Exhibit F). Plant materials shall be selected from the final plant palette approved by the City. Accent materials shall be low water use plants known for form, color and visual texture. Trees will be clustered where appropriate. The placement of trees and shrubs will be staggered to provide depth along the 135th Avenue landscape tract. The landscape plan has been designed in conjunction with the Master Drainage Exhibit for the site.

The PAD plan will provide: 8-foot high decorative theme wall along 135th Avenue if 135th Avenue is declared an arterial street by the City; otherwise the decorative theme wall will be 6-feet high along 135th Avenue as a collector street. The decorative walls at the entrances off 135th Avenue into the neighborhoods will be a minimum 6-feet high; 6-foot high decorative view walls along internal open spaces next to residential lots. The design of the 6-foot high theme wall incorporate single-scored smooth face block with integrated split face block accent (see Exhibit G). The 6' high view walls include a single-scored smooth block base with a wrought iron top. The entry signage will incorporate split face block in granite tile with etched letters on a smooth background. Landscaping at the entrance will be desert trees and vegetation with small boulders (see Exhibit G).

Circulation

The White Peak Ranch to the north identifies the development of Lone Mountain Road to the north of the PAD. The Lakeland Village to the east plans the development of Dynamite Road to the south of the PAD. Accordingly, the Boulders at White Peak will be providing complete half street improvements for the east half of 135th Avenue adjacent to the development. 135th Avenue has a collector designation and will provide a north-south connection between Lone Mountain Road and Dynamite Road. This alignment will provide at least two or three local street access points off of 135th Avenue, directly into the planned neighborhoods of Parcels 2, 3, and 4. Parcel 1 will have two points of access. The first will be provided by a local street connection through the Lakeland Village development as shown on Exhibit D, and by a wet crossing through the wash common to both Parcel 1 and Parcel 2. Interior circulation will occur by local street connections common to Parcels 2, 3 and 4.

The planned street cross sections include 70-feet of right-of-way with one travel lane in each direction on 36-feet of paving for 135th Avenue. Local streets include 50-foot right-of-way with 32-feet of paving, back-of-curb to back-of-curb, roll curb and attached 4-foot sidewalk (see Exhibit H). Narrower street cross sections and rights of way may be used for public or private streets within the PAD at the developer's discretion, as may be approved by the Engineering Department. The local street will be a wet crossing.

Grading and Drainage

The PAD site naturally slopes from the northwest to southeast. An existing wash traverses the site diagonally in a northwest/southeasterly manner. The proposed grading concept will include a minimum of 4 separate open space/retention areas located adjacent to the wash area at the low end of each parcel. These areas will provide the required storage volume generated by the 100 year, 2 hour storm event. The wash will also be utilized for the ultimate outfall for each one of the basins. Each parcel will be responsible for retaining its' storm water, which will allow greater flexibility in phasing the development (see Exhibit I). The following represent the PADs' FEMA designation:

The Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Map (FIRM), Map No. 04013C1590G, revised July 19, 2001 indicates that the site lies within Zone "X". Zone "X" is defined by FEMA as:

Zone "X" (shaded): Areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood.

Public Utilities and Services

Sewer service to the site will be provided by the City of Peoria. Ultimate discharge will occur at the Twin Buttes Treatment Plant located in Section 35 along Jomax Road and the Beardsley Canal, which is currently under construction. The Lakeland Village Development will provide the sewer connection for the PAD. The connection will be located near the southeast corner on the site. The exact location and depth will be determined as the plans for the Lakeland Village Development are finalized.

Water service to the site will also be provided by the City of Peoria, through two points of connection. Each connection point is being provided by the development to the north (White Peak Ranch), and to the east (Lakeland Village). A water line will be constructed in 135th Ave, which will connect the water line in Lone Mountain Road to the water line in Dynamite Boulevard, as shown on Exhibit B.

Natural gas to the site will be provided by Southwest Gas. Extension of service will be fed from the Lakeland Village development located east of the site and/or from White Peak Ranch development located north of the site, as shown on Exhibit B.

Electricity will be provided to the site by Arizona Public Service. The nearest facilities will be within the Lakeland Village development.

Telephone service will be provided to the site by Qwest Communications.

Cable television will be provided to the site by Cox Communications.

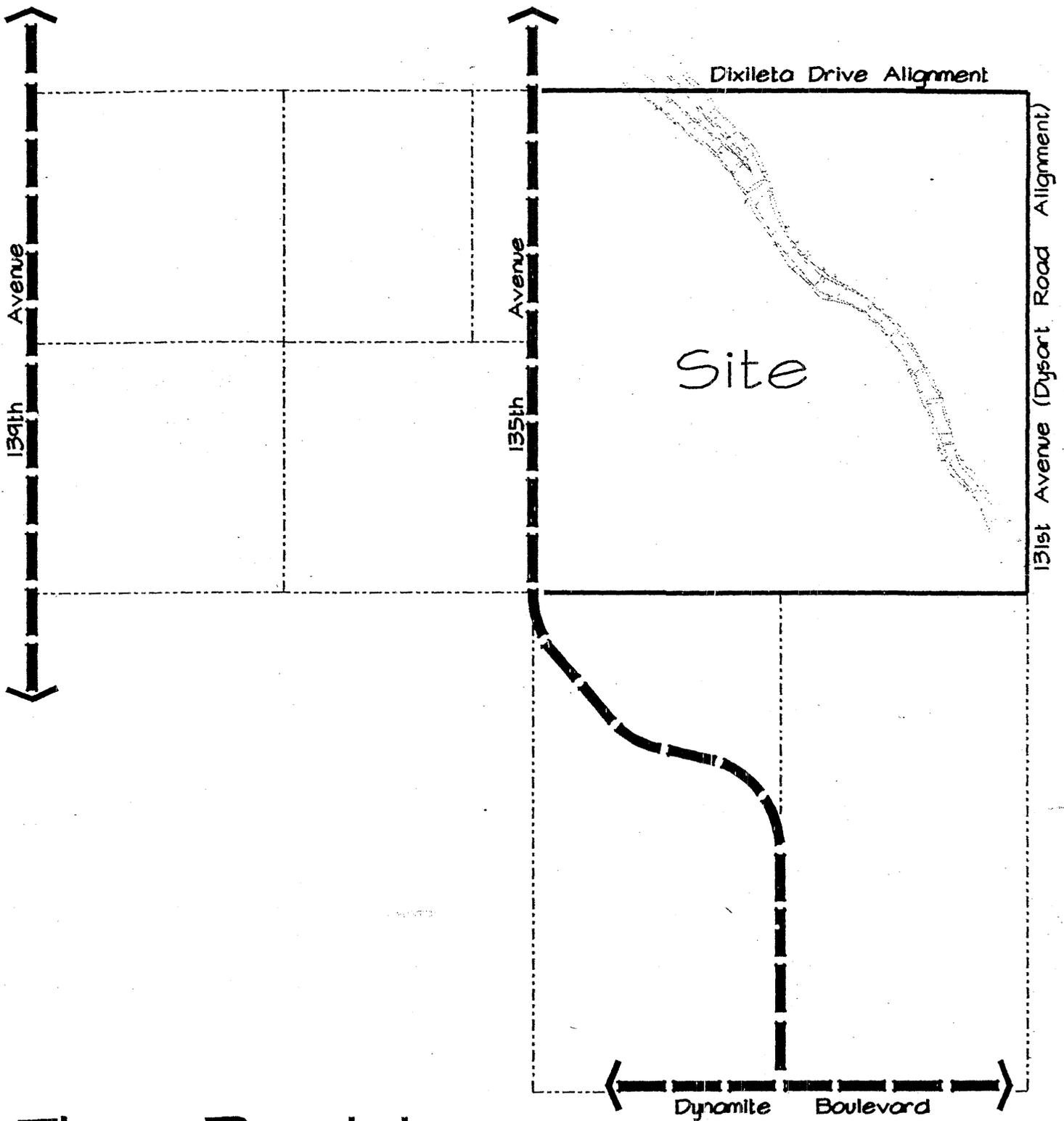
Refuse collection will be provide by the City of Peoria.

The City of Peoria will provide Law enforcement services, emergency and fire protection services. The closest police substation and fire station will be within the Lakeland Village development.

District No. 11 of the Peoria Unified School District will provide educational facilities and services for the site.

Phasing

The PAD will be developed in phases as determined by market demand. The necessary road, water, sewer, on-site and off-site storm water retention will be constructed as needed for each phase of development. It is anticipated that each of the four parcels may be a phase of development. The order of development phasing will depend on the timing of adjacent master plan community infrastructure improvements.



The Boulders at White Peak

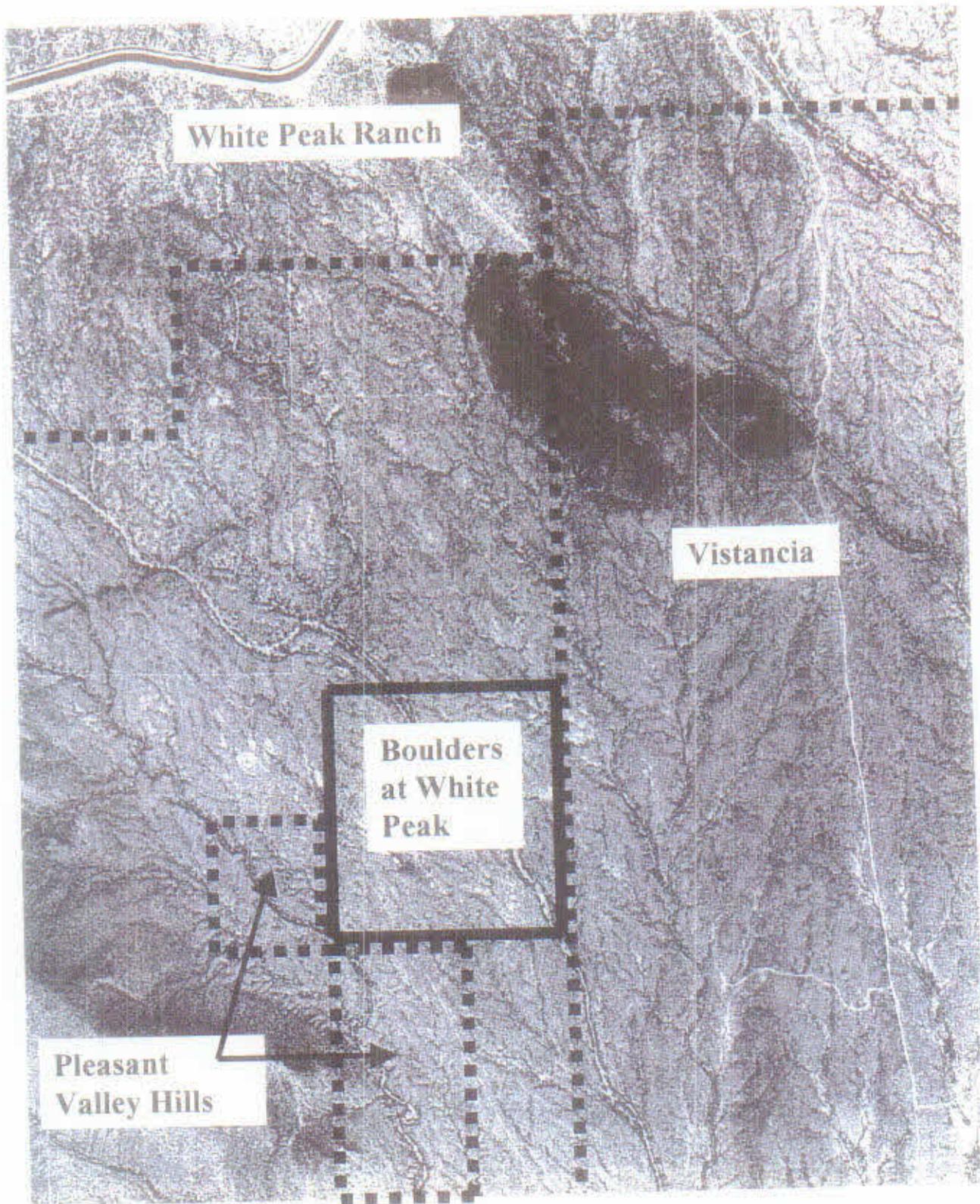
Vicinity Map



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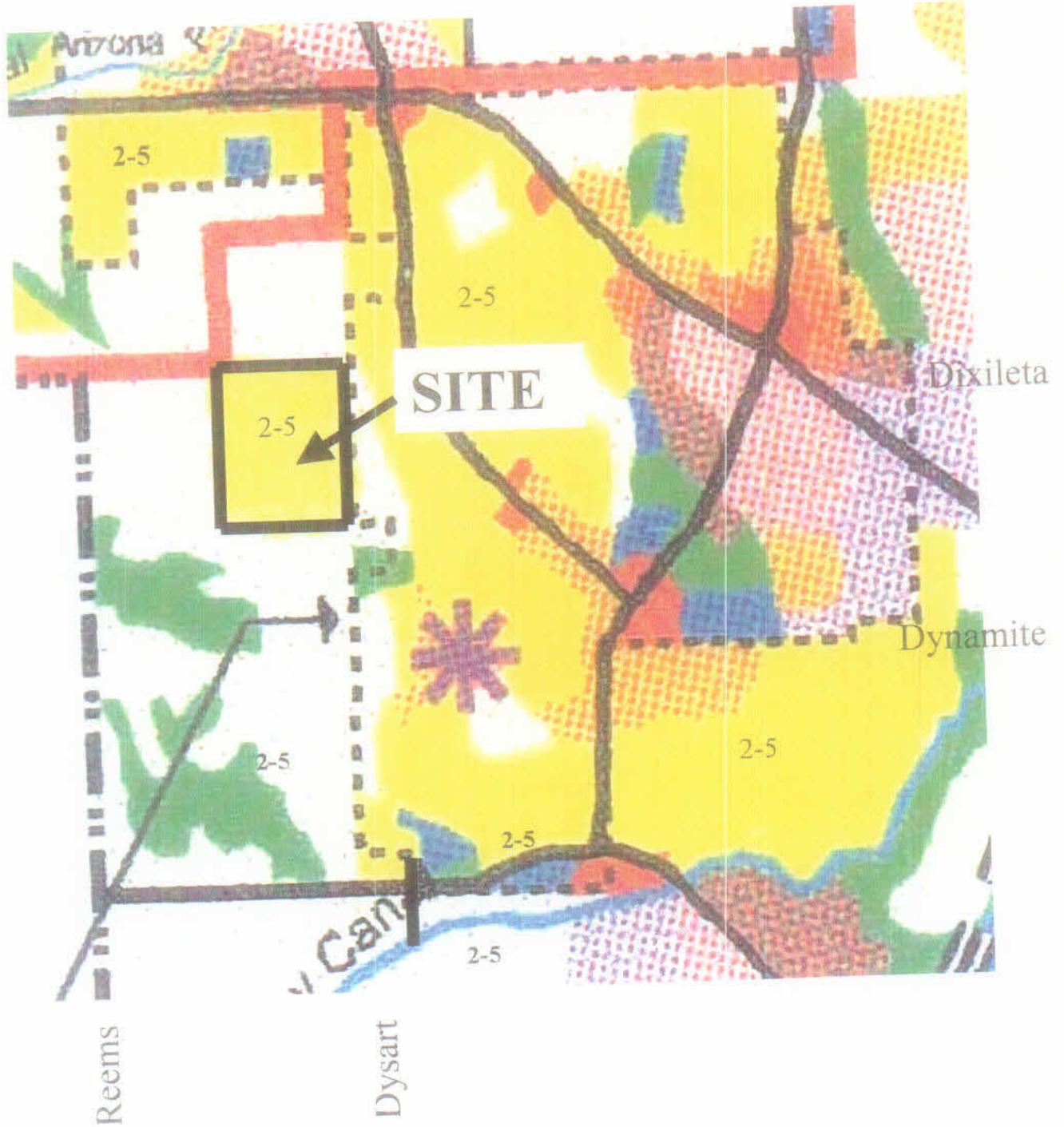
DATE: 07/26/02

B



SURROUNDING DEVELOPMENT

C



General Plan Map

D

The Boulders at White Peak

PAD Development Plan

Prepared For:
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 Fax: 602.522.1870
 Contact: Tom Tait, Jr.

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 Fax: 480.315.8698
 Contact:
 Christine Taratsoos, R.L.A.

Development Standards Chart

Parcel	Proposed Zoning	Proposed Lot Size	Proposed Lot S.F.	Area (Acres)	Proposed Density (du/acre)	Estimated Yield (lots)
1	RI-8	75' x 125'	9,375	50.2	2.8	140
2	RI-6	53' x 115'	6,095	31.0	4.0	124
3	RI-7	65' x 120'	7,800	36.0	3.5	126
4	RI-7	65' x 120'	7,800	42.4	3.5	148
Residential Subtotal				159.6	3.4	538

Lot Size	Total Yield	Percentage of Yield Proposed
53' x 115'	124	23.0%
65' x 120'	274	51.0%
75' x 125'	140	26.0%
Total	538	100.0%

*11% of gross project area to be reserved for useable open space.



JOB# 01.33

DATE: 07/26/02
REV.: 12/04/02

The Boulders at White Peak

Aerial Exhibit

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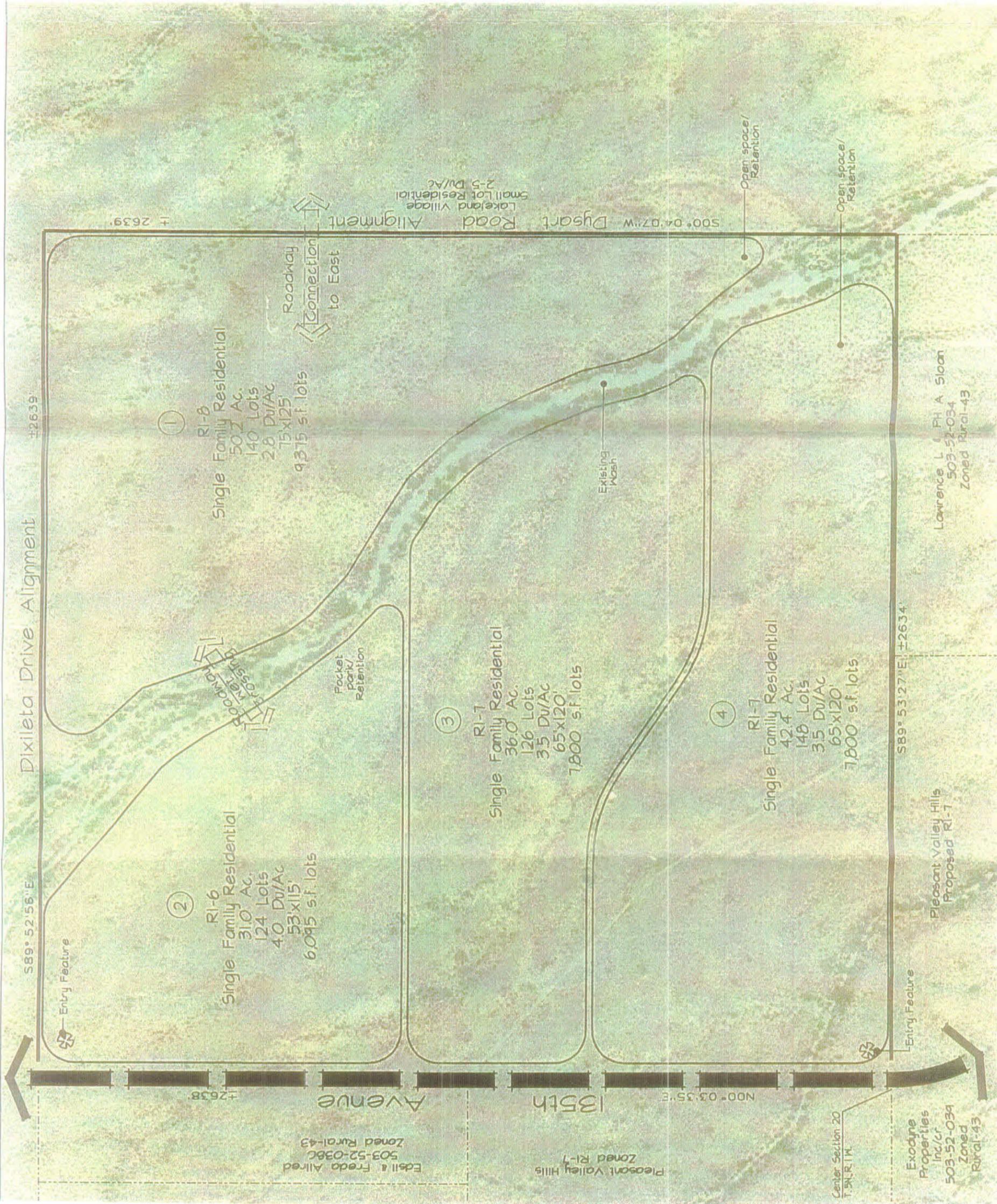
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JOB# 0133

DATE: 07/26/02



E



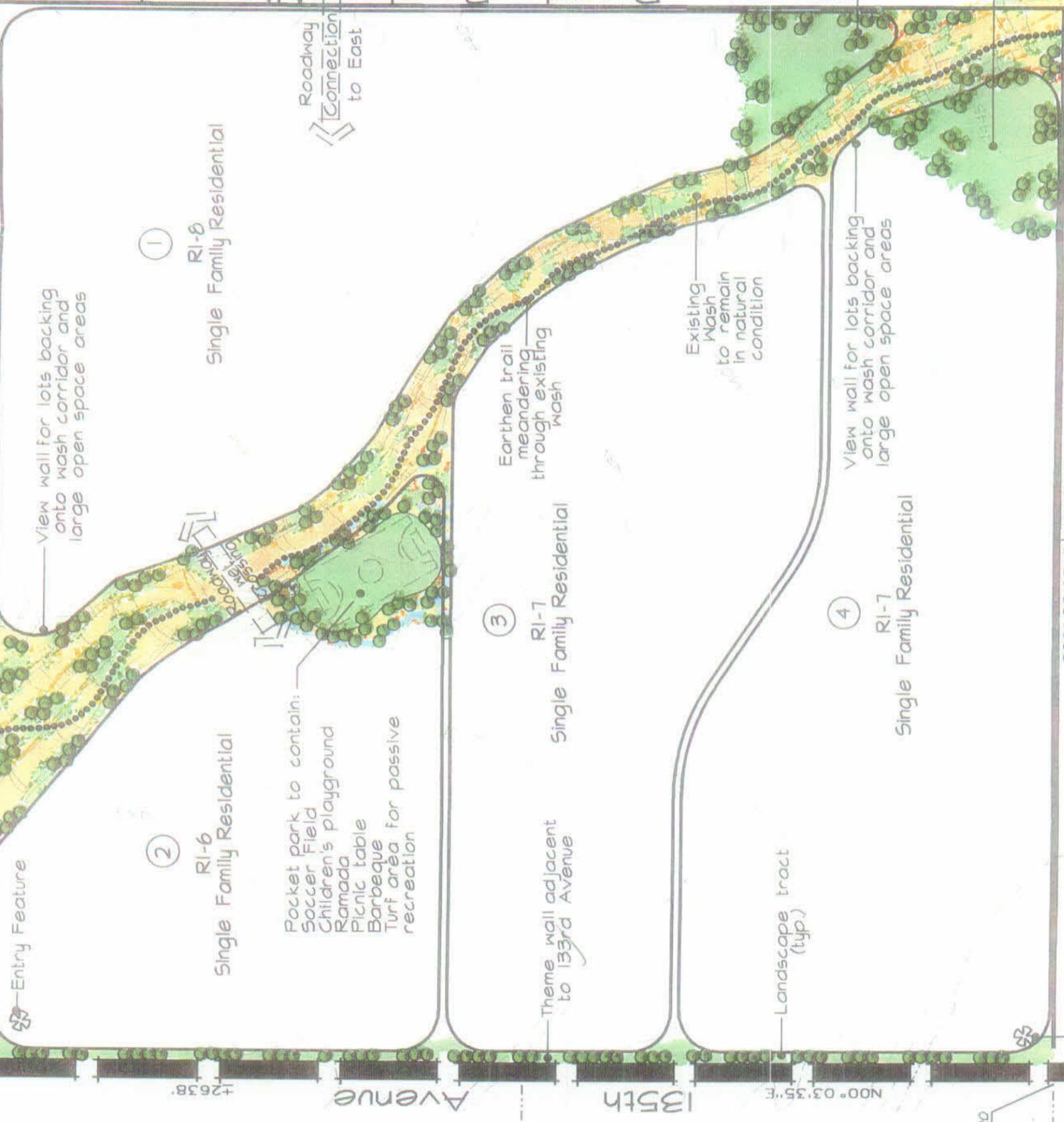
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 DATE: 05/29/02

The Boulderers at White Peak

Pocket Park Exhibit

Dixileta Drive Alignment ±2639

S89° 52' 56" E



Lake and Village Small Lot Residential 2-5 Dv/Ac

Dysart Road

Alignment

± 2639

500° 04' 07" W

Open space/Retention

Open space/Retention

Lawrence L & Ph A Sloan 503-52-034 Zoned Rural-43

Pleasant Valley Hills Proposed RI-7

Edsall & Freda Alired 503-52-038C Zoned Rural-43

Pleasant Valley Hills Zoned RI-7

Exodyne Properties Inc/Or 503-52-034 Zoned Rural-43

Center Section 20 S.N.R.T.W.

S89° 53' 27" E ±2634

The Boulders at White Peak

Master Landscape Exhibit

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Legend:

- | | |
|---|--|
|  | TREES
CERICIDIUM SP.
PROSOPIS SP.
OLNEYA SP.
ACACIA SP. |
|  | SHRUBS
LEUCOPHYLLUM SP.
CAESALPINIA SP.
SALVIA SP.
RUELLIA SP.
DALEA SP.
TECOMA SP.
CALLIANDRA SP.
CASSIA SP. |
|  | GROUNDCOVERS/ACCENTS
LANTANA SP.
VERBENA SP.
GAZANIA SP.
YUCCA SP.
BOUGAINVILLEA SP.
AGAVE SP. |
| | TEXAS RANGER
BIRD OF PARADISE
SALVIA
RUELLIA
DALEA
YELLOW BELLS
FAIRY DUSTER
CASSIA |
| | CERICIDIUM SP.
MESQUITE
IRONWOOD
ACACIA |
| | TUCCA
BOUGAINVILLEA
AGAVE |



JOB# 0133 DATE: 07/26/02

6" X 8" X 16" Split-face CMU cap

24" Sq. split-face column at property lines, approximately 200 feet O.C. (typ.)

8" X 6" X 16" Split-face CMU

Granite Tiles with etched letters

N.T.S.

6" X 8" X 16" SMOOTH CMU

Finish Grade

Actual spacing to be adjusted to locate the column at a property line corner

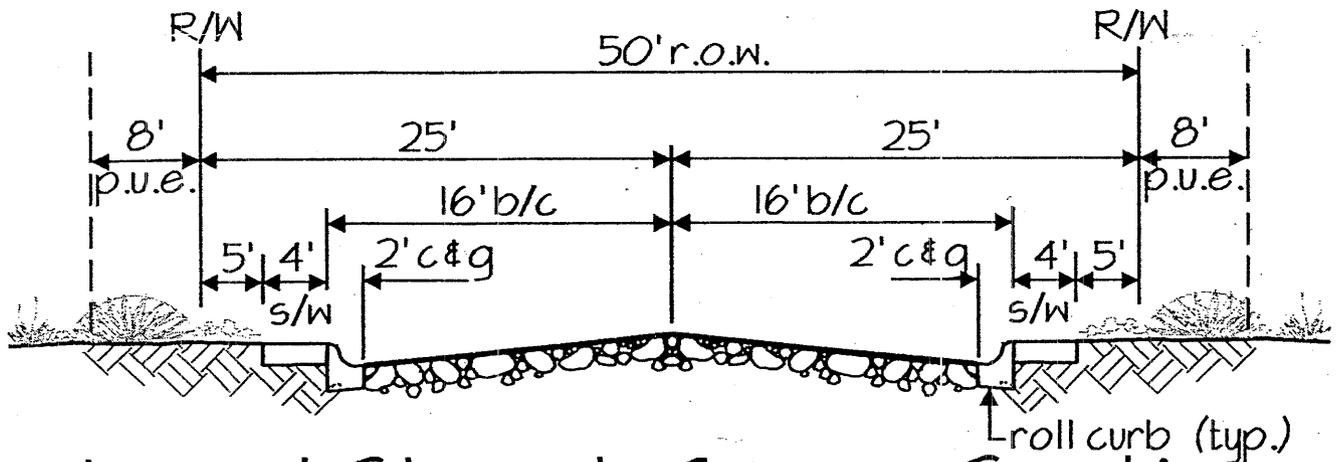
Walls adjacent to arterial streets to be 8' high and 6" width.

The Boulders at White Peak

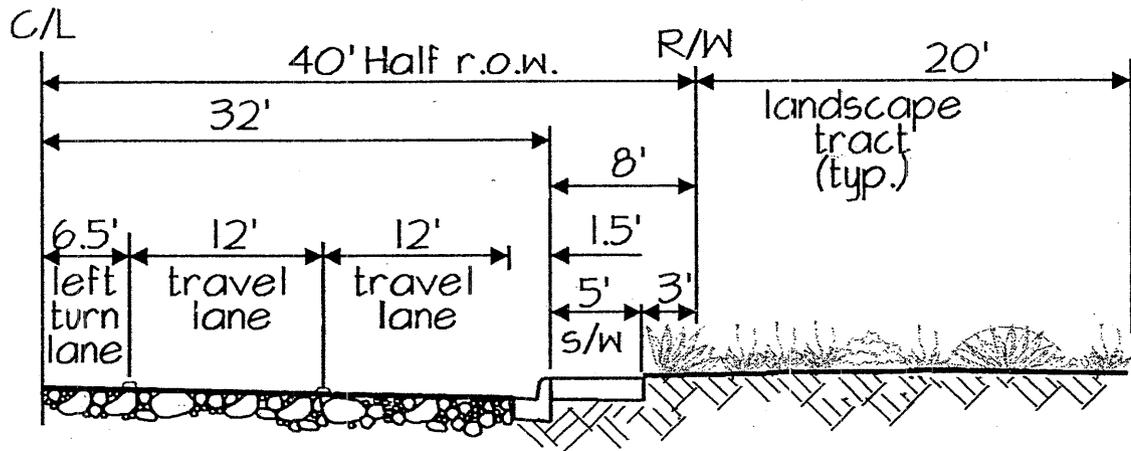
Conceptual Subdivision Entry and Wall Elevation



JOB# 01.33
DATE: 05/29/02
REV.: 12/04/02



Local Street Cross Section



135th Avenue Cross Section

The Boulders at White Peak



JOB# 01.33 DATE: 07/26/02

Typical Street Cross Sections



The Boulders at White Peak

Master Drainage Exhibit

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 Contact: Tom Tall, Jr.

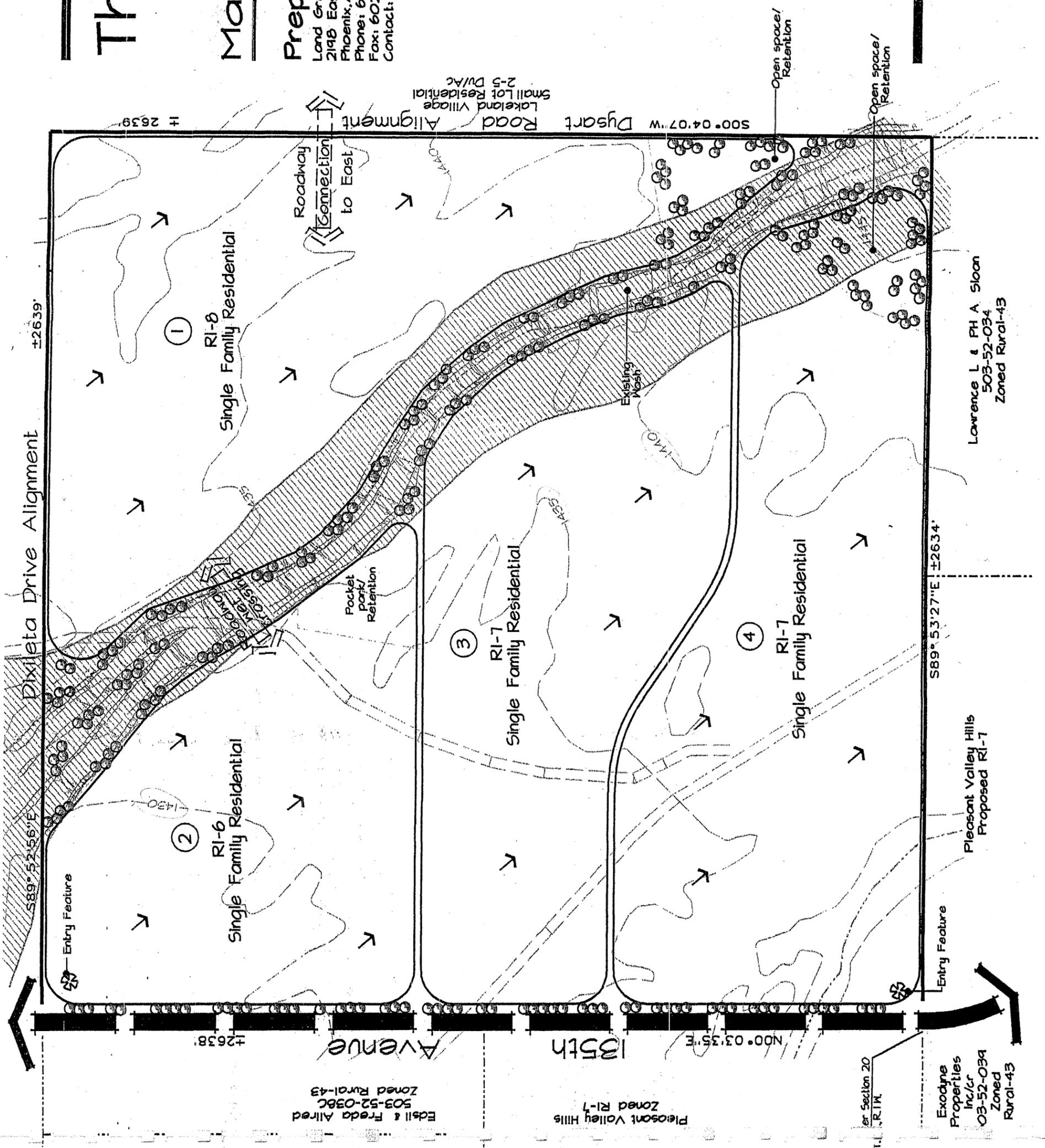
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 Contact:
 Christine Taratsos, R.L.A.

Legend:

-  Flood Zone Area
-  Drainage Flow Arrow
-  Existing Contour



JOB# 01.33 DATE: 07/26/02





LEGAL DESCRIPTION

THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 5
NORTH, RANGE 1 WEST OF THE GILA & SALT RIVER BASE
& MERIDIAN, MARICOPA COUNTY, ARIZONA