

Table of Contents

<u>Planned Area Development</u>	<u>Page</u>
Index	1
Project Team	3
Executive Summary Narrative Report	
Introduction	4
Legal Description	4
Current Conditions	
Consistency with General Plan/Specific Plan	5
General Site Information and Existing Site Conditions	6
Existing Surrounding Land Uses and Conditions.....	6
Description of Proposal	
Preliminary Development Plan.....	7
Listing of Permitted, Conditional and Accessory Uses	7
Project Phasing and Development Schedule	8
Project Development Standards	8
Project Signage Standards.....	9
Project Landscaping Standards	9
Adjacent Residential Treatment	9
Infrastructure/Utilities	11
Project Approval and Amendments	
Project Approval	12
Appendix	12

Lake Pleasant Pavilions

<u>APPENDIX</u>	<u>Page</u>
Exhibit A – Vicinity Map.....	13
Exhibit B – Aerial Photograph	14
Exhibit C – City of Peoria General Plan Land Use Map	15
Exhibit D – City of Peoria Growth Areas Map.....	16
Exhibit E – Lake Pleasant Parkway Corridor Specific Area Plan Map.....	17
Exhibit F – Existing Zoning Surrounding Land Use Map	18
Exhibit G – Legal Description	19
Exhibit H – Property Ownership Map Within 300 Feet	20
Exhibit I – Conceptual Site Plan and Site Details.....	21
Exhibit J – Conceptual Landscape Plan and Landscape Details.....	22
Exhibit K – Pedestrian Circulation Plan and Pedestrian Amenities	23
Exhibit L – Conceptual Building Elevations and Colors/Materials Boards.....	24
Exhibit M – Master Grading and Conceptual Drainage Plan.....	25
Exhibit N – Utilities Plan	26
Exhibit O – Phasing Plan	27
Exhibit P – Certified Approved Ordinance 04-180	28
<u>Exhibit Q – Comprehensive Sign Package.....</u>	<u>29</u>

Project Team

<p><u>Location:</u> SWC Lake Pleasant and Happy Valley</p>	<p><u>Acres:</u> 40.01 Acres</p>
<p><u>Submitted to:</u> City of Peoria 8400 W. Monroe Peoria, AZ 85345 623-773-7000 623-773-7256 FAX Contact: Tim Loughrin Email: timl@peoriaaz.com</p>	<p><u>Prepared for Developer:</u> Kornwasser Shopping Center Properties 2375 E. Camelback Rd. 5th Floor Phoenix, AZ 85016 602-387-4821 602-387-4021 FAX Contact: Gordon Keig Email: gkeig@kornwasserproperties</p>
<p><u>Owner:</u> MEHROB LLC 7033 W. Sack Drive Glendale, AZ 85308</p>	<p><u>Applicant:</u> Beus, Gilbert PLLC 4800 N. Scottsdale Rd. #6000 Scottsdale, AZ 85251 480-429-3062 480-429-3100 FAX Contact: Felipe Zubia Email: fzubia@beusgilbert.com</p>
<p><u>Architect:</u> LAVA Architecture, Inc. 3509 E. Shea Blvd., #101 Phoenix, AZ 85028 602-354-8765 602-482-4410 fax Contact: Lou Vergne Email: lvergne@lavaarchitecture.com</p>	<p><u>Project Engineer:</u> Landmark Engineering, Inc. 7310 N. 16th St. #285 Phoenix, Arizona 85020 602-861-2005 602-548-2175 FAX Contact: Brad Krem E-Mail: bradk@landmarkeng.com</p>
<p><u>Landscape Architect:</u> Laskin & Associates 5112 N. 40th St. #202 602-840-7771 602-840-8021 FAX Email: dougp@laskindesign.com</p>	<p><u>Approved</u> June 14, 2004</p> <p><u>Amendments</u></p>

Executive Summary Narrative Report

Introduction

The proposed development is located at the SWC of Lake Pleasant Parkway and Happy Valley Road alignment. The property contains approximately 40.01 net acres. The subject site was annexed in 1979 through Ordinance number 79-58.

The Property is currently vacant and is zoned RMH-3 which allows for trailer park development. The General Plan Land Use designation for the property is Community Commercial and is also within the Lake Pleasant Parkway Corridor Specific Area Plan.

The purpose of this proposal is to remove the property from its current designation allowing for a trailer park and rezone the property to allow for a commercial retail shopping center. This proposal is in conformance with the City's General Plan.

Finally, a full-size conceptual site plan and site photo legend have been provided.

The purpose and intent of this development is as follows:

- Promote quality development through the implementation of the City's General Plan and Lake Pleasant Parkway Corridor Specific Area Plan.
- Provide retail services to the existing population base and the emerging North-Central Peoria Growth Area
- Reduce retail sales tax leakages into the surrounding communities.
- Encourage creative design in a commercial retail setting.

Legal Description

The property is located at the southwest corner of Lake Pleasant Parkway and Happy Valley Road. Refer to Exhibit A. A more accurate description of the property is provided in the legal description attached as Exhibit G.

Lake Pleasant Pavilions

Current Conditions

Consistency with General Plan/Specific Plan

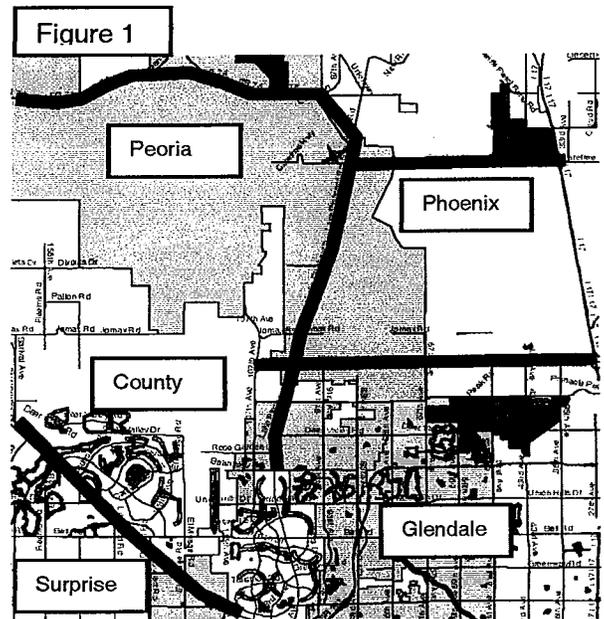
The City of Peoria General Plan designates the subject property as Community Commercial. Referring to the General Plan, the following is the definition of the Community Commercial Land Use designation:

Community Commercial: Denotes areas where all types and intensities of commercial development may take place. Community Commercial areas typically consist of larger shopping centers and districts that have a wider variety of goods and services than the neighborhood shopping areas. They rely on larger trade areas and include such uses as department stores, bookstores, furniture stores, restaurants, theaters and non-retail services such as offices and banks. Major Community Commercial centers should be located with adequate controlled access to arterial streets.

As a result of the limited number of north-south and east-west transportation corridors in the north-central Peoria area, the General Plan recognizes that certain commuting patterns are pre-determined along certain routes. In recognizing this fact, the General Plan seeks to capitalize on the potential for retaining a substantial portion of retail sales tax dollars while commuters travel through Peoria and to prevent sales tax leakages into adjacent communities.

Specifically, the General Plan states, "...as residents' commute through Peoria to work in other communities...[they have] the propensity...to shop on their way to and from work..." To reduce the risk of retail sales tax leakages, the General further states, "Rather, specified and limited commercial nodes and mixed-use centers are envisioned for the currently undeveloped northern lands. The City will hold these limited commercial development opportunities to the highest development standards and judiciously approve desired and needed uses to serve the community." Lake Pleasant Pavilions fills the need for reducing sales tax leakage.

As shown in Figure 1, both Lake Pleasant Parkway and Happy Valley Road are the only main north-south/east-west transportation corridors in the near vicinity. The proposed development will reduce any sales tax leakages into the cities of Phoenix, Glendale, Surprise and surrounding County areas.



The subject property is also within the North Central Peoria Growth Area. Among other definitions, the General Plan defines the Growth Area as "Areas suitable for the logical

Lake Pleasant Pavilions

(incremental) and economical expansion of infrastructure; promotes timely/fiscally sound infrastructure expansion commensurate with development activity”.

Additionally, the subject property is within the Lake Pleasant Parkway Corridor Specific Area Plan. The subject property is within the Urban Section and is identified as a Community Commercial Node. The intent of establishing commercial nodes within the Lake Pleasant Parkway Corridor is to prevent strip commercial development from occurring on this scenic roadway. The Lake Pleasant Pavilions accomplishes this goal. Unless modified by the text within this document, Lake Pleasant Pavilions will meet all requirements of the Lake Pleasant Parkway Corridor Specific Area Plan. A copy of the Lake Pleasant Parkway Corridor Specific Area Plan is provided as Exhibit F

General Site Information and Existing Conditions

The proposed development is located at the SWC of Lake Pleasant Parkway and Happy Valley Road. The property contains approximately 40.01 net acres. The subject site was annexed in 1979 through Ordinance number 79-58.

The Property is currently vacant and is zoned RMH-3 which allows for trailer park development. The General Plan Land Use designation for the property is Community Commercial and is also within the Lake Pleasant Parkway Corridor Specific Plan.

The FIRM Map for this property indicates that the site is in Flood Zone “X”. The stormwater from the 100-year, 2-hour event will be retained onsite.

Both Happy Valley Road and Lake Pleasant Parkway are designated as arterial roadways.

Existing Surrounding Land Uses and Conditions

To further assist in reviewing this proposal, a Vicinity Map with an Aerial Photo are provided as Exhibits A and B, respectfully, illustrating existing conditions on-site and the surrounding development. An existing Zoning Map is also provided as Exhibit F

North: Currently zoned SR-43, rezoning to PAD Commercial has been approved by the City of Peoria Council however, this approval has been referred by the voters of the City of Peoria. It is anticipated that this referral will be on the ballot in the fall of 2004. The property north of the subject property is currently vacant.

South: Directly south of the subject property is a 230'-wide electrical transmission line easement. This property, as well as, the property directly south of this easement is zoned R1-18. The property south of the subject property is currently vacant.

East: Directly east of the subject property is zoned SR-43. This property was proposed for rezoning to commercial over 2 years ago. Following approval by the Planning and Zoning Commission, this proposal was put on hold indefinitely, prior to going to the City Council for a final decision on this request. This property is currently vacant.

West: The property to the west is zoned Rural-43 and is within Maricopa County jurisdiction. This property has been split and portions of this are currently developed with one home to the acre.

Lake Pleasant Pavilions

Description of Proposal

Preliminary Development Plan

The development proposes a total building area of approximately 385,554 square feet with approximate building area coverage of 22.1%. The proposed development will exceed the minimum requirements of 4.0 parking spaces per 1,000 square feet of floor area as required by Article 14-23 of the City of Peoria Zoning Ordinance for General Retail Sales establishments of more than 50,000 square feet.

A copy of the Conceptual Site Plan, Landscape Plan, Pedestrian Circulation and Building Elevations are provided as Exhibits I, J, K, and L respectively.

Located in the heart of the North-Central Peoria, Lake Pleasant Pavilions will be a community level shopping center. Lake Pleasant Pavilions will bring retail stores, service uses and restaurants to the north-central area residents as well as capitalize on retaining retail sales tax dollars by preventing retail sales tax leakages from commuters to surrounding cities.

The overall design theme for Lake Pleasant Pavilions takes into account the rural character of the area, with particular emphasis on pedestrian interaction.

Substantial landscape setbacks are provided along Lake Pleasant Parkway which will include a corner element containing a sensitively-planned water feature which will not only provide visual excitement to the passing vehicular traffic, but will also provide interaction for the pedestrian traffic within. Several landscape nodes will contain shade ramadas, seating areas and monumental artwork for the public to enjoy. Landscaped, naturally shaded, meandering paths intertwine throughout the center to lead the public to various destinations. Details are provided in Exhibits J and K of this document.

The architecture for the buildings bring forth the rural character of the area utilizing materials and colors of a more "raw" nature. Colors have been carefully selected so that they remain in a low level of brightness (less than 40 LRV) so as to not "shine" above the surrounding natural landscape. Canopies, sloped roofs, towers and various fenestrations will provide for a diversity of mass to bring the center to a human scale of design. Walls shall be either natural tones of stucco, integral color/painted masonry or formed concrete. Sloped roofing material is to be standing seam metal with exposed wood trusses, rafters, joists and beams. Hardscape shall be a mixture of patterns containing natural concrete, integrally colored concrete and pavers. Landscape planters and seat walls shall be provided throughout for visual excitement and pedestrian use. Textures and colors will vary according to the palettes provided within.

Listing of Permitted, Conditional and Accessory Uses

Lake Pleasant Pavilions is proposed as a Planned Area Development (PAD) that will allow for the seamless integration of a phased commercial development. The permitted, conditional and accessory uses shall be governed by the uses described in City of Zoning Ordinance Table 14-9-3 Land Use Matrix for Intermediate Commercial District (C-2).

The following uses shall be Prohibited from locating in Lake Pleasant Pavilions:

Lake Pleasant Pavilions

- Auto Parking Lot or Garage as Principal Use
- Car Wash, Self Service
- Adult Uses
- Convention Centers and Exhibition Halls
- Golf Courses
- Ice and Roller Skating Rinks, Shooting Ranges, Pool and Dance Halls
- Recreation and Social Clubs
- Wedding and Reception Center
- Recycling Collection Point
- Pawn Shop
- Nursing or Convalescent Home, Long-term Care Facility
- Plasma Center, Massage Establishment, Tattoo & Body Piercing Studio
- School Bus Parking and Maintenance

Project Phasing and Development Schedule

The *Master Phasing Concept Plan* provided herein depicts the anticipated phasing of the development. Platting and Infrastructure to support each phase will be provided in the first phase of development. A master Utility Plan is provided as Exhibit N.

Phase	Anticipated Start of Construction	Anticipated Build-Out Date
Grading Start	2nd Quarter 2005	3rd Quarter 2005
Infrastructure Construction Start	4th Quarter 2004	1st Quarter 2005
Phase I	1st Quarter 2006	2nd Quarter 2006
Phase II	2nd Quarter 2006	1st Quarter 2007
Phase III	1st Quarter 2007	2nd Quarter 2007

A phasing plan is provided in Exhibit O. However, this phasing schedule may be modified through the site plan review process as dictated by market and/or design consideration.

Project Development Standards

The proposed development will meet the property development standards for the Intermediate Commercial District (C-2) Section 14-9-6 Property Development Standards.

Lake Pleasant Pavilions shall conform or exceed the City of Peoria Design Guidelines Manual. The Conceptual Site Plan utilizes the following items under Non-Residential Design, Section 20-70-6, Colors, Materials and Design Standards, C. SHOPPING CENTERS, OFFICE COMPLEXES AND OTHER COMMERCIAL CENTERS EXCEEDING 50,000 SQUARE FEET (G.F.A.) OR 5 ACRES (NET) OVERALL: A minimum of four (4) is to be achieved. The following five (5) design guidelines will be met:

1. Freestanding ramadas and monumental artwork in landscaped areas within the site.

Lake Pleasant Pavilions

5. Non-linear parking along the frontages which have various depths and breaks in the walls.
6. Numerous unique planters and seating features throughout the site along pedestrian routes as well as hardscape at buildings & patios.
7. The overall site and building design character has been continued throughout the site with all amenities utilizing materials and colors established by the design theme.
8. "Park" areas within substantial landscape areas for pedestrian use for shade or gatherings.

All useable pedestrian areas shall be allowed to count towards the useable open space requirements. Useable pedestrian areas shall include bench seating areas, plazas, breezeways, pedestrian pathways traversing any parking areas separated from vehicular traffic and outdoor dining areas.

A more detailed description of the site development standards and design will be provided through the Site Plan Application process once the zoning has been approved, however, Lake Pleasant Pavilions will meet all other Open Space, Lighting, Screening, Fencing and Wall requirements within the City of Peoria Zoning Ordinance.

Project Signage Standards

~~Article 14-34 of the City of Peoria Zoning Ordinance shall govern all permanent and temporary signs. The use of permanent and temporary signs within the development shall be in accordance with the Comprehensive Sign Package, provided in Exhibit Q.~~

Project Landscaping Standards

The proposed development will meet or exceed the landscape requirements in Article 14-35 of the City of Peoria Zoning Ordinance and Design Review Manual for Non-Residential Development. A copy of the conceptual landscape plan is provided as Exhibit J.

The proposed development will meet the parking and loading requirements required under Article 14-23 of the City of Peoria Zoning Ordinance. However, in an effort to provide additional pedestrian pathways, the required parking lot landscape islands will be provided at a rate of 1 island per 10 spaces.

The development will also provide a minimum of 3 pedestrian pathways through the parking lot where only 1 is required. The pedestrian pathways will be a minimum of 12' wide. These additional pathways greatly enhance the site design by partitioning the parking area into smaller distinct areas, which also discourages cut-through traffic and excessive speeds. This design is provided in lieu of the requirement of Section 14-35.5.a.1, where a 7'-wide landscape median is required for double parking rows in excess of 30 stalls.

Adjacent Residential Treatment

To mitigate potential negative impacts to the adjacent residential to the west a 6' 8" screen wall will be provided directly west of the service driveway. Additionally, a minimum 15-foot landscape buffer will be provided with a minimum of 1 tree and 5 shrubs for every 20 feet of lineal frontage along the west property line. This 15-foot buffer will be placed on the west side of the screen wall in order to provide the adjacent residents the benefit of the landscaping. The

Lake Pleasant Pavilions

building setback along the west property line will exceed 70' to further mitigate any negative impacts.

Similarly, adjacent to the south property line a 6' 8" screen wall will be provided directly south of the service driveway. A minimum 30-foot landscape buffer will be provided with a minimum of 1 tree and 5 shrubs for every 20 feet of lineal frontage along the south property line. This 30-foot buffer will be placed on the south side of the screen wall in order to provide the adjacent residents the benefit of the landscaping. The minimum building setback along the south property line will be 70'. This setback will be further supplemented by an existing 230' electrical transmission line easement directly adjacent to the property's south property line. As a result, the proposed buildings on the south property line will be setback a minimum of 300' from the nearest residential lot line to the south.

To further mitigate any potential negative impact to adjacent residential development, the following is a list of additional design requirements that will be adhered to. Should provisions in the PAD Document conflict with these additional design requirements, these additional design requirements shall control.

1. A project screen wall west of Major 1 and Major 2 and parallel with the west property line shall be constructed as follows:
 - a. The height of the wall shall be 8 feet.
 - b. The wall shall be constructed with a combination split faced block and smooth block and shall be consistent with the colors of the shopping center.
 - c. The wall shall be undulating in accordance with the City of Peoria Zoning Ordinance.
2. The lighting on the west and south property lines shall not allow light to spill from the commercial development onto adjacent residential properties.
3. Lighting fixtures on the west and south property line shall be limited as follows:
 - a. Wall Packs – building mounted light fixtures shall be set no higher than 10 feet in height from adjacent grade.
 - b. Light poles on south and west property lines shall be restricted to 16 feet in height and no light pole shall be placed closer than 45 feet to the west and south property lines. With the exception that areas on the south property line generally considered public shall have a lighting intensity consistent with the main field of parking in the shopping center.
 - c. Lighting fixtures on the west and south property lines shall be shielded and direct light downward.
4. A minimum 25-foot landscape buffer shall be provided on the west and south property lines. The buffer area shall be landscaped as follow:
 - a. Landscaping shall be placed on the outside of the project screen wall.
 - b. One 24-inch box tree shall be provided, on average, every 15 feet with a focus on clustering around the final loading dock locations.
 - c. Low-level landscape accent lighting shall be provided in the buffer area.
5. The applicant shall notify property owners within 500 feet of the west property line when the shopping center sign package is submitted to the City.
6. Delivery trucks cannot enter or exit the shopping center after 11:00 pm or before 5:00 am.

Lake Pleasant Pavilions

7. Trucks in the loading dock between 11:00 pm and 5:00 am shall be allowed to unload, but the truck cannot move until 5:00 am.
8. Masonry screen walls adjacent to the loading docks shall be a minimum of 12 feet high. Walls shall be consistent with the colors and materials of the shopping center.
9. Grease interceptors for the Major 1 and Major 2 building areas shall be placed the maximum distance away from the neighborhood but west of Major 1 and Major 2.
10. Grease interceptors shall be regularly maintained and cleaned in a manner designed to not produce any unsightly appearance or unpleasant odor.
11. Buildings shall be setback from the west and south property line a minimum of 70 feet.
12. Any Retailer occupying Major 1 or Major 2 buildings, which use an external security camera, shall be required to place a camera in the rear of the building.
13. A 1-foot non-access easement, excepting emergency access, shall be recorded 21 feet east of the west property line and parallel with the west property line.
14. The vehicular access from the shopping center to east-west private access way on the south property line shall be designed to be consistent with City requirements and shall be reviewed and approved by the City Engineer during the site plan review process.
15. On-site signage shall be installed on east-west private access way on the south property line, west of the shopping center access indicating "Local Access Only" and "Residential Neighborhood" where appropriate to discourage non-local traffic from entering the Westwind area neighborhood.
16. Developer shall improve the private access ways on the south and west property lines as follows:
 - a. The east-west private access way on the south property line shall be improved from Lake Pleasant Road to the north-south private access way on the west property line.
 - b. The north-south private access way on the west property line shall be improved from the east-west private access way on the south property line to the north property line of Lake Pleasant Pavilions.
 - c. The cross-section for the improved private access ways shall be a 12-inch ribbon curb, 20 feet of pavement, 12-inch ribbon curb.

Infrastructure/Utilities

Grading / Drainage / Retention

A Master Grading and Drainage Conceptual Plan is provided in Exhibit M.

Water / Wastewater

A Conceptual Master Utilities Plan is provided in Exhibit N.

Roadways

All adjacent public roadways will be dedicated and constructed according to City of Peoria requirements. The existing public access easements located directly adjacent to the south and west property lines will not be publicly dedicated roadways. These easements will continue to be owned and maintained by the property owner. The necessary public process will be followed should these easements ever be abandoned, relocated and/or modified.

Lake Pleasant Pavilions

Project Approval

On June 14, 2004, the City of Peoria Mayor and City Council approved Ordinance 4-180. A certified copy of this Ordinance is included in this document as Exhibit P.

Appendix

Exhibits begin on following page. All Exhibits are conceptual and are provided sole for information purposes.

Exhibit "B"

Aerial Photograph



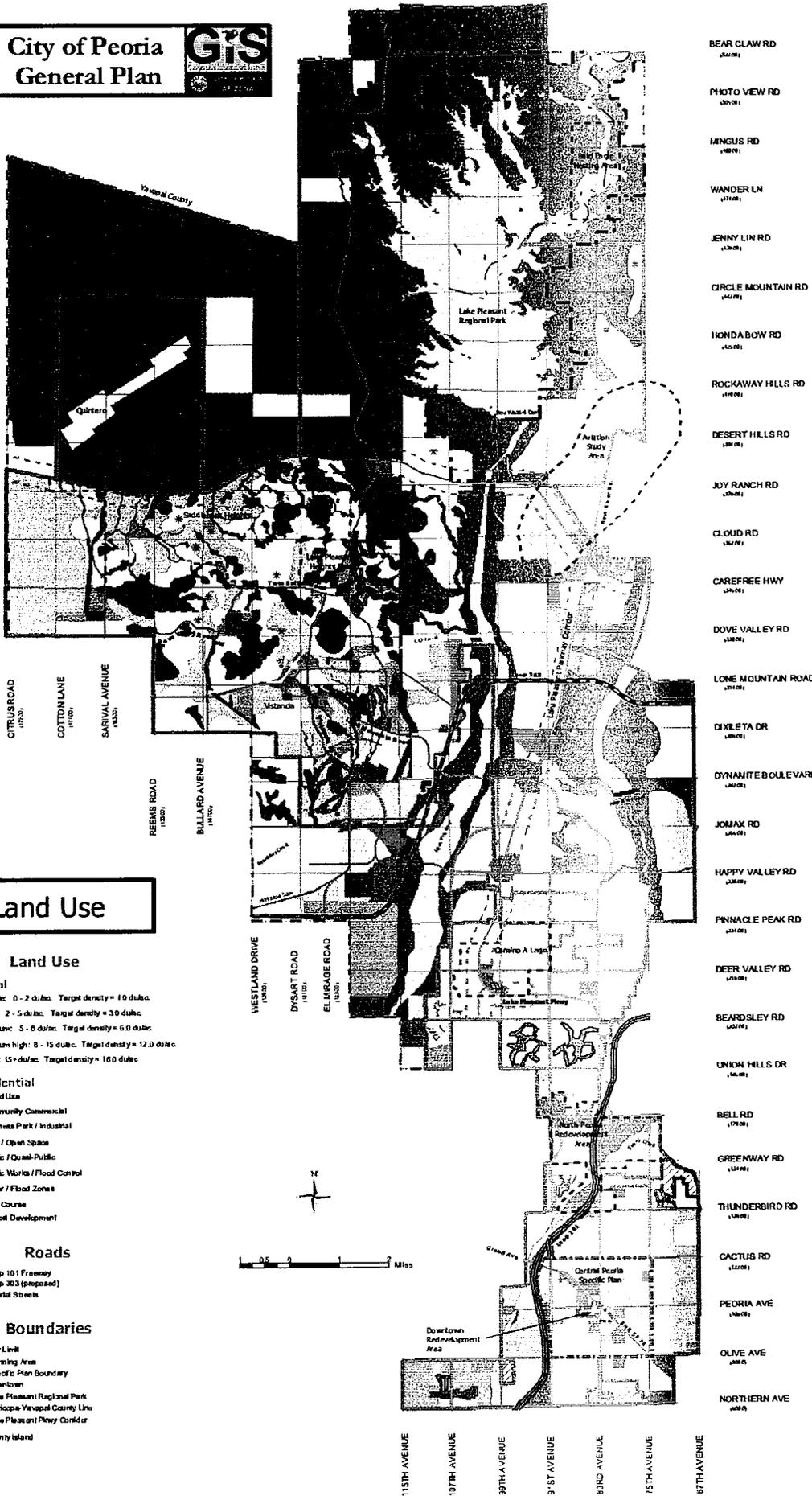
Vicinity Map
Lake Pleasant Pavilions

Exhibit "C"

General Plan Land Use Map



City of Peoria General Plan



- BEAR CLAW RD (14700)
- PHOTO VIEW RD (10700)
- MINGUS RD (14800)
- WANDER LN (17100)
- JENNY LIN RD (13300)
- CIRCLE MOUNTAIN RD (14100)
- HONDA BOW RD (14000)
- ROCKAWAY HILLS RD (14900)
- DESERT HILLS RD (14900)
- JOY RANCH RD (10600)
- CLOUD RD (14100)
- CAREFREE HWY (14100)
- DOVE VALLEY RD (14800)
- LONE MOUNTAIN ROAD (12100)
- DIXIE LA DR (14600)
- DYNAMITE B BOULEVARD (14900)
- JOMAX RD (14400)
- HAPPY VALLEY RD (13800)
- PINNACLE PEAK RD (12400)
- DEER VALLEY RD (14700)
- BEARDSLEY RD (14700)
- UNION HILLS DR (14600)
- BELL RD (17800)
- GREENWAY RD (14700)
- THUNDERBIRD RD (14600)
- CACTUS RD (14200)
- PEORIA AVE (14600)
- OLIVE AVE (14600)
- NORTHERN AVE (14600)

Land Use

Land Use

Residential

- Estete: 0 - 2 du/acre. Target density = 10 du/acre.
- Low: 2 - 5 du/acre. Target density = 30 du/acre.
- Medium: 5 - 8 du/acre. Target density = 6.0 du/acre.
- Medium high: 8 - 15 du/acre. Target density = 12.0 du/acre.
- High: 15+ du/acre. Target density = 16.0 du/acre.

Non-residential

- Mixed Use
 - Community Commercial
 - Business Park / Industrial
 - Park / Open Space
 - Public / Quasi-Public
 - Public Works / Flood Control
 - Water / Flood Zones
 - Golf Course
 - Resort Development

Roads

- Loop 101 Freeway
- Loop 303 (proposed)
- Arterial Streets

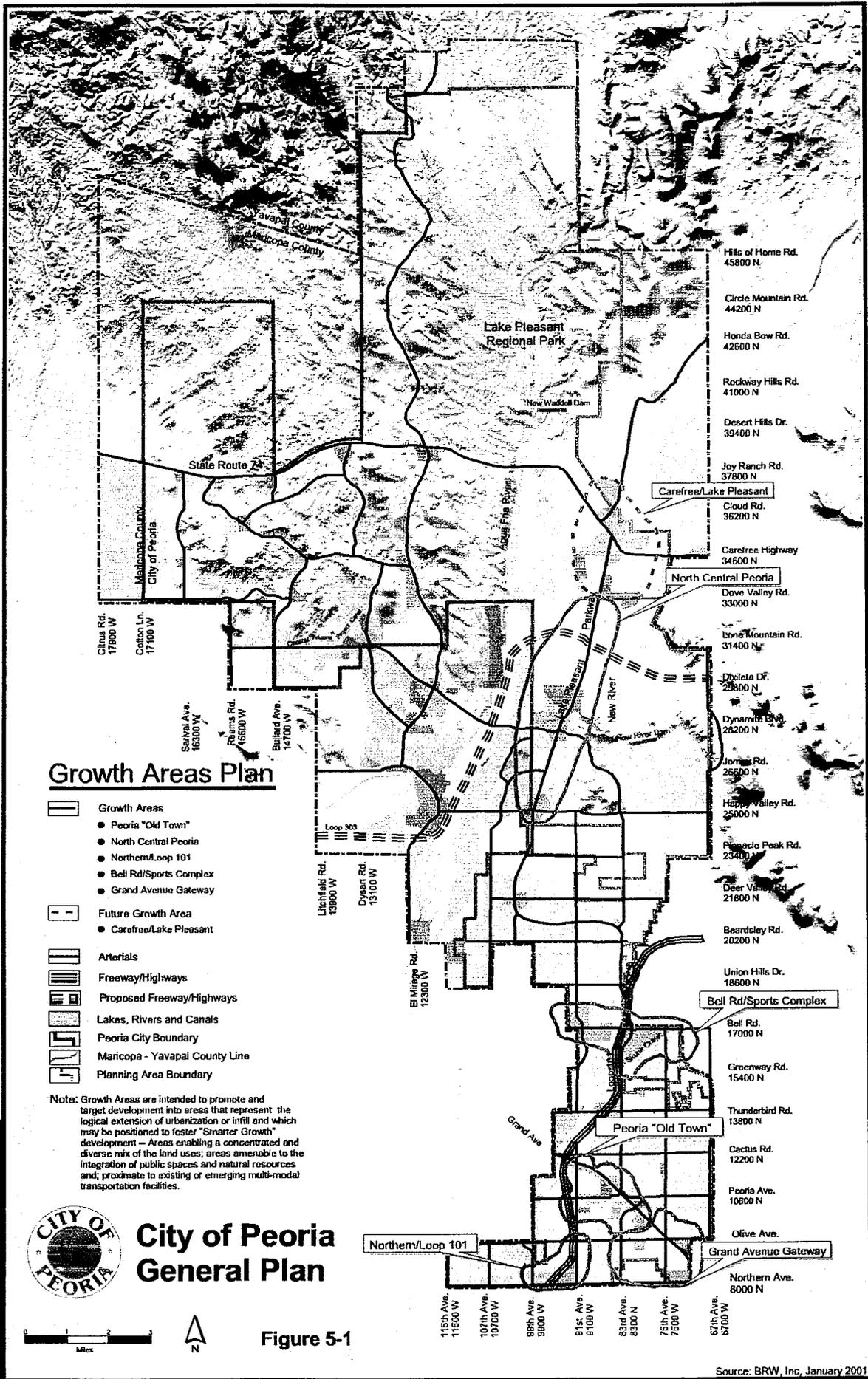
Boundaries

- City Limit
- Planning Area
- Specific Plan Boundary
- Downtown
- Lake Pleasant Regional Park
- Maricopa-Yavapai County Line
- Lake Pleasant Policy Corridor
- County Island



- 115TH AVENUE
- 107TH AVENUE
- 99TH AVENUE
- 91ST AVENUE
- 83ND AVENUE
- 75TH AVENUE
- 67TH AVENUE

Exhibit "D"
General Plan Growth Areas Map



Growth Areas Plan



**City of Peoria
General Plan**

Figure 5-1

Source: BRW, Inc, January 2001

Exhibit "E"

Lake Pleasant Parkway Corridor Specific Area Plan Map

FIGURE 10

ACTIVITY NODES MAP

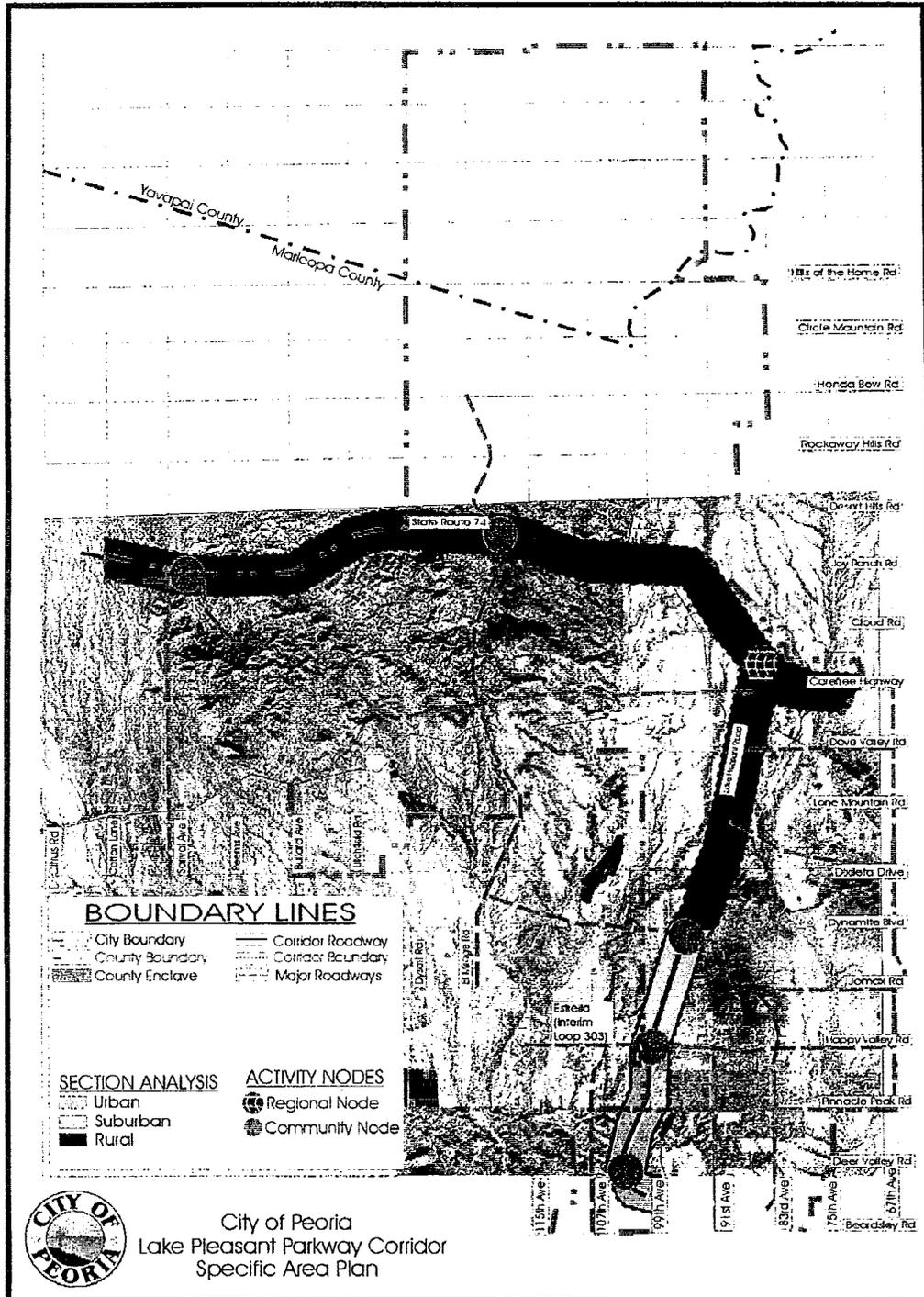
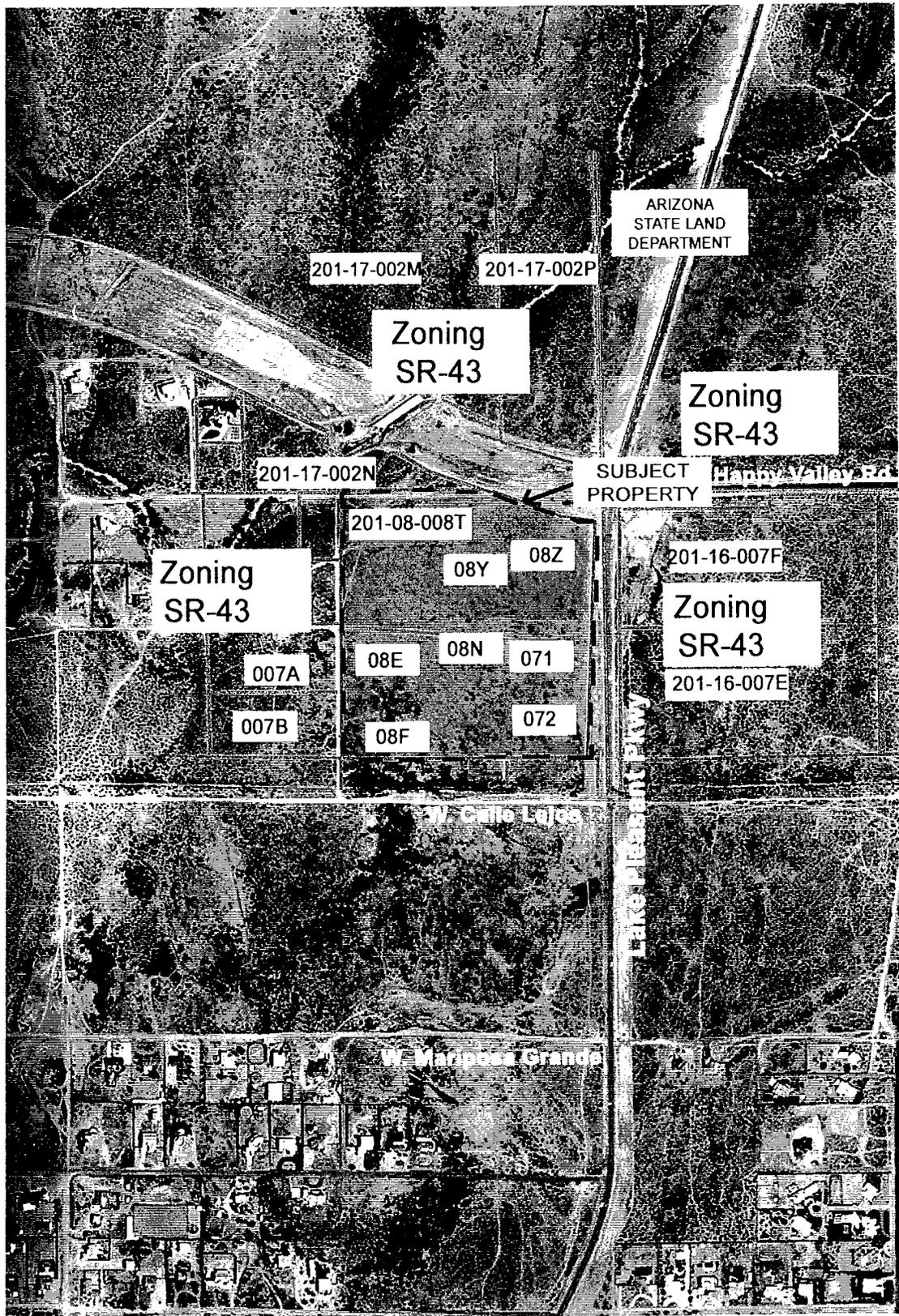


Exhibit "F"

Existing Zoning Map



Surrounding Land Uses
Lake Pleasant Pavilions

Exhibit "G"

Legal Description

LEGAL DESCRIPTION,

THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8,
TOWNSHIP 4 NORTH, RANGE 1 EAST OF THE GILA AND SALT RIVER BASE AND
MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THE EAST 55 FEET; AND EXCEPT COMMENCING AT THE NORTHEAST
CORNER OF SAID SECTION 8;

THENCE SOUTH 89 DEGREES 48 MINUTES 35 SECONDS WEST ALONG THE
NORTH LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER A
DISTANCE OF 55.00 FEET;

THENCE SOUTH 00 DEGREES 03 MINUTES 25 SECONDS EAST ON A LINE 55.00
FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID NORTHEAST
QUARTER OF THE NORTHEAST QUARTER A DISTANCE OF 217.80 FEET TO THE
POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID PARALLEL LINE A DISTANCE OF 1101.65 FEET
TO THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST
QUARTER;

THENCE NORTH 89 DEGREES 38 MINUTES 19 SECONDS WEST ALONG SAID
SOUTH LINE A DISTANCE OF 20.00 FEET;

THENCE NORTH 00 DEGREES 03 MINUTES 25 SECONDS WEST ON A LINE 75.00
FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID NORTHEAST
QUARTER OF THE NORTHEAST QUARTER A DISTANCE OF 709.69 FEET TO THE
POINT OF CURVATURE OF A TANGENT CURVE TO THE RIGHT HAVING A CENTRAL
ANGLE OF 05 DEGREES 50 MINUTES 39 SECONDS AND A RADIUS OF 3847.97
FEET;

THENCE NORTHEASTERLY ALONG SAID CURVE AN ARC DISTANCE OF 392.50
FEET TO THE POINT OF BEGINNING; AND EXCEPT COMMENCING AT THE
NORTHEAST CORNER OF SAID SECTION 8;

THENCE SOUTH 89 DEGREES 48 MINUTES 35 SECONDS WEST ALONG THE
NORTH LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER A
DISTANCE OF 55.00 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID NORTH LINE SOUTH 89 DEGREES 48 MINUTES
35 SECONDS WEST A DISTANCE OF 540.81 FEET TO THE POINT OF A
NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 10 DEGREES
25 MINUTES 12 SECONDS AND WHOSE RADIUS BEARS NORTH 17 DEGREES 38
MINUTES 54 SECONDS EAST A DISTANCE OF 3050.00 FEET;

THENCE EASTERLY ALONG SAID CURVE AN ARC DISTANCE OF 554.69 FEET TO
A POINT ON A LINE 55.00 FEET WEST OF AND PARALLEL TO THE EAST LINE
OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER;

THENCE NORTH 00 DEGREES 03 MINUTES 25 SECONDS WEST ALONG SAID
PARALLEL LINE A DISTANCE OF 121.11 FEET TO THE POINT OF BEGINNING.

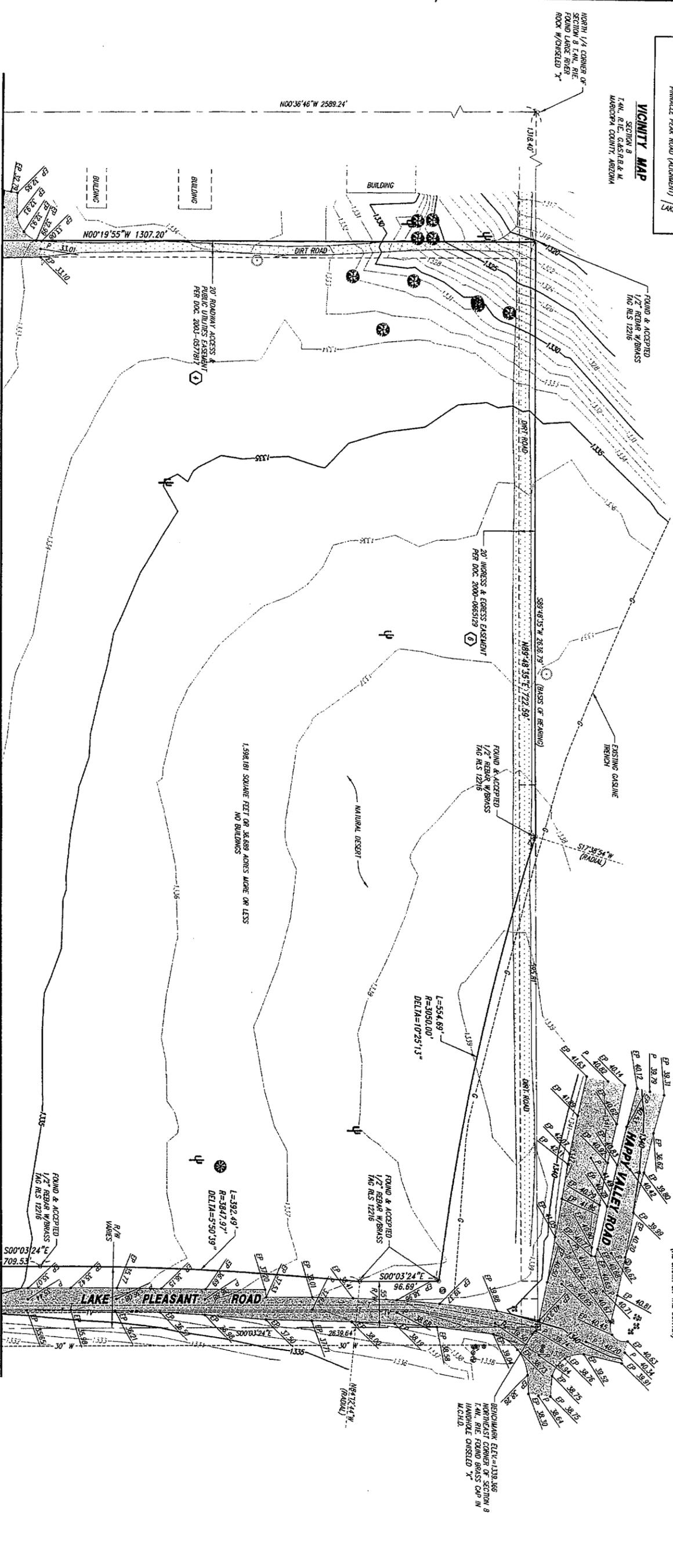
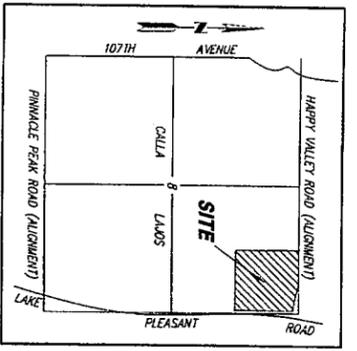
BENCHMARK

BRASS CAP IN HAND HOLE AT THE NORTHEAST CORNER OF SECTION 8,
T.4 N. R. 1 E. (THE INTERSECTION OF HAPPY VALLEY ROAD AND LAKE
PLEASANT ROAD)

ELEVATION = 1339.366' (CITY OF PEORIA DATUM)

A.L.T.A./A.C.S.M. LAND TITLE SURVEY

A PORTION OF THE NORTHEAST QUARTER
OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 1 EAST,
OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA.



- ### SCHEDULE B RESTRICTIONS
1. TAXES FOR THE SECOND HALF OF THE YEAR 2001, DUE ON MARCH 1, AND DEMAND ON MAY 1, OF THE YEAR 2004. (AFFECTS THE PROPERTY BUT NOT THE SURVEY)
 2. RESERVATIONS OR EXCEPTIONS IN THE PATENT TO SAID LAND OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF. (AFFECTS THE PROPERTY BUT NOT THE SURVEY)
 3. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS (AFFECTS THE PROPERTY BUT NOT THE SURVEY)
 4. EASEMENT AND RIGHTS INCIDENT HERETO FOR ROAD ACCESS AND ACCESS AND PUBLIC UTILITIES AS (AS SHOWN ON THE SURVEY)
 5. RESOLUTION REGARDING FLOOD CONTROL, RECORDED IN RECORDING NO. 2002-054131Z (AFFECTS THE PROPERTY BUT NOT THE SURVEY)
 6. EASEMENT AND RIGHTS INCIDENT HERETO FOR INGRESS AND EGRESS AS SET FORTH IN INSTRUMENT RECORDED IN RECORDING NO. 00-0885129. (AS SHOWN ON THE SURVEY)

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER (FIRM NUMBER)	SUFFIX (FIRM DATE)	DATE OF FIRM FINAL ZONE (FIRM DATE)	BASE FLOOD ELEVATION (ON AN ADJ. USE BASIS)
010000	JULY 18, 2001	JULY 18, 2001	X

ZONE "X" IS DEFINED AS AREAS OF 500-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

BENCHMARK
BRASS CAP IN HANDHOLE AT THE INTERSECTION OF HAPPY VALLEY ROAD AND LAKE PLEASANT ROAD, ELEVATION=1339.386' (CITY OF PEORIA DATA)

BASIS OF BEARING
THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 8, T4N, R1E, AS SHOWN HEREON IS BEARING N89°48'55" E

PARCEL AREA
1,594.181 SQUARE FEET OR 36.689 ACRES

- ### NOTES
1. THERE IS NO EVIDENCE TO SUGGEST THAT THERE IS A CEMETERY OR BURIAL GROUNDS ON THESE PREMISES.
 2. THE SURVEY DEPICTED HEREON WAS CONDUCTED UTILIZING THE TITLE COMMITMENT NO. 2329221, AS PREPARED BY CHICAGO TITLE INSURANCE COMPANY, BY VICTOR A. SAMKAL, TITLE OFFICER, AND DATED NOVEMBER 3, 2001.
 3. THIS SURVEY WAS CONDUCTED ON THE GROUND OF THE PREMISES AS DEPICTED HEREON IN JANUARY, 2004.
 4. THIS SURVEY REFLECTS ABOVE GROUND UTILITIES OF UTILITIES, THE SURVEYOR DOES NOT WARRANT THE ACCURACY OF THE LOCATION OF THESE UTILITIES. THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
 5. THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
 6. THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOIL WASTE DUMP, SWAMP OR SANITARY LANDFILL.

- ### LEGEND
- BRASS CAP IN HANDHOLE
 - BRASS CAP FLUSH
 - FOUND MONUMENT
 - SET 1/2" REBAR W/ CAP IS 3717Z
 - UNLESS OTHERWISE NOTED
 - WATER VALVE
 - WATER METER
 - FINE HYDRANT
 - BLUE/STAKE SHER
 - SHER MANDREL
 - TRAFFIC SIGNAL BOX
 - PAID VERVE TREE
 - MESQUITE
 - AC PAYMENT
 - DIRT
 - BARNEL CACTUS
 - SAGUARO CACTUS
 - BOUNDARY
 - EASEMENT LINE
 - GAS LINE
 - TELEPHONE
 - OVERHEAD ELECTRIC LINE
 - CABLE
 - AC PAYMENT
 - DIRT

CERTIFICATE OF SURVEY

TO: KORNWASSER SHOPPING CENTER PROPERTIES, LLC, A DELAWARE LIMITED LIABILITY COMPANY

FROM: ESS R. ALVAREZ, R.L.S. 3717Z

DATE: 01-14-04

THIS IS TO CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS SURVEY OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF THE REQUIREMENTS FOR A PROFESSIONAL LAND SURVEYOR'S CERTIFICATE, AS SET FORTH IN ARIZONA STATUTES, CHAPTER 30, ARTICLES 1, 2, 3, 4, 5, 7A, 8, 9, 10 AND 11A OF TITLE 3, AND PURSUANT TO THE ACCURACY OF HIS CERTIFICATION, UNDERSTANDING FURTHER CERTIFIES THAT THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE.

A.L.T.A./A.C.S.M. LAND TITLE SURVEY
SWC LAKE PLEASANT AND HAPPY VALLEY ROAD

A PORTION OF THE NORTHEAST QUARTER
OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 1 EAST,
OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA.

LANDMARK ENGINEERING INC

7310 North 16th Street Suite 285
Phoenix, Arizona 85020 602.861.2005

NO. _____

REVISION DATE _____

BY _____

1 of 2 SHEETS

DATE: 01-14-04

BY: J. ALVAREZ

NO. 03247

REV. 3/27/01/DWG

QAD RE: 3/27/01/DWG

CHKD BY: J. ALVAREZ

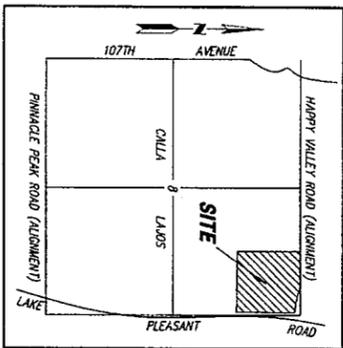
A.L.T.A./A.C.S.M. LAND TITLE SURVEY

A PORTION OF THE NORTHEAST QUARTER
OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 1 EAST,
OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA.



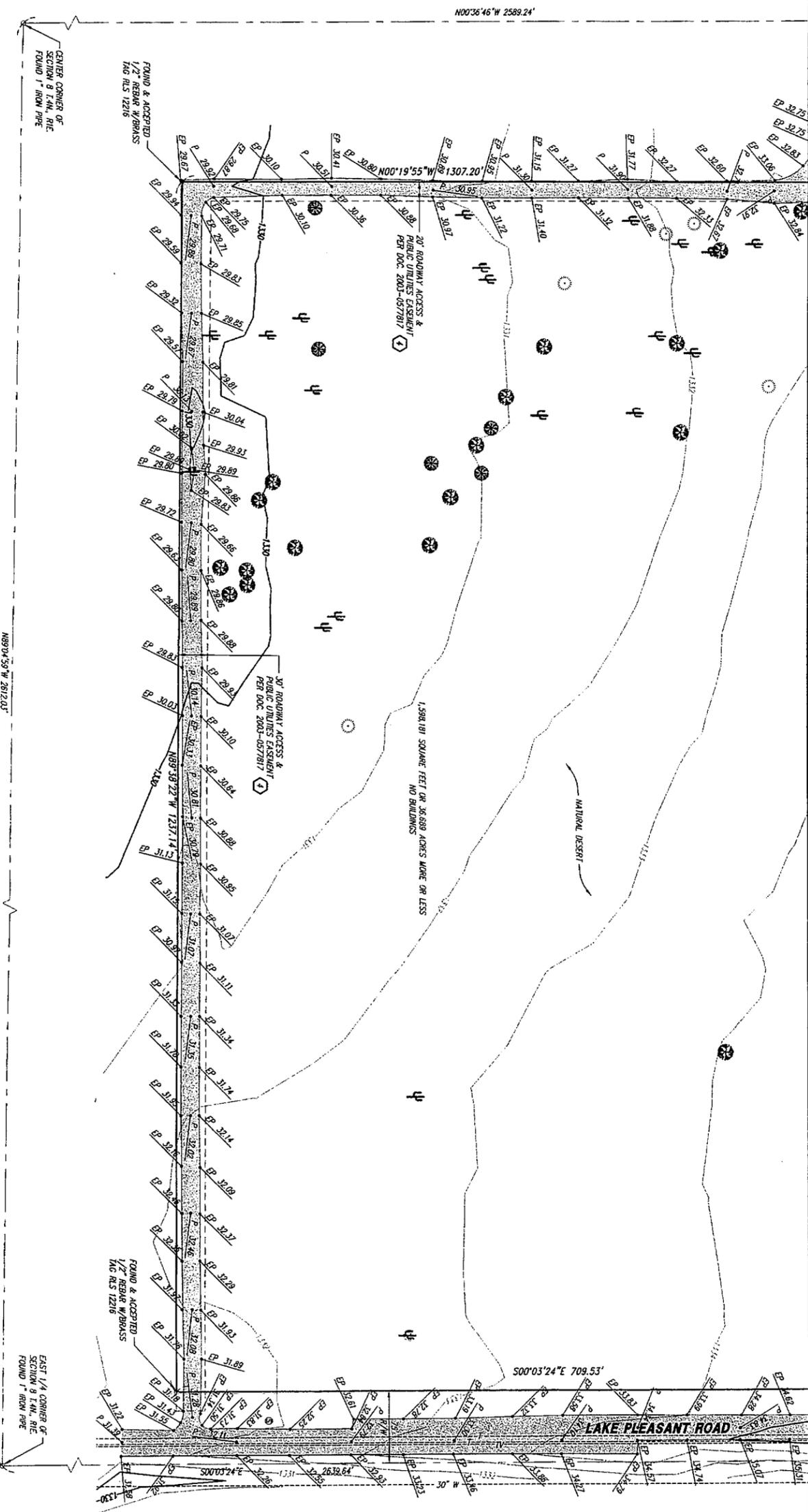
LEGEND

- BRASS CAP IN HANDHOLE
- BRASS CAP FLUSH
- FOUND MONUMENT
- SET 1/2" REBAR W/ CAP IS 37172
- UNLESS OTHERWISE NOTED
- PRE HYDRANT
- WATER VALVE
- WATER METER
- BLUESKIN SERVICE
- SERIES MANHOLE
- TRAFFIC SIGNAL BOX
- TRAFFIC SIGNAL
- PAID KERB TREE
- MESQUITE
- BRASS CAP IN HANDHOLE
- BRASS CAP FLUSH
- FOUND MONUMENT
- SET 1/2" REBAR W/ CAP IS 37172
- UNLESS OTHERWISE NOTED
- PRE HYDRANT
- WATER VALVE
- WATER METER
- BLUESKIN SERVICE
- SERIES MANHOLE
- TRAFFIC SIGNAL BOX
- TRAFFIC SIGNAL
- PAID KERB TREE
- MESQUITE



VICINITY MAP
SECTION 8
T.4N., R.1E., G.4S. & R. & M.
MARICOPA COUNTY, ARIZONA

MATCH LINE SEE SHEET 1



LEGAL DESCRIPTION

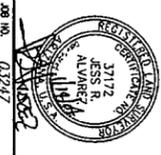
THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 1 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA; EXCEPT THE EAST 53 FEET; AND EXCEPT COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 8; THENCE SOUTH 89 DEGREES 48 MINUTES 35 SECONDS WEST ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER A DISTANCE OF 35.00 FEET; THENCE SOUTH 89 DEGREES 03 MINUTES 25 SECONDS EAST ON A LINE 55.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER A DISTANCE OF 217.80 FEET TO THE POINT OF BEGINNING; THENCE COMMENCING ALONG SAID PARALLEL LINE A DISTANCE OF 101.65 FEET TO THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER; THENCE NORTH 89 DEGREES 38 MINUTES 19 SECONDS WEST ALONG SAID SOUTH LINE A DISTANCE OF 20.00 FEET; THENCE NORTH 00 DEGREES 03 MINUTES 25 SECONDS WEST ON A LINE 75.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER A DISTANCE OF 709.69 FEET TO THE POINT OF CURVATURE OF A TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 05 DEGREES 50 MINUTES 39 SECONDS AND A RADIUS OF 387.37 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE AN ARC DISTANCE OF 382.50 FEET TO THE POINT OF BEGINNING; AND EXCEPT COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 8; THENCE SOUTH 89 DEGREES 48 MINUTES 35 SECONDS WEST ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER A DISTANCE OF 35.00 FEET TO THE POINT OF BEGINNING; THENCE COMMENCING ALONG SAID NORTH LINE SOUTH 89 DEGREES 48 MINUTES 35 SECONDS WEST A DISTANCE OF 540.81 FEET TO THE POINT OF A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 10 DEGREES 25 MINUTES 12 SECONDS AND WHOSE RADIUS BEARS NORTH 17 DEGREES 38 MINUTES 54 SECONDS EAST A DISTANCE OF 3090.00 FEET; THENCE EASTERLY ALONG SAID CURVE AN ARC DISTANCE OF 554.69 FEET TO A POINT ON A LINE 35.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER; THENCE NORTH 00 DEGREES 03 MINUTES 25 SECONDS WEST ALONG SAID PARALLEL LINE A DISTANCE OF 121.11 FEET TO THE POINT OF BEGINNING.

A.L.T.A./A.C.S.M. LAND TITLE SURVEY SWC LAKE PLEASANT AND HAPPY VALLEY ROAD

A PORTION OF THE NORTHEAST QUARTER
OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 1 EAST,
OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA.

LANDMARK ENGINEERING INC

7310 North 16th Street
Phoenix, Arizona 85020
Suite 285
602.861.2005



JOB NO. 02947
DRAWN BY RH
CHECKED BY J. ALVAREZ
DATE 01-14-04

Exhibit "H"

Property Ownership Map Within 300 Feet

Surrounding Properties within 300'

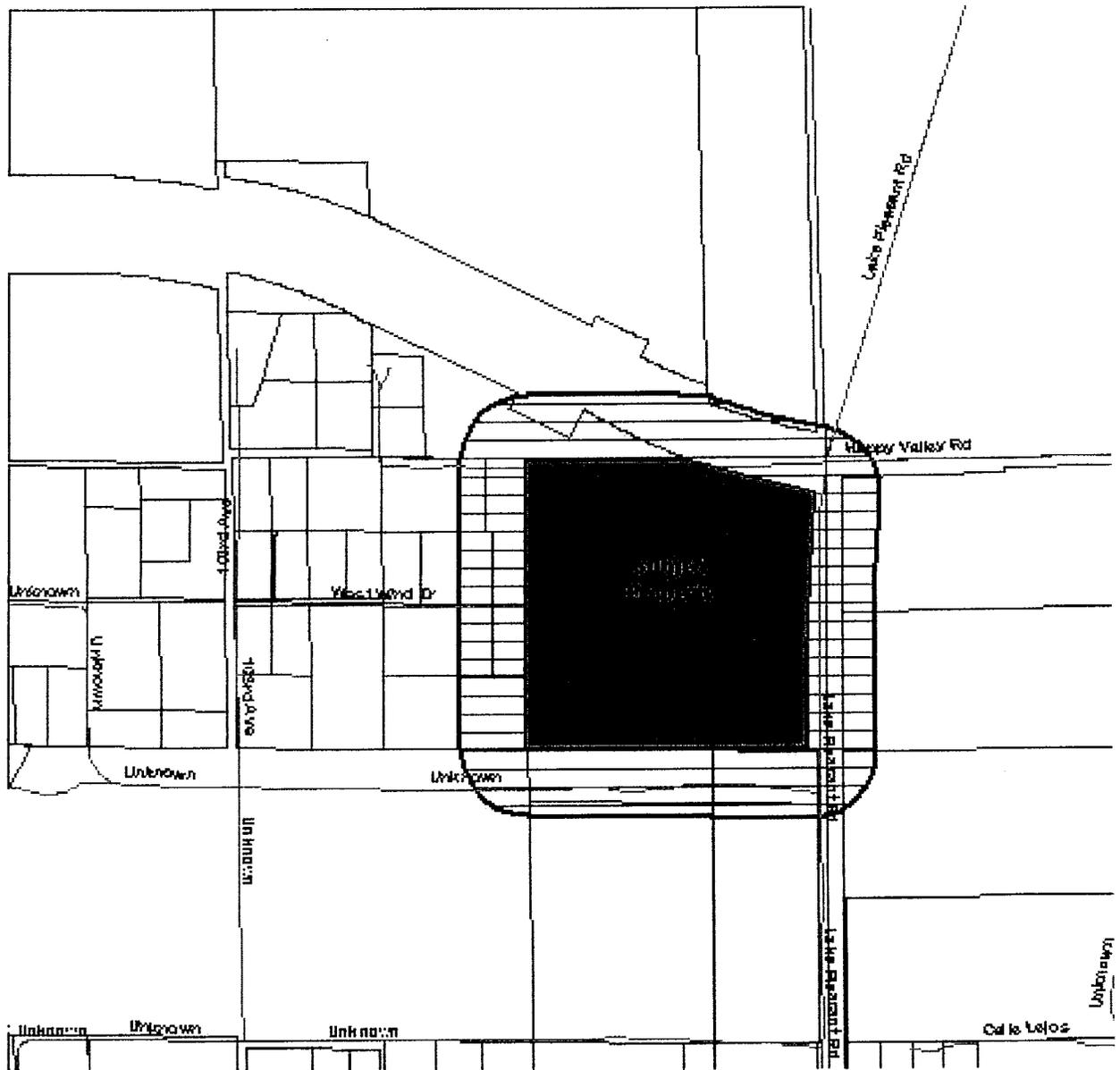


Exhibit "I"

Conceptual Site Plan and Site Details

Project Narrative

Lake Pleasant Pavilions will be a community level shopping center which will bring retail stores, service uses and restaurants to a portion of Peoria which has been planned to enrich the area along the new Lake Pleasant Parkway. The overall design theme for Lake Pleasant Pavilions takes into account the rural character of the area, with particular emphasis on pedestrian interaction.

Substantial landscape setbacks are provided along Agua Fria Boulevard along with a corner, element which will contain a large water feature which will not only provide visual excitement to the passing vehicular traffic, but will also provide interaction for the pedestrian traffic within. Several landscape nodes will contain shade ramada, seating areas and monumental artwork for the public to enjoy. Landscaped, naturally shaded, meandering paths intertwine throughout the center to lead the public to various destinations. Details are provided within.

The architecture for the buildings will bring forth the rural character of the area utilizing materials and colors of a more "raw" nature. Colors have been carefully selected so that they remain in a low level of brightness (less than 40 LRV) so as to not "shine" above the surrounding natural landscape. Canopies, sloped roofs, towers and various fenestrations will provide for a diversity of mass to bring the center to a human scale of design. Walls shall be either natural tones of stucco, integral color/painted masonry or formed concrete. Sloped roofing material is to be standing seam metal with exposed wood trusses, rafters, joists and beams. Hardscape shall be a mixture of patterns containing natural concrete, integrally colored concrete and pavers. Landscape planters and seat walls shall be provided throughout for visual excitement and pedestrian use. Textures and colors will vary according to the palettes provided within.

Project Team

Developer:
Korrwasser Shopping Center Properties, LLC
2375 E. Camelback Road
5th floor
Phoenix, Arizona 85016
602.387.4821
Contact: Gordon Keig

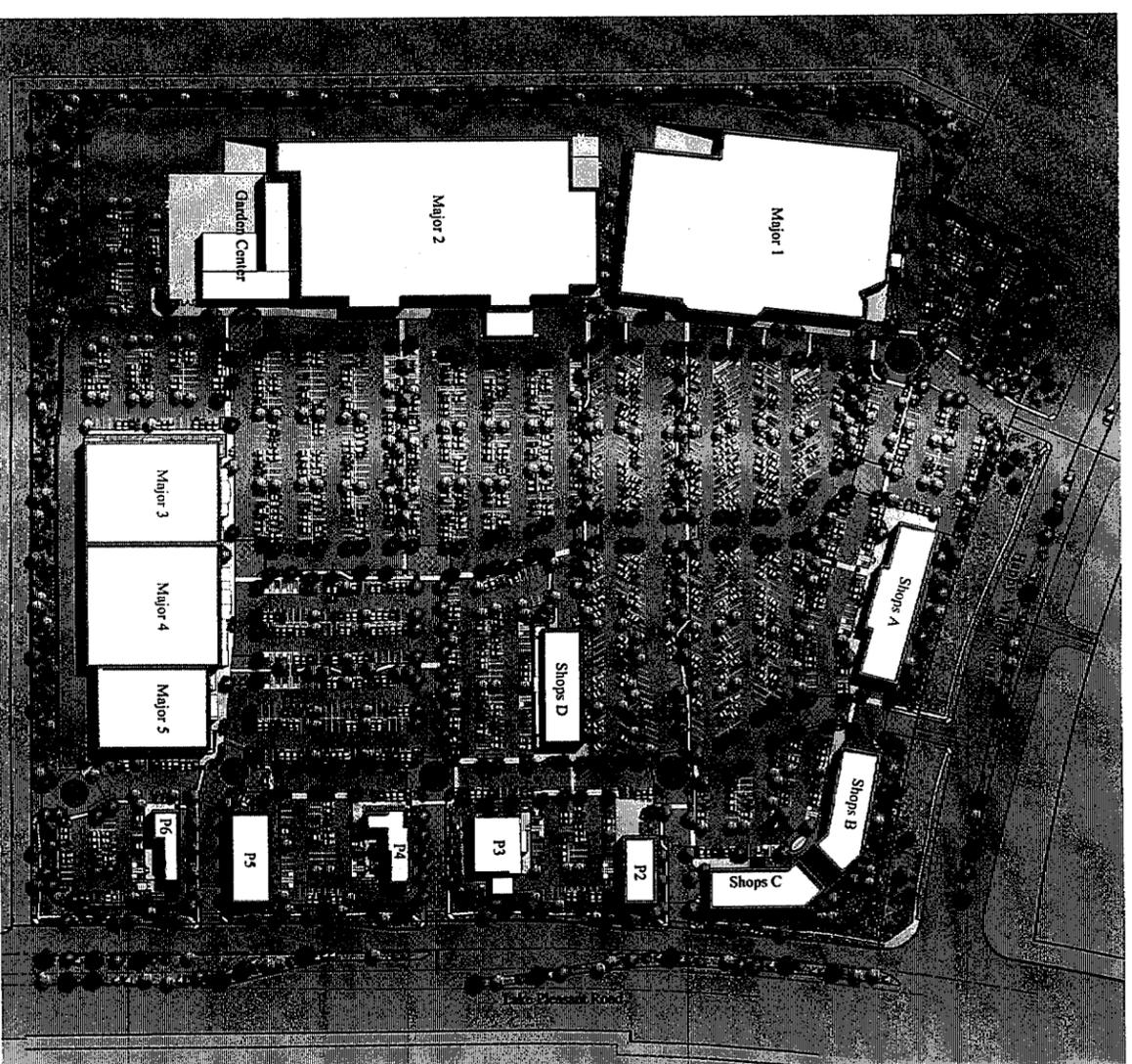
Zoning/Entitlements:
Beus-Gilbert
4800 N. Scottsdale Road
Suite 6000
Scottsdale, Arizona 85251
480.429.3062
Contact: Paul Gilbert, Felipe Zubia

Architect:
LAVA Architecture, Inc.
3433 E. Hatcher Road
Phoenix, Arizona 85028
602.354.8765
Contact: Lou Vergne

Civil Engineer:
Landmark Engineering, Inc.
7310 N. 16 Street
Suite 285
Phoenix, Arizona 85020-5258
602.861.2005
Contact: Brad Krem

Landscape Architect:
Laskin & Associates
5112 N. 40th Street
Suite 202
Phoenix, Arizona 85018
602.840.7771
Contact: Hardy Laskin, Doug Prouty

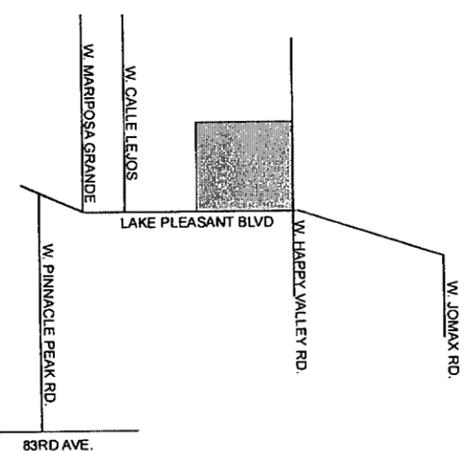
Traffic Engineer:
Kimley-Horn & Associates, Inc.
7600 N. 15th Street
Suite 250
Phoenix, Arizona 85020
602.944.5500
Contact: Chuck Wright



Site Plan N.T.S.

Site Data

Net Site Area:	1,742,940 s.f. (40.01 acres)
Building Area:	348,419 s.f. 383,204 s.f. (with G.C.)
% of Coverage:	20.0%
Parking Required:	1/250 s.f. of flr. area (90%) 1,255 spaces (25 hc)
Parking Provided:	1,596 spaces (54 hc) 4.6 / 1,000

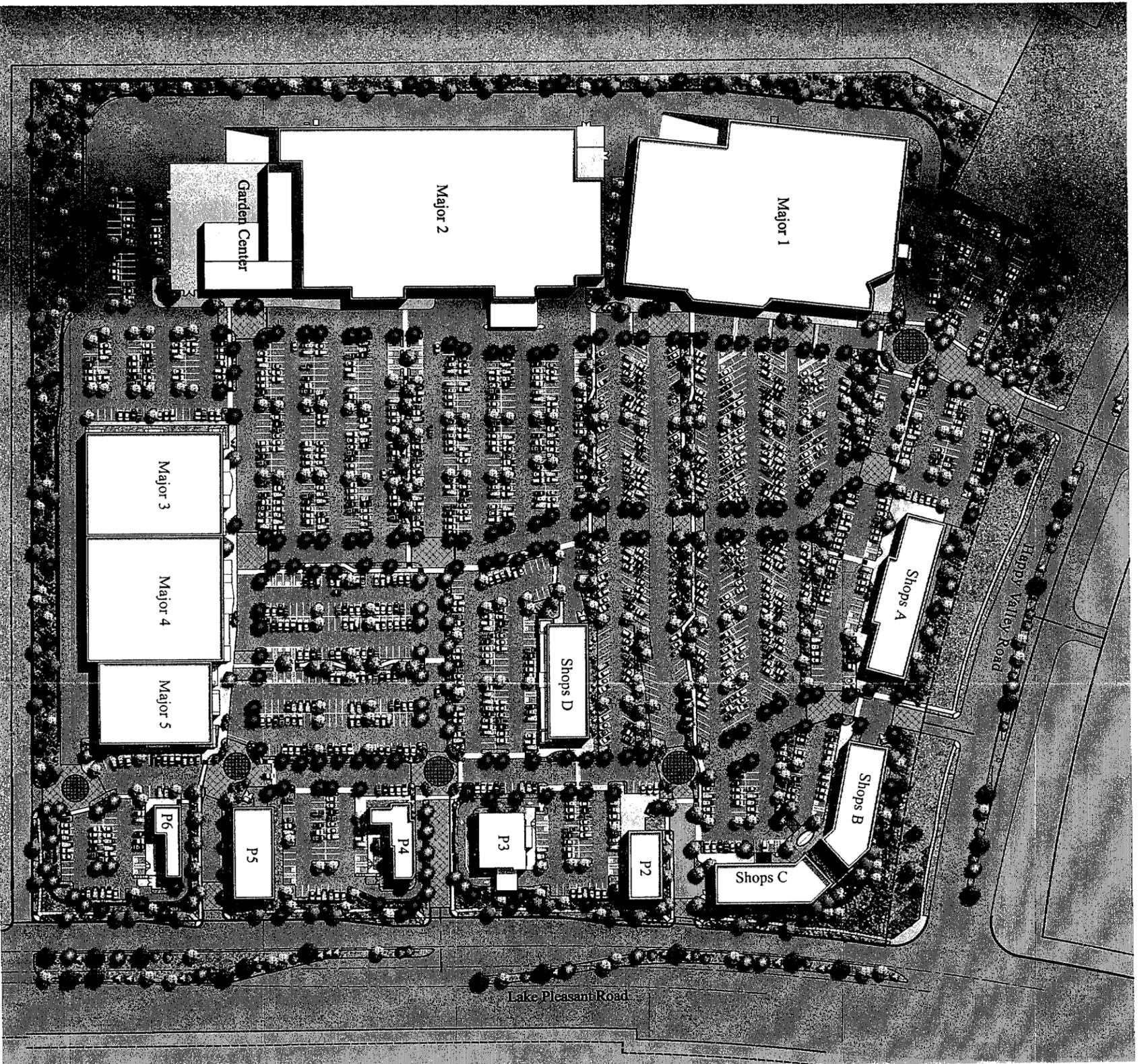


Vicinity Map N.T.S.



Lake Pleasant Pavilion





Site Data

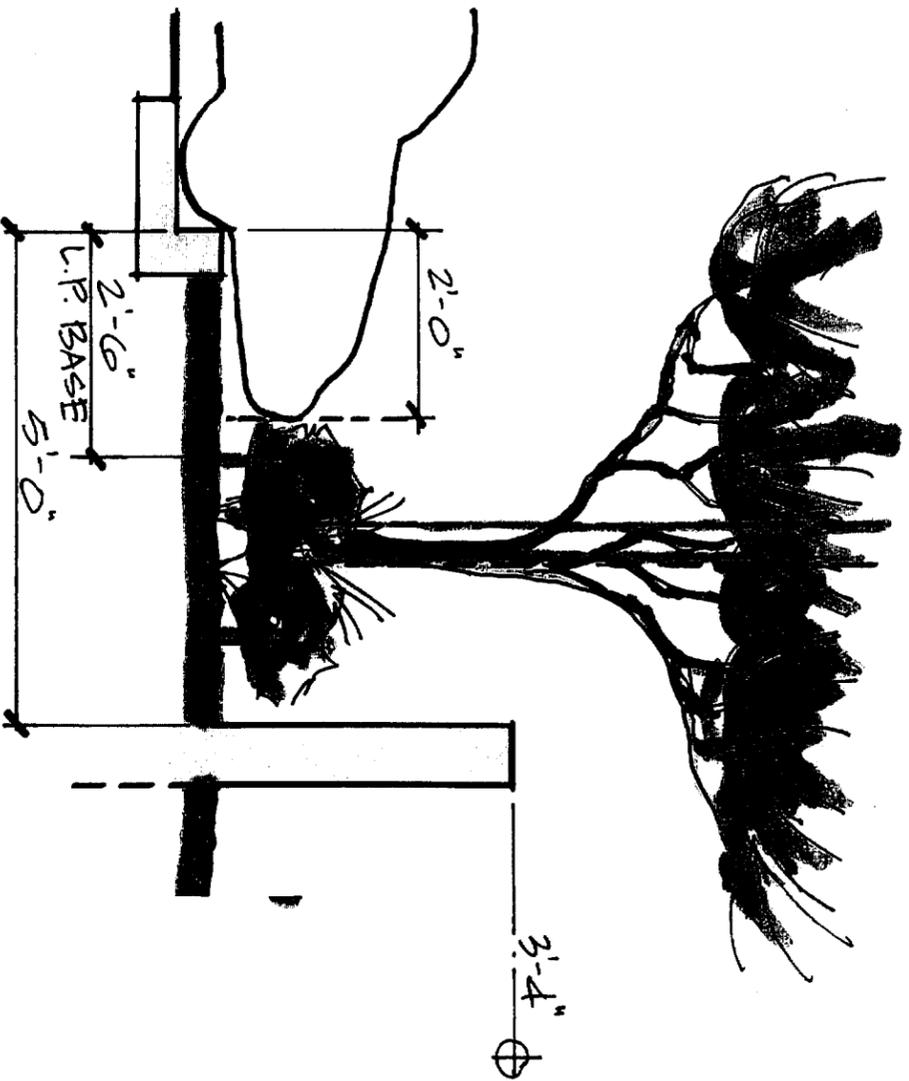
Net Site Area:	1,742,940 s.f. (40.01 acres)
Building Area:	350,769 s.f. 385,554 s.f. (with G.C.)
% of Coverage:	20.1% / 22.1%
Parking Required:	1/250 s.f. of flr. area (90%) 1,264 spaces (38 hc)
Parking Provided:	1,602 spaces (54 hc) 4.6 / 1,000

General Notes

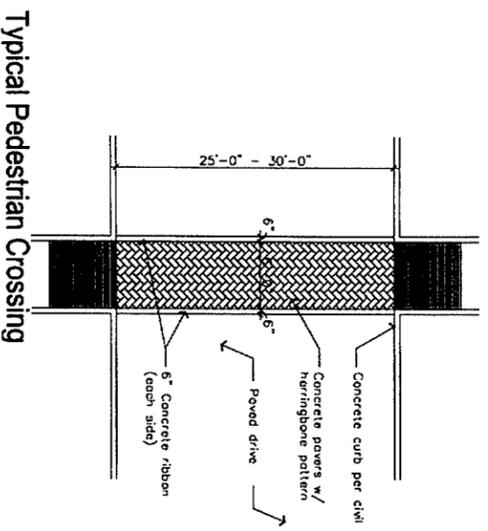
- All lighting shall be in compliance with Section 14-3-11 of the City of Peoria Dark Sky Ordinance and shall be less than one (1) foot candle at all property lines.
- All signage shall be subject to a separate review and approval process.
- All ground-mounted and roof-mounted equipment, including utilities, shall be screened from view.
- Trash enclosure will be constructed in accordance with City of Peoria Standard Detail #27 and Section 14-2-16 of the City of Peoria Zoning Ordinance.



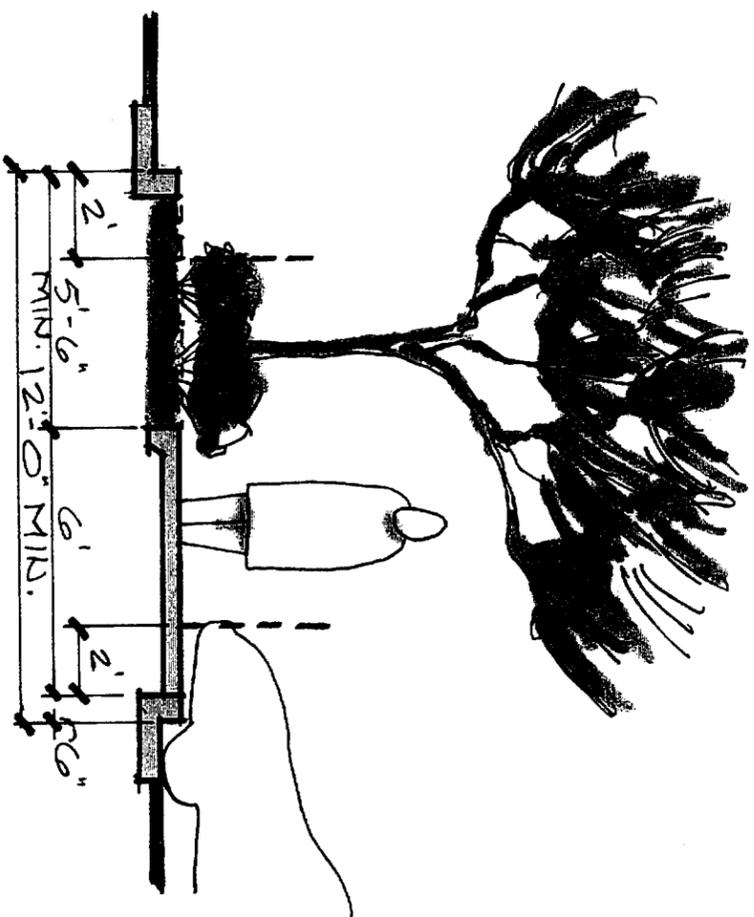
Scale: 1" = 80'-0"



TYP. PARKING AT SCREEN WALL DETAIL

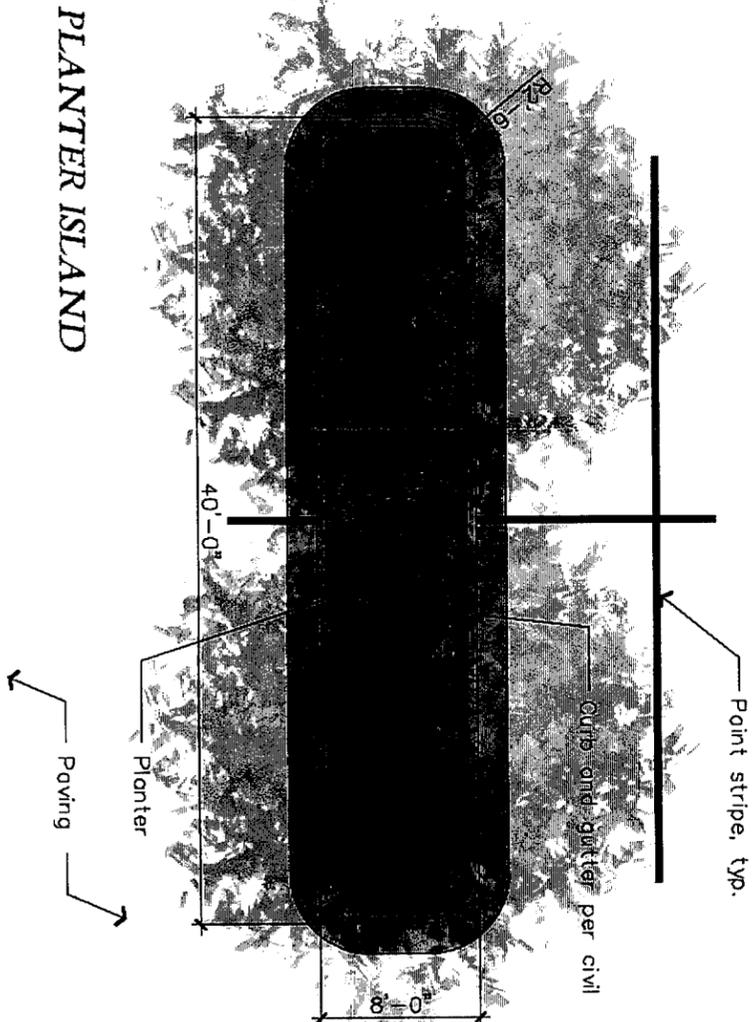


Typical Pedestrian Crossing

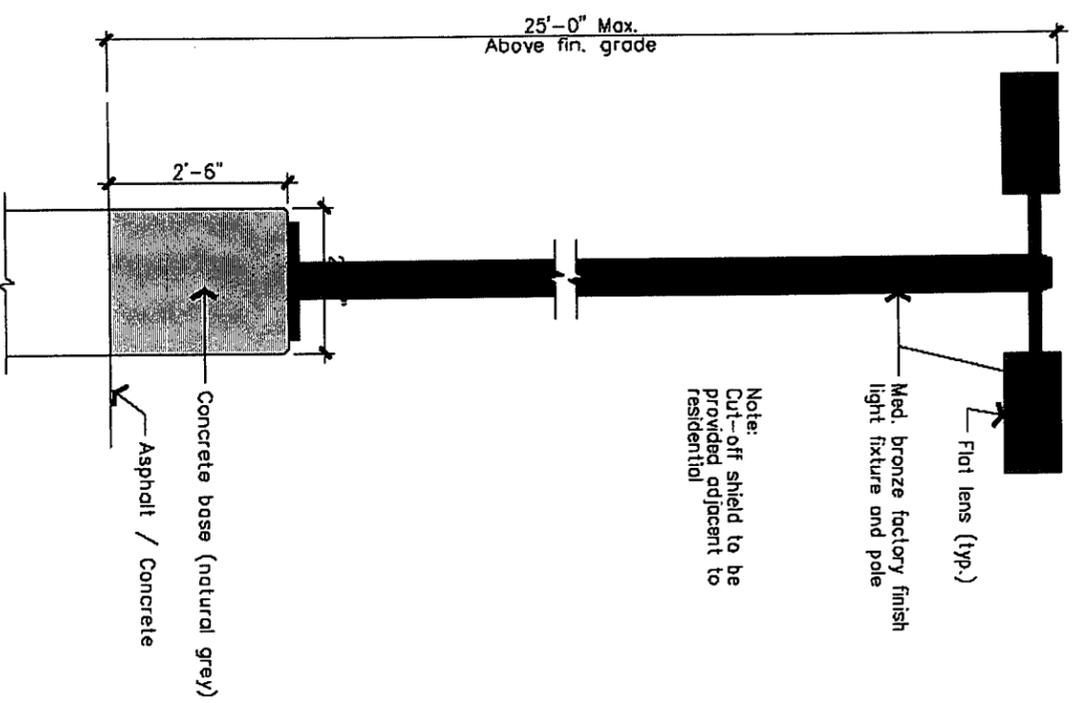


TYP. MEANDERING SIDEWALK DETAIL

TYPICAL PLANTER ISLAND



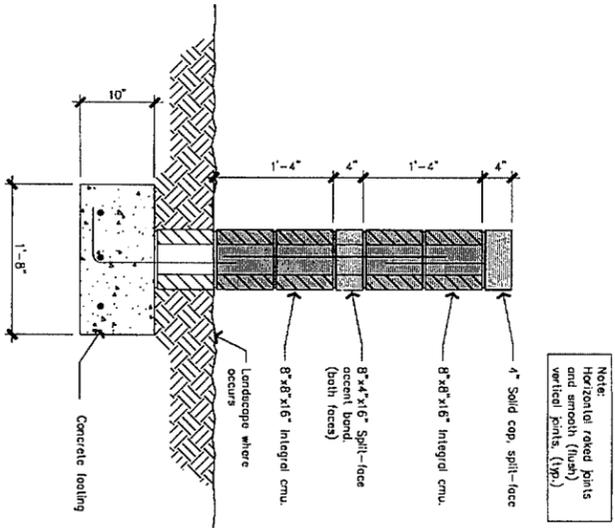
Note:
For landscaping, see
landscape plans.



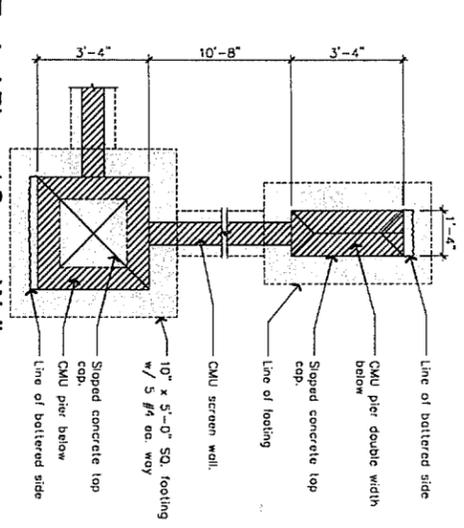
LIGHT POLE & BASE DETAIL

Site Details

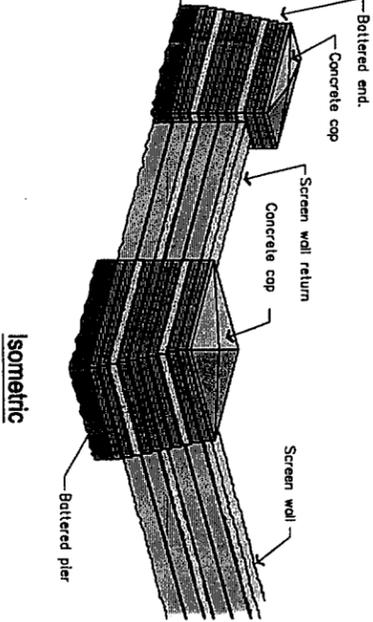
Lake Pleasant Pavilions



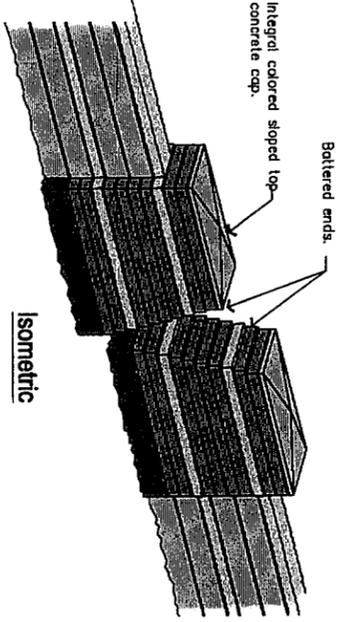
Typical 3'-4" Screen Wall Section



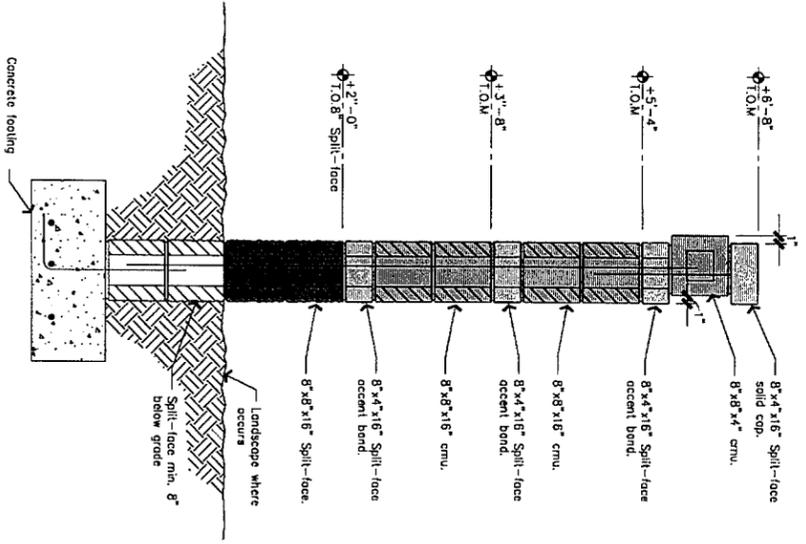
Typical Piers at Screen Wall



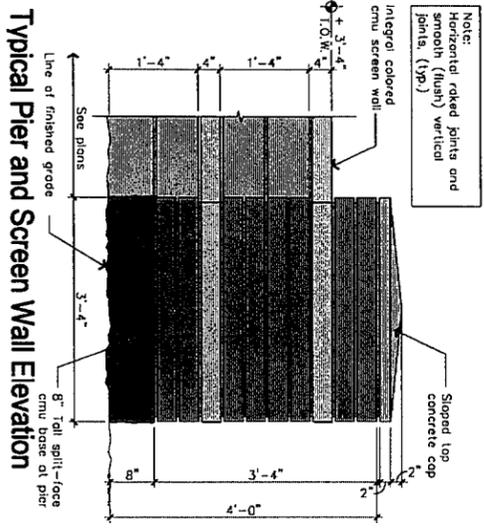
Typical Screen Wall Return End



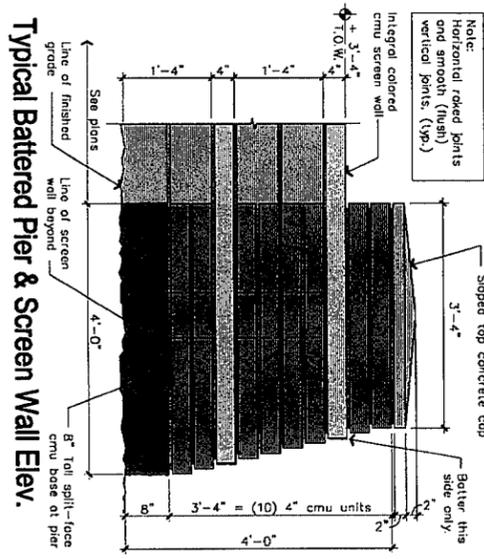
Typical Screen Wall Intermediate Piers



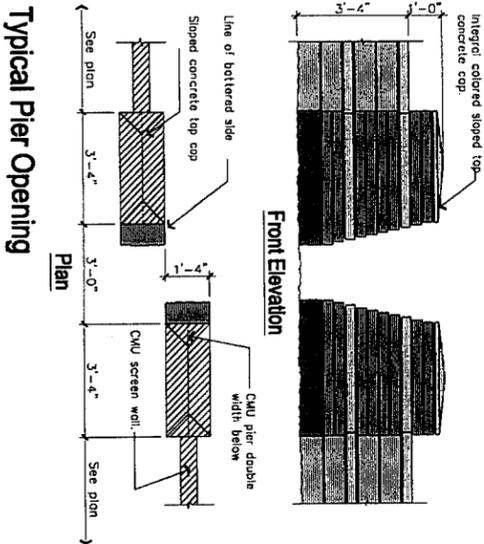
Typical 6'-8" Screen Wall Section



Typical Pier and Screen Wall Elevation

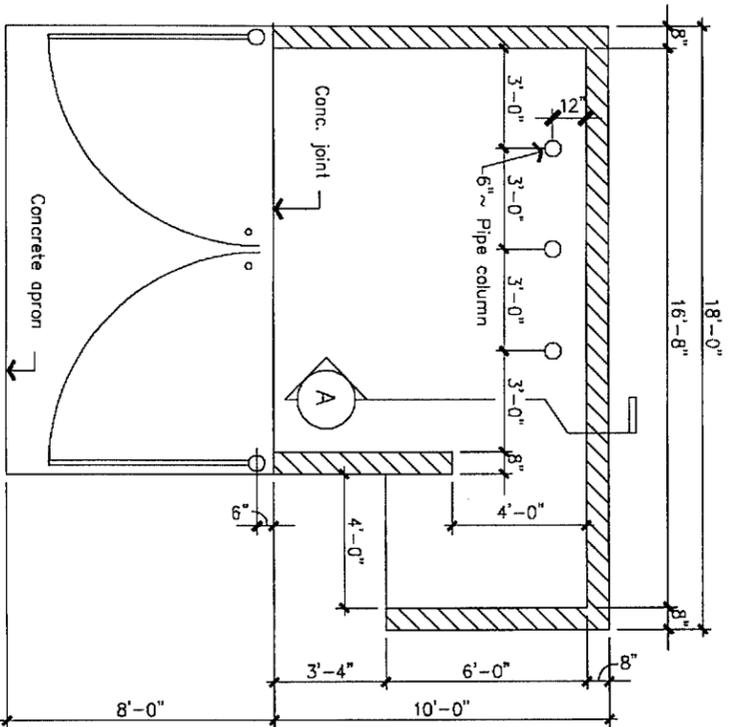


Typical Battered Pier & Screen Wall Elev.



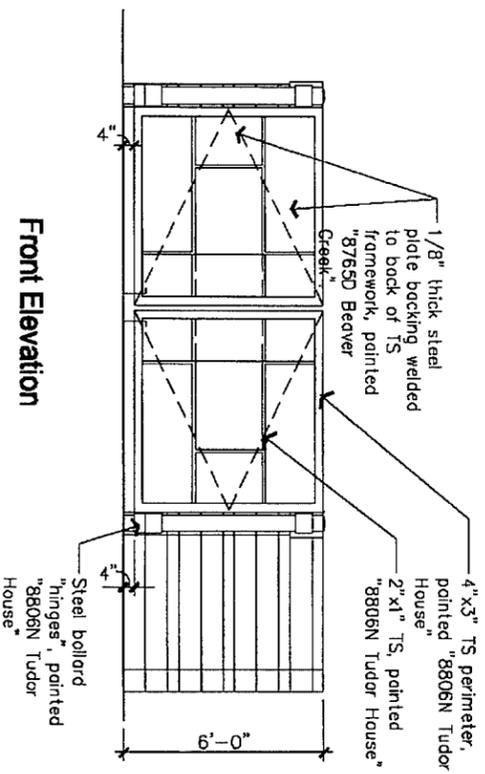
Typical Pier Opening

Screen Wall Details Lake Pleasant Pavilions

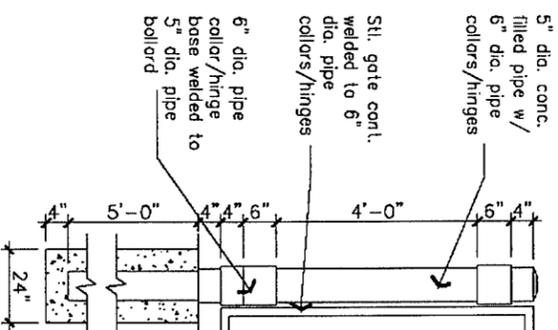


Plan Elevation

Note:
Masonry is typ. all sides.

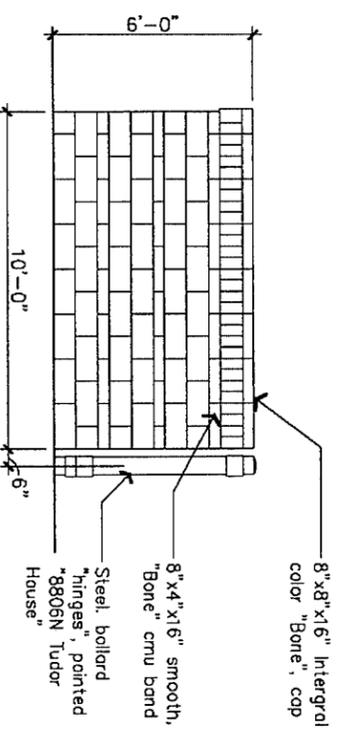


Front Elevation

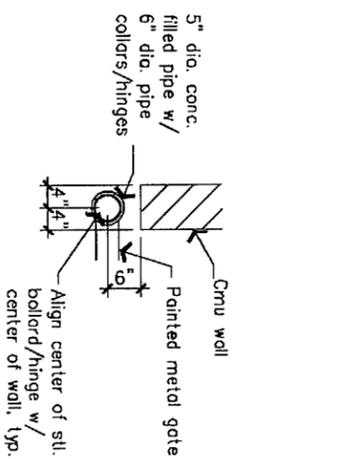


Bollard/Hinge Detail

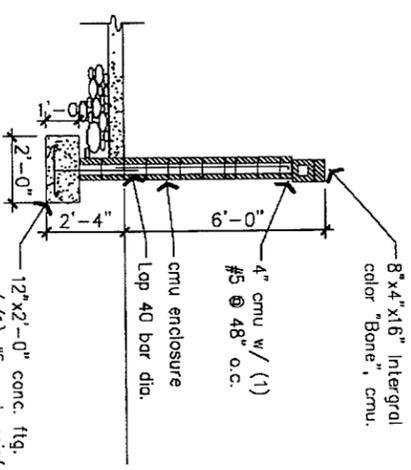
Note:
Exterior face of cmu is to have grey, raked horizontal and flush (smooth) vertical mortar joints. typ.



Side Elevation

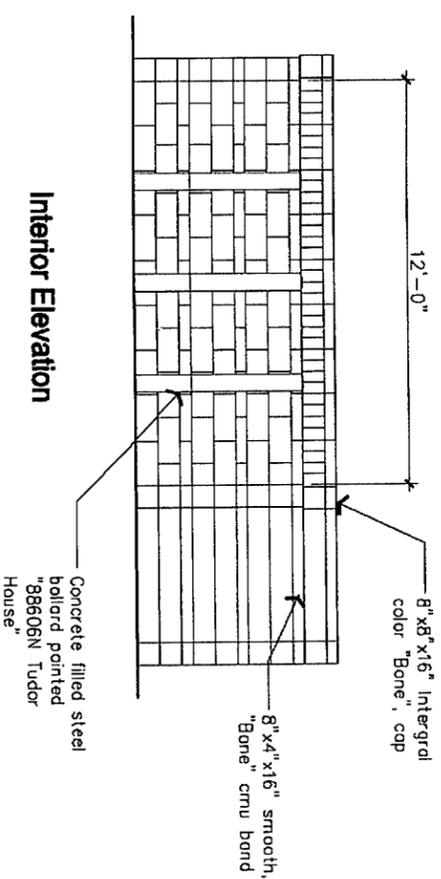


Bollard/Hinge Detail



Wall Section

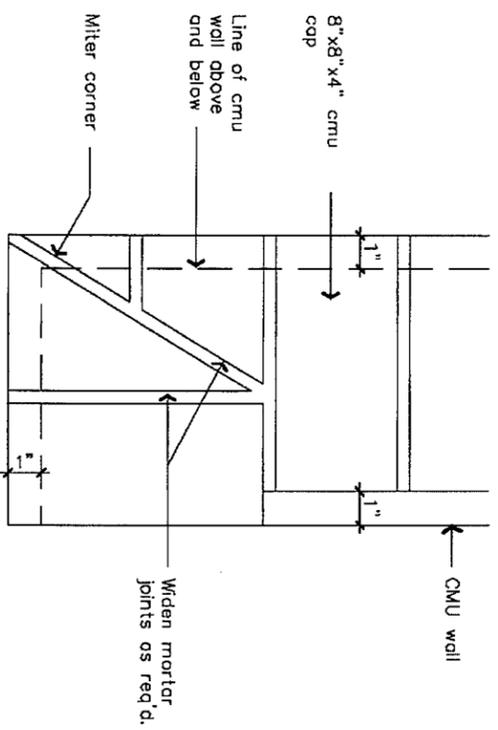
Note:
Paint all exposed steel
'8806N Tudor House'



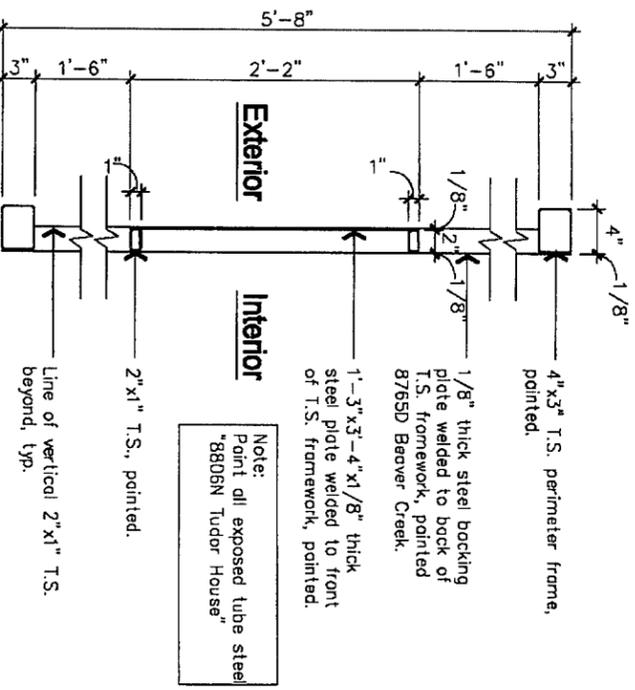
Interior Elevation

Refuse Enclosure Details

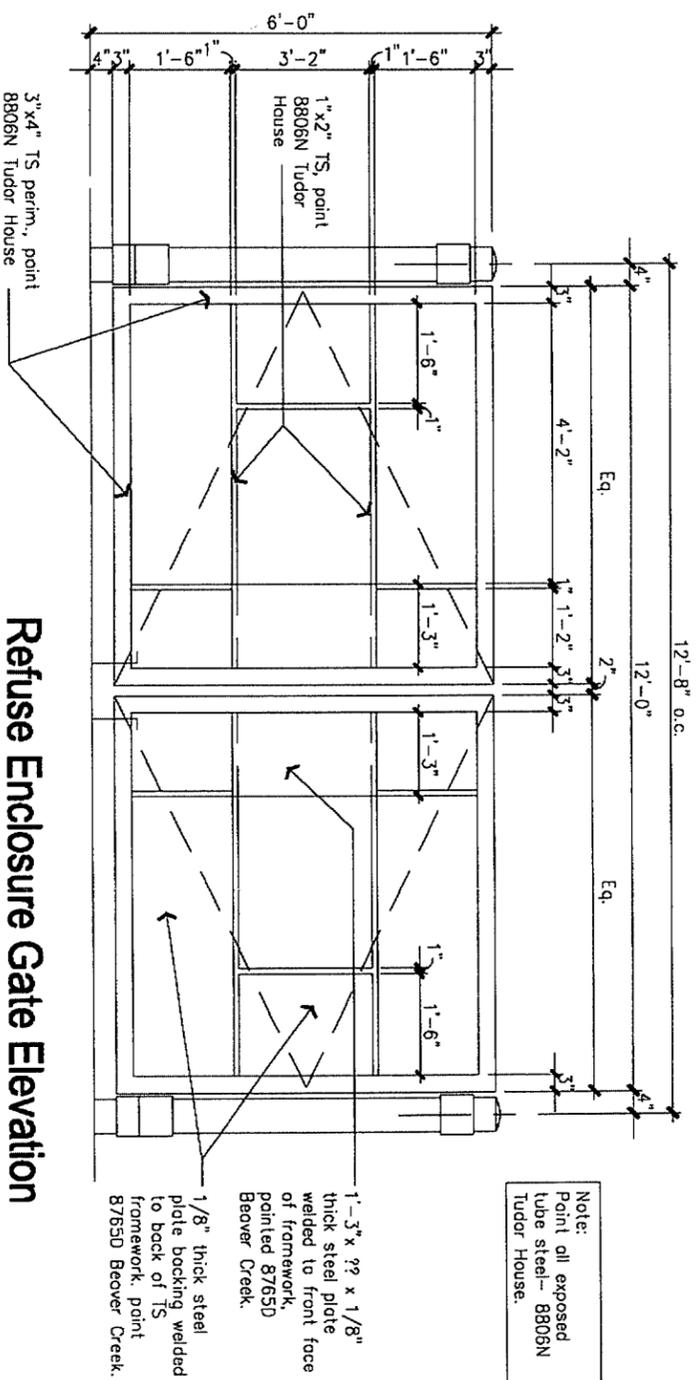
Site Details Lake Pleasant Pavilions



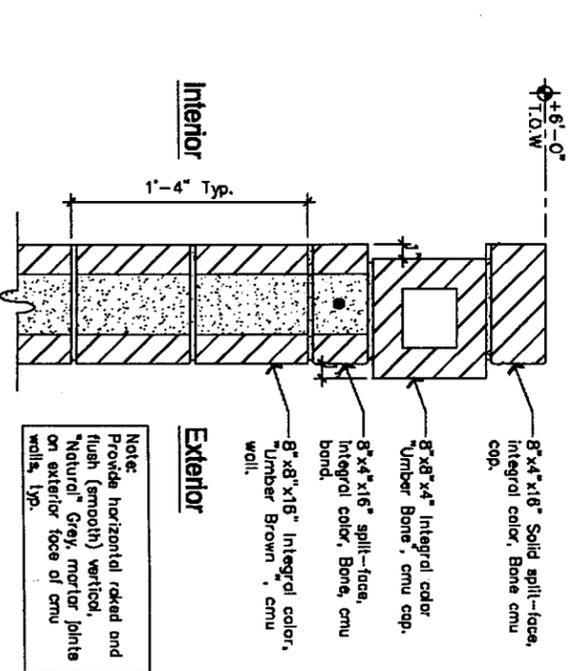
**Header Course
End Cap Detail At Refuse Enclosure**



Refuse Enclosure Gate Section

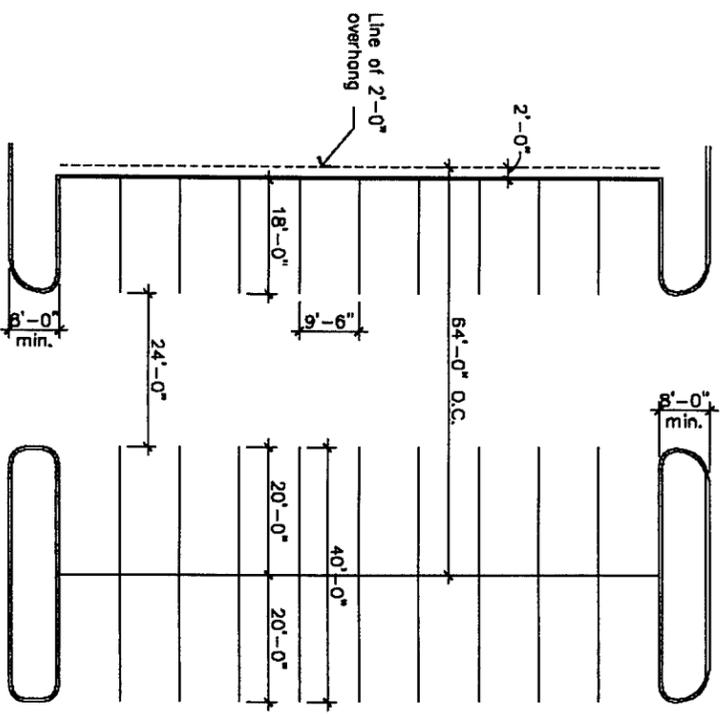


Refuse Enclosure Gate Elevation



Cap Course At Refuse Enclosure

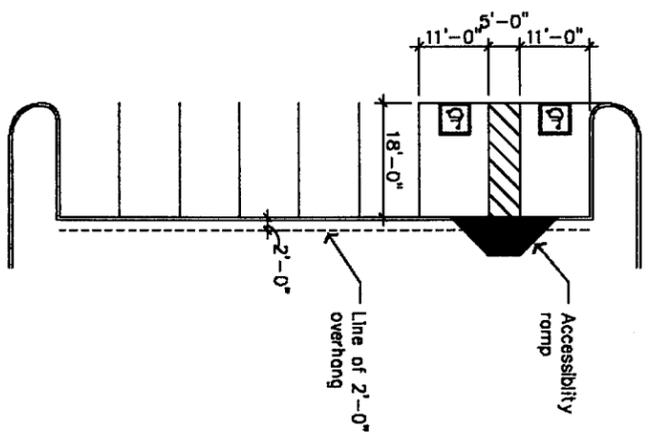
Site Details
Lake Pleasant Pavilions



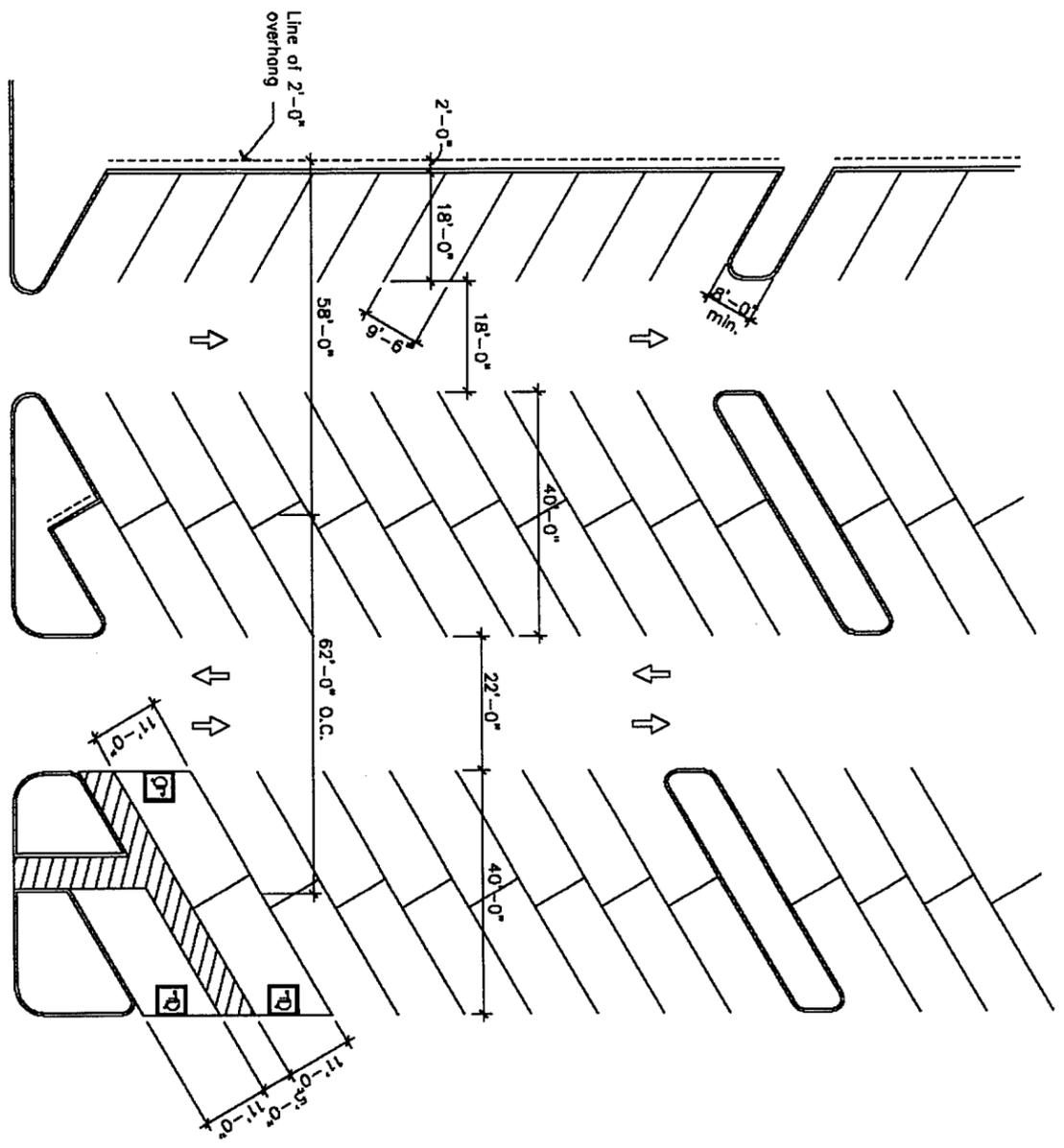
Typical Head-In

Typical Double

90° Parking



Typical Accessible



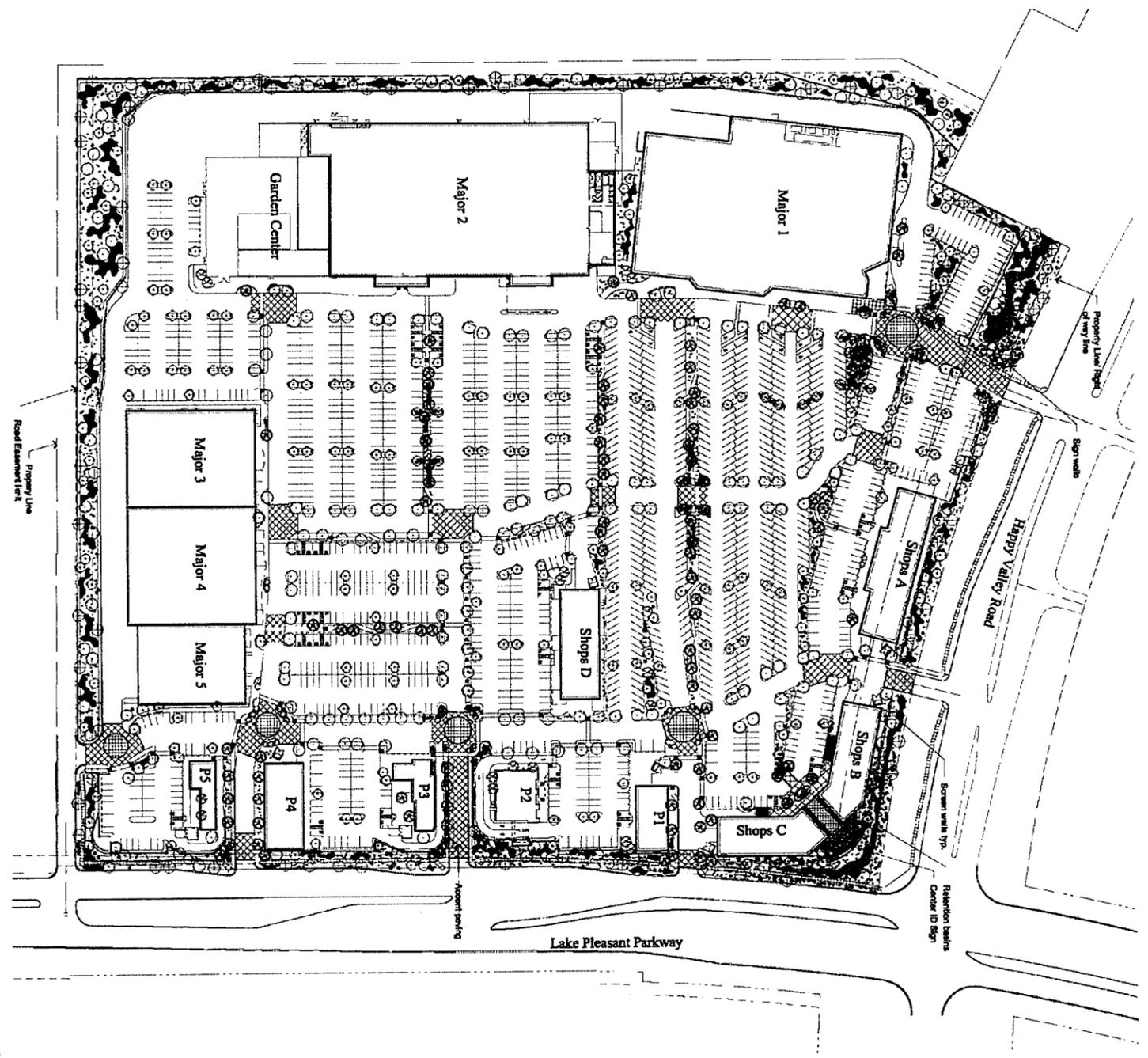
One-Way

Two-Way

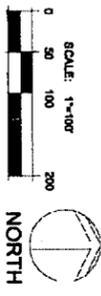
Typical Accessible

60° Parking

Parking Detail
Lake Pleasant Pavilions



LANDSCAPE CONCEPTUAL MASTER PLAN
1"=100'-0"

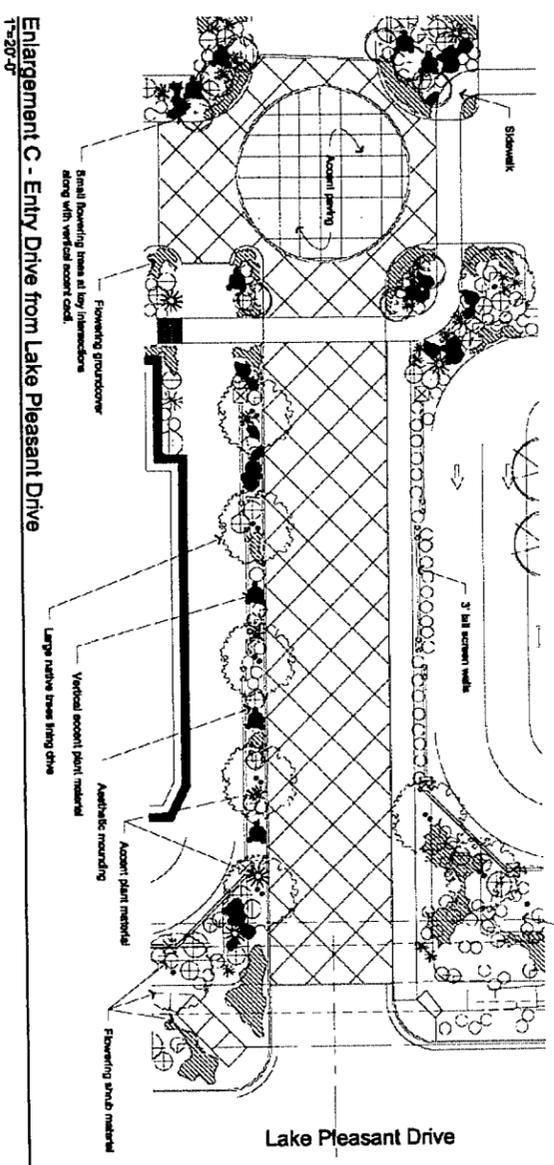
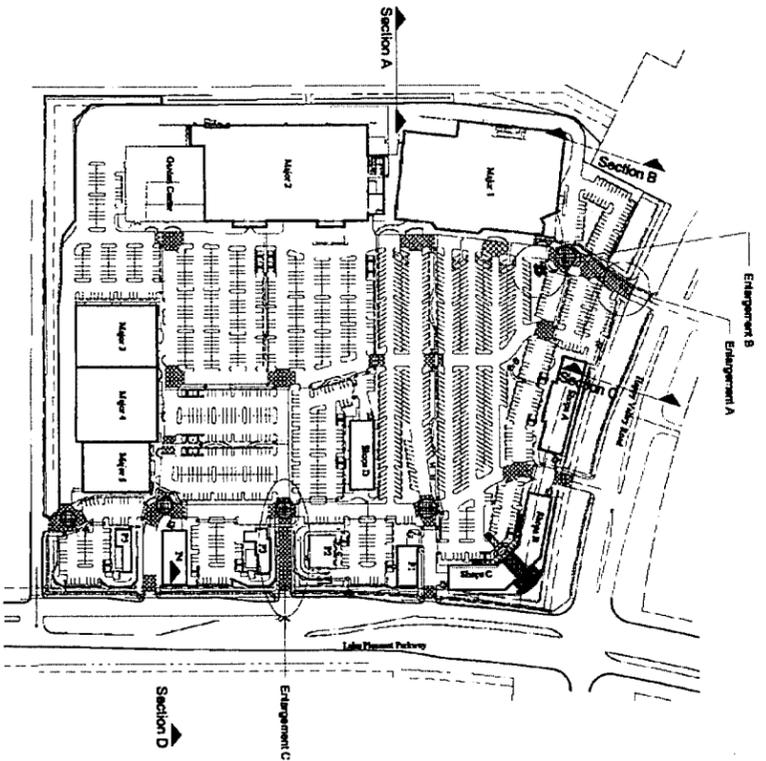
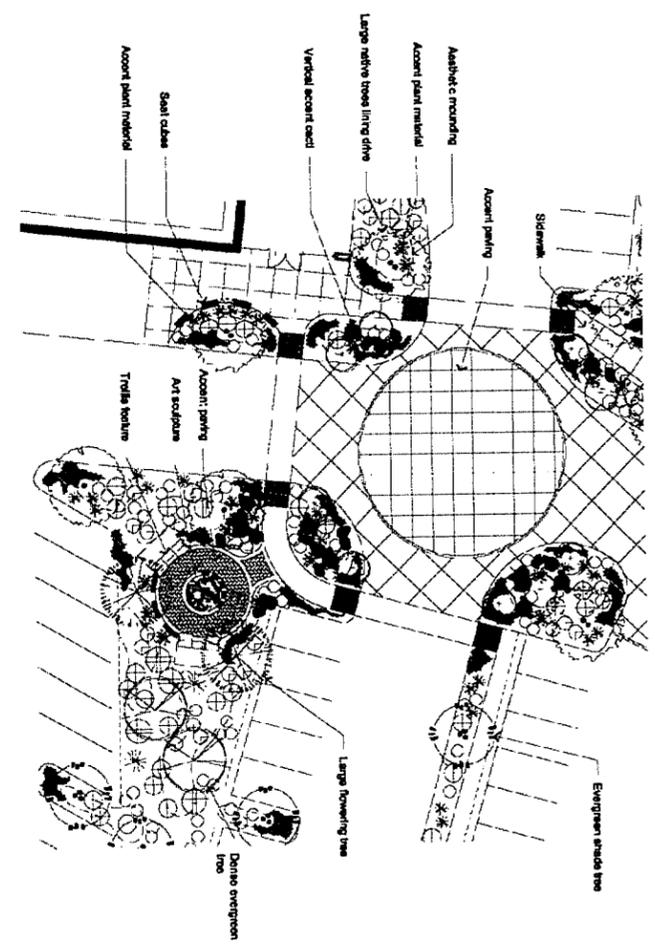
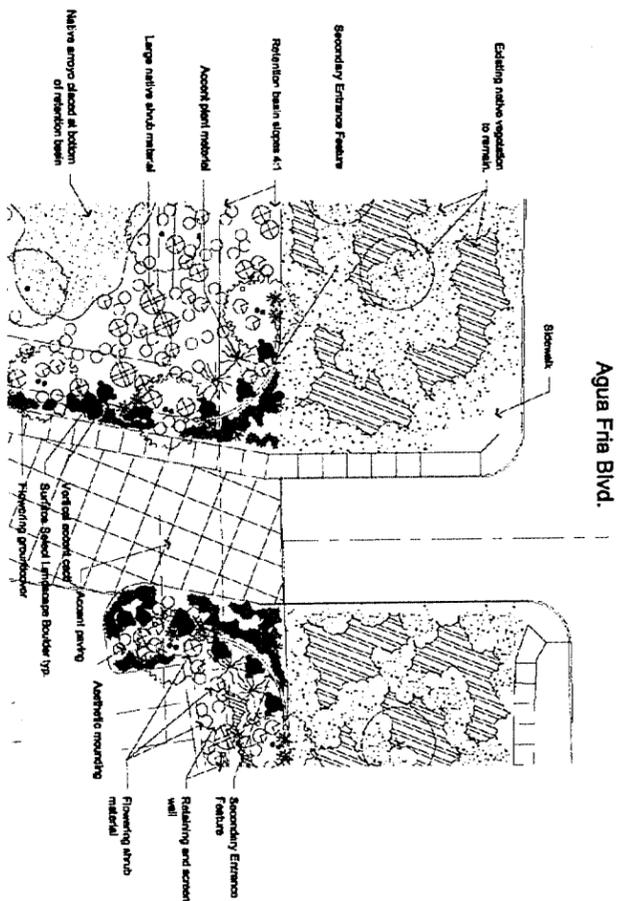
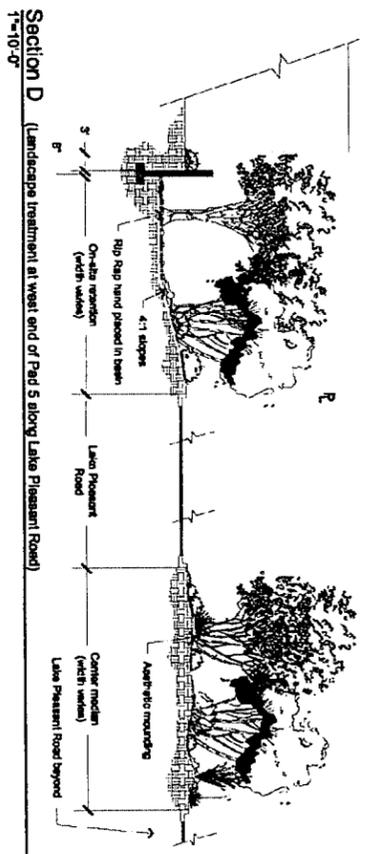
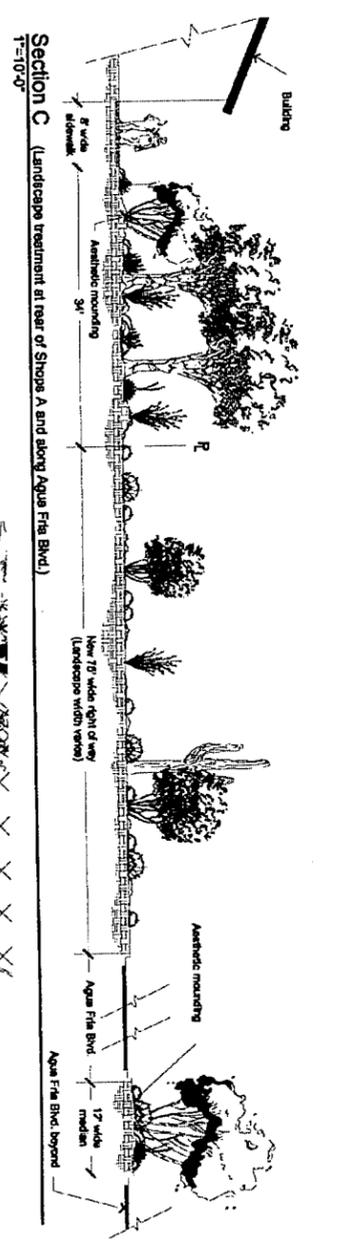
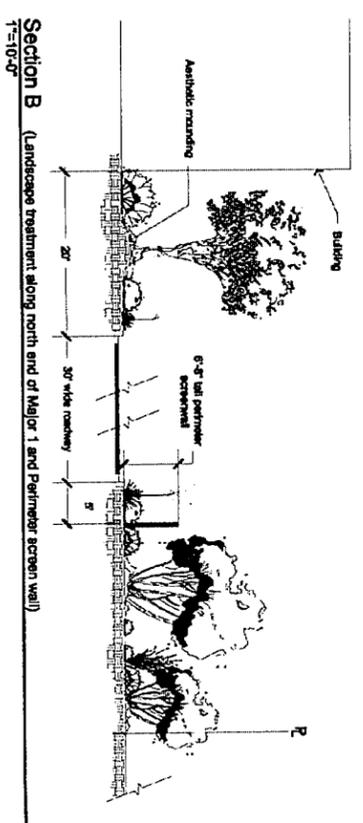
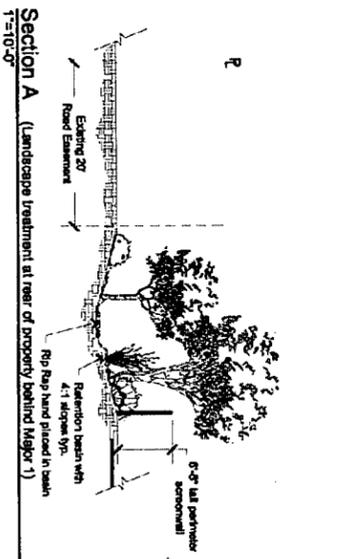


MASTER PLANT LEGEND

Symbol	Botanical name	Common Name	Size
	<i>Olneya tesota</i>	Desert Ironwood	4' cal.
	<i>Prosopis juliflora</i>	Native Mesquite	2' cal.
	<i>Cardidium torquatum</i>	Blue Palo Verde	3' cal.
	<i>Cardidium hyndt</i>	Desert Museum Hybrid	3' cal.
	<i>Pithecellobium feacaulis</i>	Texas Ebony	3' cal.
	<i>Acacia smallii</i>	Sweet Acacia	2' cal.
	<i>Carnegia gigantea</i>	Saguaro	10'-18'
	<i>Crotalaria mexicana</i>	Mexican Bird of Paradise	1.5' cal.
	<i>Fouquieria splendens</i>	Ocotillo	8' tall
	<i>Agave sp.</i>	Agave	5 gal.
	<i>Hesperaloe parviflora</i>	Giant Hesperaloe	5 gal.
	<i>Hesperaloe parviflora</i>	Red Yucca	6 gal.
	<i>Dasyliion longisternum</i>	Mexican Grass Tree	5 gal.
	<i>Dasyliion wheeleri</i>	Desert Spoon	6 gal.
	<i>Yucca rostrata</i>	Beaked Yucca	5 gal.
	<i>Yucca gloriosa</i>	Spanish Dagger	5 gal.
	<i>Opuntia engelmannii</i>	Engelmann's Prickly Pear	5 gal.
	<i>Opuntia sarinifolia</i>	Santa Rita Prickly Pear	5 gal.
	<i>Podalirhus macrocarpus</i>	Lady Slipper	5 gal.
	<i>Leucophyllum sp.</i>	Texas Sage	5 gal.
	<i>Encelia farinosa</i>	Brittlebush	5 gal.
	<i>Larrea tridentata</i>	Crocoetea Bush	15 gal.
	<i>Ephedra viridis</i>	Moorman Tea	5 gal.
	<i>Ambrosia deltoidea</i>	Bursage	5 gal.
	<i>Simmondsia chinensis</i>	Joloba	5 gal.
	<i>Calliandra eriophylla</i>	Native Fairy Duster	5 gal.
	<i>Dodonaea viscosa 'pupurea'</i>	Purple Hop Bush	5 gal.
	<i>Justicia caribaea</i>	Red Justicia	5 gal.
	<i>Eriogonum fasciculatum var. polichidum</i>	Fallop Buckwheat	5 gal.
	<i>Melanopodium leucanthum</i>	Blackfoot Daisy	5 gal.
	<i>Euphorbia biglandulosa</i>	Gopher Plant	5 gal.
	<i>Cassia sp.</i>	Cassia	6 gal.
	<i>Savina chrysanthyoides</i>	Mexican Sage	6 gal.
	<i>Ernophila 'Valentini'</i>	Valentine Bush	5 gal.
	<i>Verbena goodingii</i>	Gooding Verbena	1 gal.
	<i>Baileya multiradiata</i>	Desert Marigold	1 gal.
	<i>Acacia redolens</i>	Desert Carpet	1 gal.
	<i>Panicum setosum</i>	Firecracker Panicum	1 gal.
	<i>Lantana montivdensis</i> mix 50% with Lantana Gold Mound	Purple Trailing Lantana	1 gal.

Decomposed Granite - 1/2" screened
"Express Brown" 2" depth in all paver
areas.
Rip Rap - 3'-6" cobble, match decomposed
granite

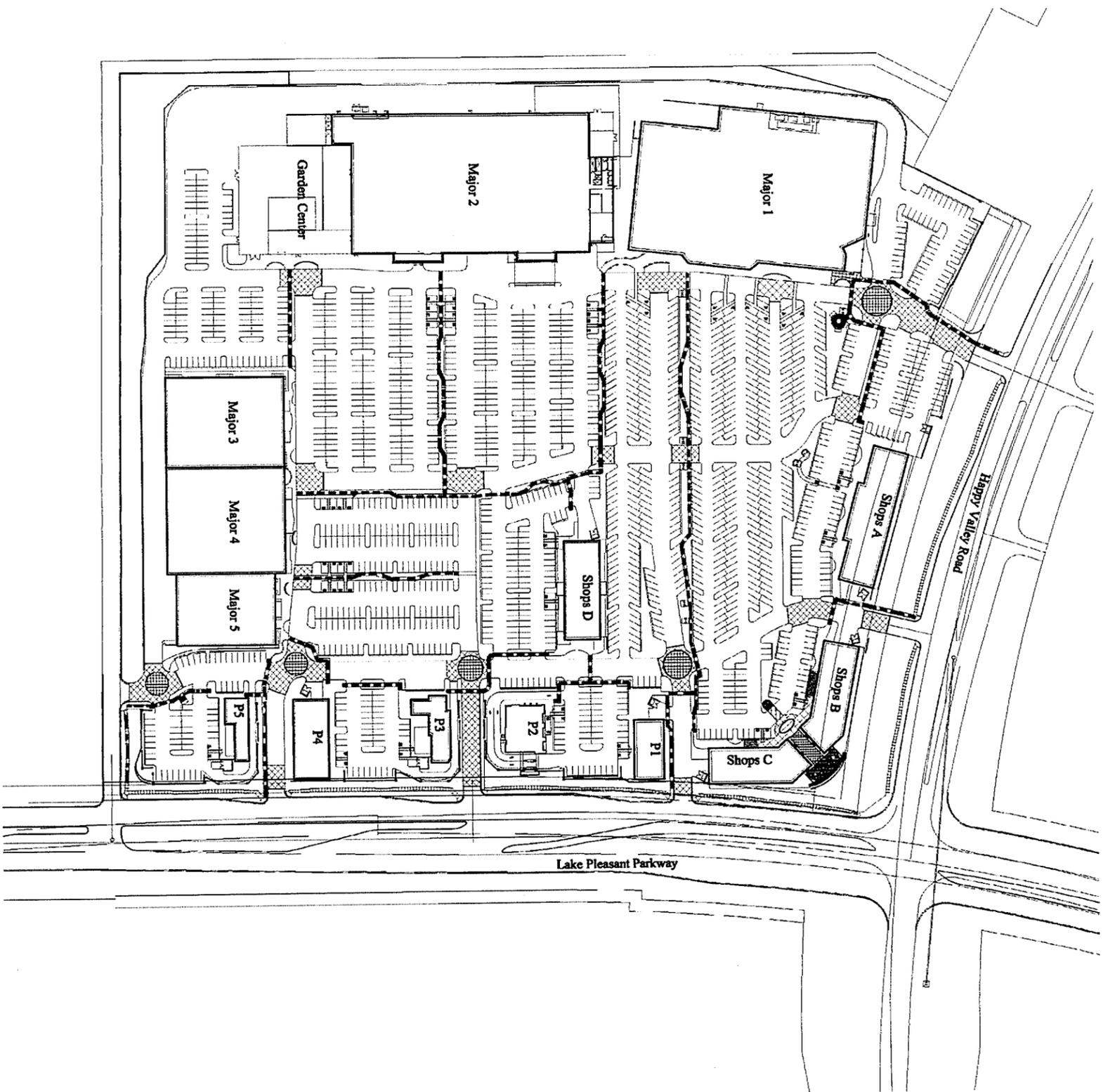
Lake Pleasant Pavilions



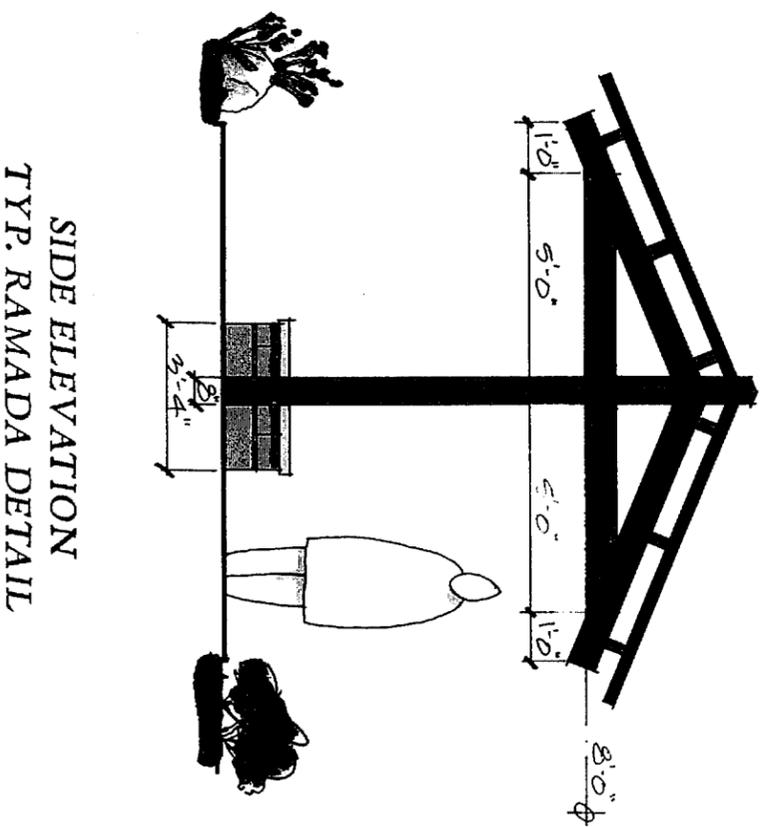
Lake Pleasant Pavilions

Exhibit "K"

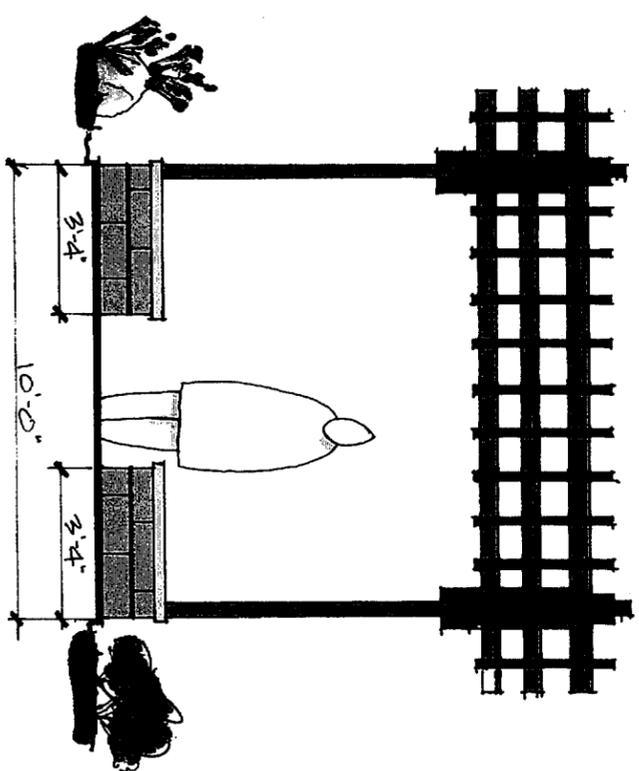
Pedestrian Circulation Plan and Pedestrian Amenities



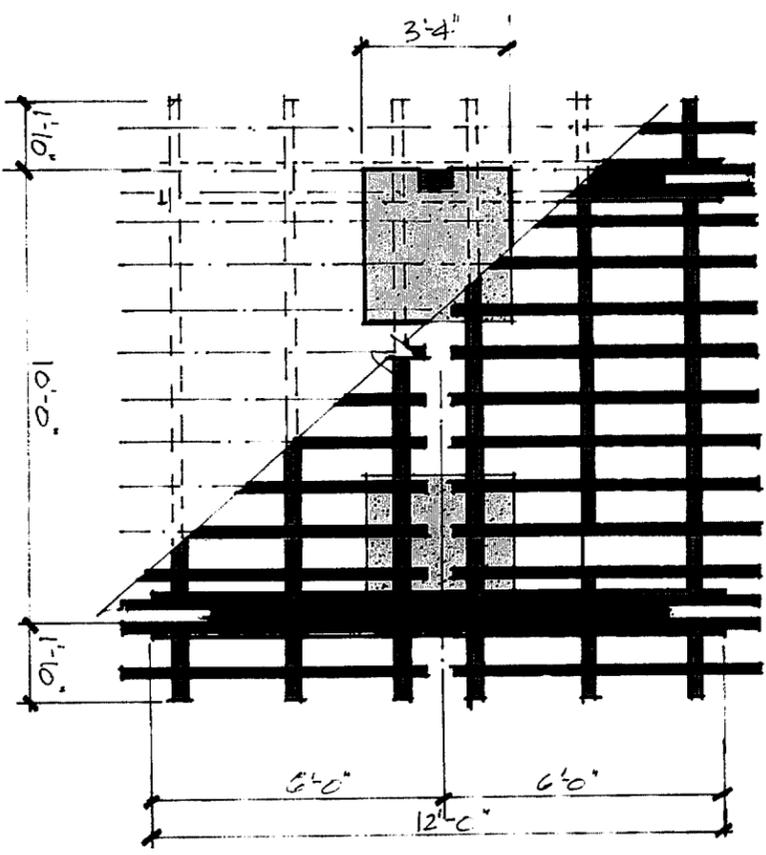
Pedestrian Circulation Exhibit
Lake Pleasant Pavilions



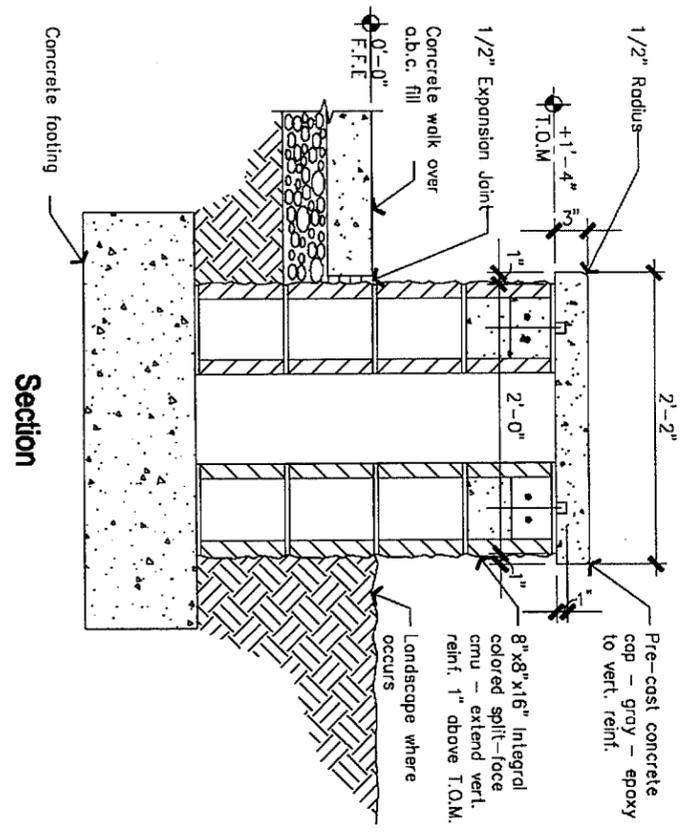
SIDE ELEVATION
TYP. RAMADA DETAIL



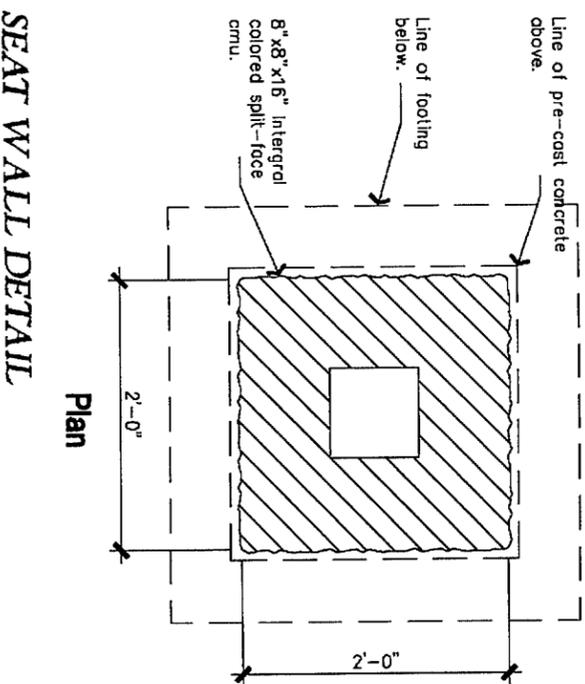
FRONT ELEVATION



PLAN



Section



SEAT WALL DETAIL

Plan

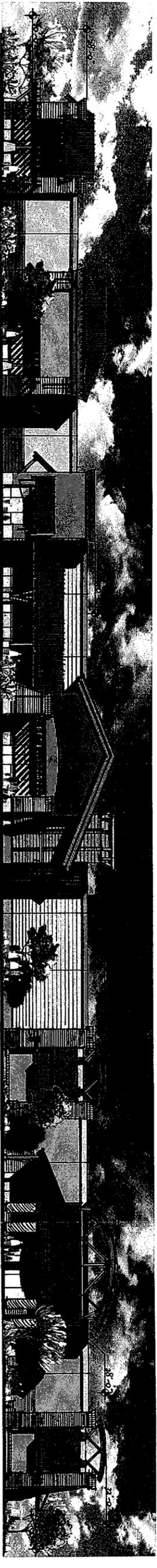
Pedestrian Amenities
Lake Pleasant Pavilions

Exhibit "J"

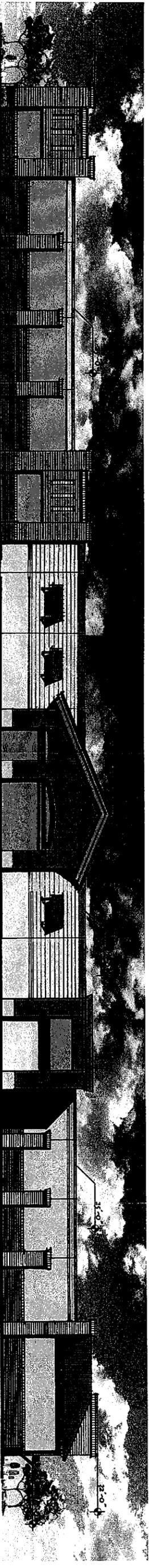
Conceptual Landscape Plan and Landscape Details

Exhibit "L"

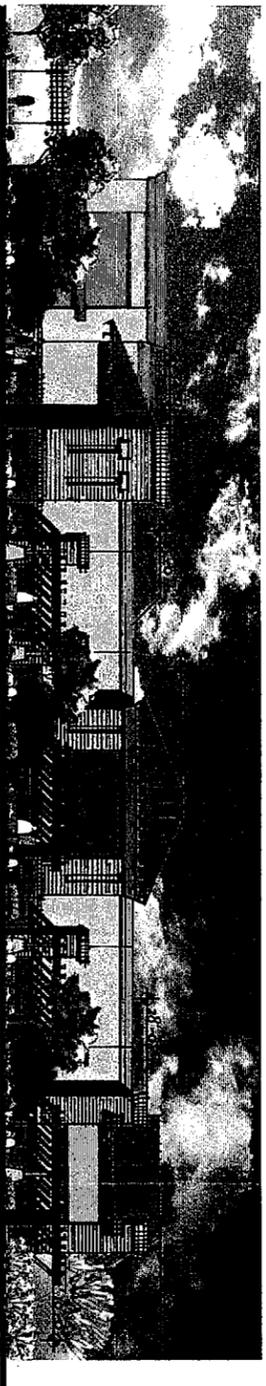
Conceptual Building Elevations/Color Materials Board



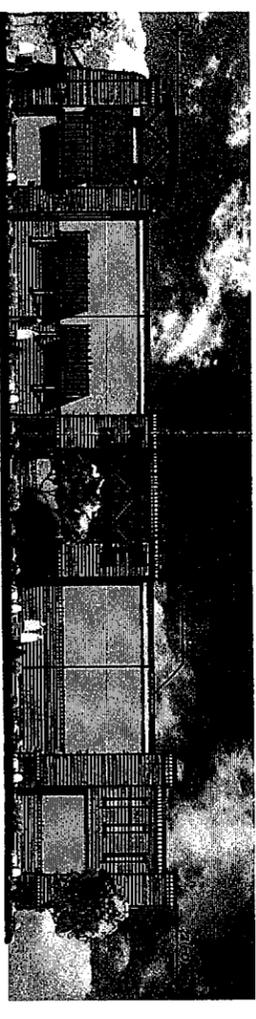
NORTH ELEVATION - MAJOR 3, 4, & 5



SOUTH ELEVATION - MAJOR 3, 4, & 5

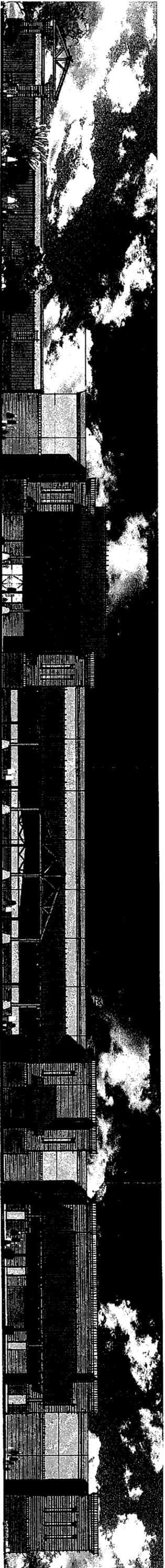


EAST ELEVATION - MAJOR 5

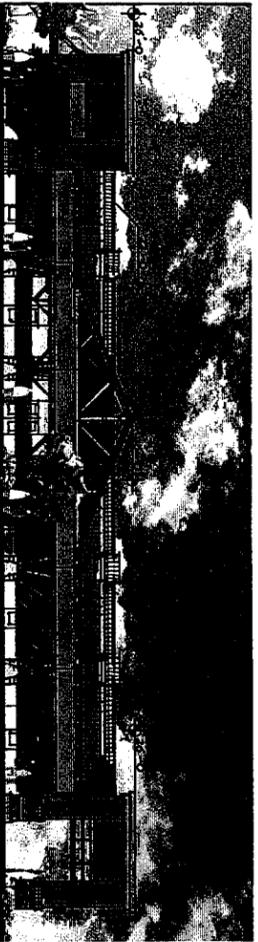


WEST ELEVATION - MAJOR 3

BUILDING CHARACTER ELEVATIONS
Lake Pleasant Pavilions



NORTH ELEVATION - MAJOR 2



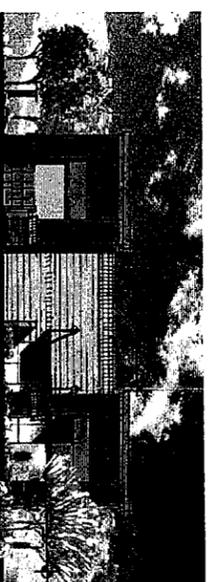
SOUTH ELEVATION - SHOPS D



NORTH ELEVATION - SHOPS D



WEST ELEVATION - SHOPS D



EAST ELEVATION - SHOPS D

BUILDING CHARACTER ELEVATIONS
Lake Pleasant Pavilions



OVERALL ELEVATION

METAL ROOF COLOR BY ATAS



#03 Medium Bronze

MASONRY BY SUPERLITE



#60.13.0-Cocoa Brown
Split-face

WOOD STAIN COLOR BY OKON



#OK661
Semi-T transparent Stain

PAINT BY FRAZEE



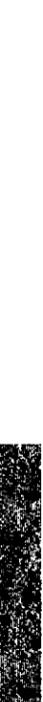
#8725A -Coach House



#8684M-Oak Flats



#8625D-Shipyard



STEEL PAINT COLOR BY FRAZEE



#8806N-Tudor House



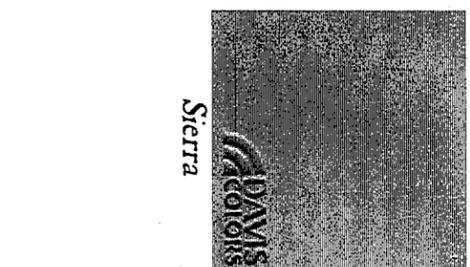
#60.12-Umber Brown
Smooth



#30.17.0-Bone
Smooth

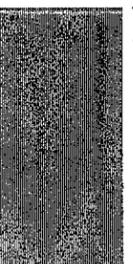


#60.16.0-Peach
Smooth



CONCRETE INTEGRAL COLOR BY DAVIS

Sierra



#8734M -Bark Mulch



#8684D-Woodlet



#8626N-Wilderness Green

#AC116N-Roasted Pepper



#8176D-Pinon Green

HARDSCAPE PAVERS BY PAVESTONE



#7836N-Copper Canyon



#8175D-Wild Grasses



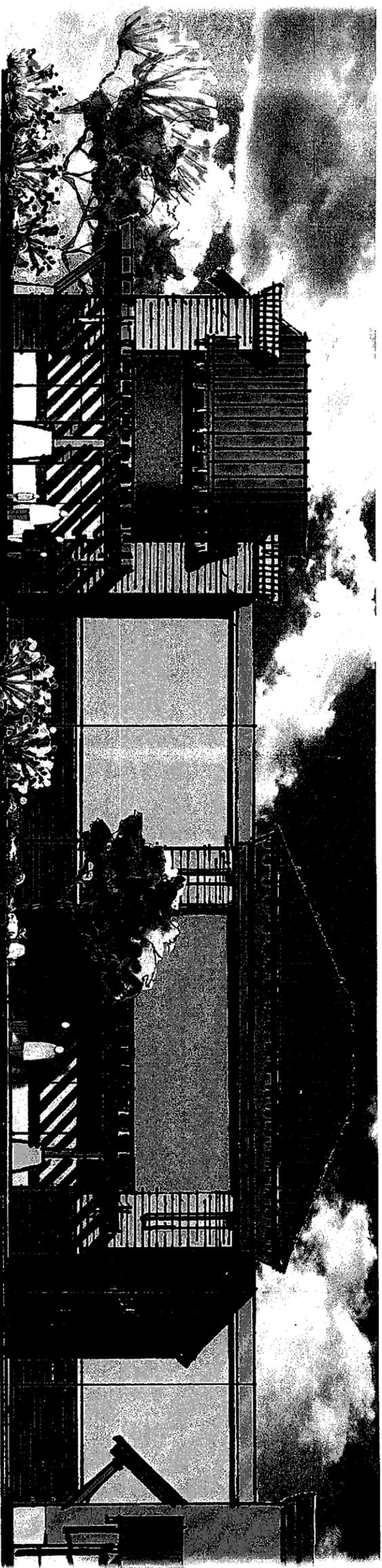
#AC113N-Spiced Rum

Holland Stone
Parkway Series



#AC114N-Robust Red

Overall Color & Materials Board
Lake Pleasant Pavilions



COLOR PALETTE #1

METAL ROOF
COLOR BY ATAS



#03 Medium Bronze

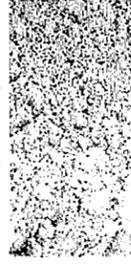
MASONRY
BY SUPERLITE



Split-face
#60.13.0-Cocoa Brown



Smooth
#60.12-Umber Brown



Smooth
#30.17.0-Bone



Smooth
#60.16.0-Peach

STEEL PAINT
COLOR BY FRAZEE



#8806N-Tudor House



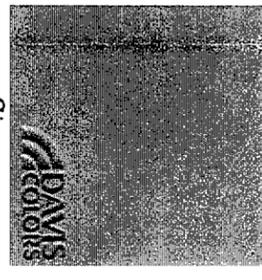
#8765D-Beaver Creek

WOOD STAIN
COLOR BY OKON



#OK661
Semi-T transparent Stain

CONCRETE
INTEGRAL COLOR BY DAVIS

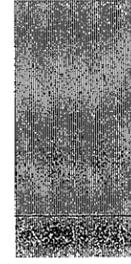


Sierra

PAINT
BY FRAZEE



#8725A -Coach House



#8734M -Bark Mulch



#AC116N-Roasted Pepper



#7836N-Copper Canyon

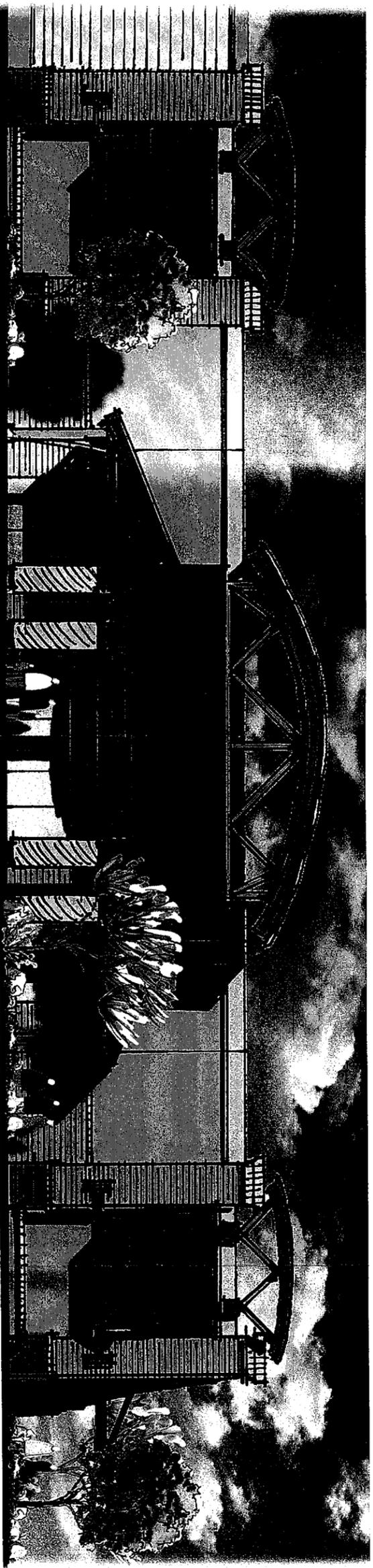
HARDSCAPE PAVERS
BY PAVESTONE



Holland Stone
Parkway Series

Materials Board- Palette 1

Lake Pleasant Pavilions



COLOR PALETTE #2

**METAL ROOF
COLOR BY ATAS**



#03 Medium Bronze

**STEEL PAINT
COLOR BY FRAZEE**



#8806N-Tudor House



#8765D-Beaver Creek

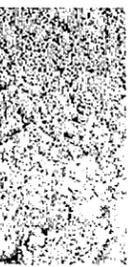
**MASONRY
BY SUPERLITE**



Split-face
#60.13.0-Cocoa Brown



Smooth
#60.12-Umber Brown



Smooth
#30.17.0-Bone



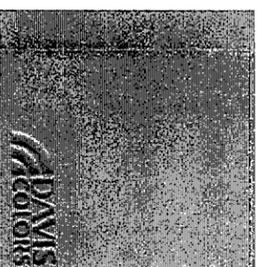
Smooth
#60.16.0-Peach

**WOOD STAIN
COLOR BY OKON**



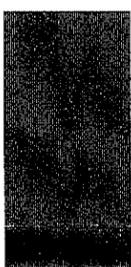
#OK661
Semi-T transparent Stain

**CONCRETE
INTEGRAL COLOR BY DAVIS**

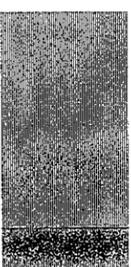


Sierra

**PAINT
BY FRAZEE**



#8725A -Coach House



#8734M -Bark Mulch



#AC113N-Spiced Rum



#AC114N-Robust Red

**HARDSCAPE PAVERS
BY PAVESTONE**



Holland Stone
Parkway Series

Materials Board- Palette 2

Lake Pleasant Pavilions



COLOR PALETTE #3

**METAL ROOF
COLOR BY ATAS**



#03 Medium Bronze

**MASONRY
BY SUPERLITE**



Split-face
#60.13.0-Cocoa Brown



Smooth
#60.12-Umber Brown



Smooth
#30.17.0-Bone



Smooth
#60.16.0-Peach

**STEEL PAINT
COLOR BY FRAZEE**



#8806N-Tudor House



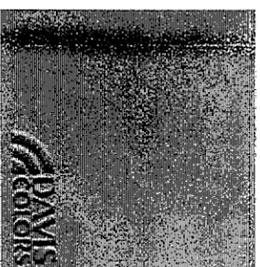
#8765D-Beaver Creek

**WOOD STAIN
COLOR BY OKON**



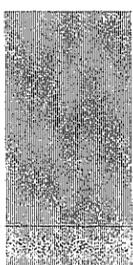
#OK661
Semi-T Transparent Stain

**CONCRETE
INTEGRAL COLOR BY DAVIS**



Sierra

**PAINT
BY FRAZEE**



#8684M-Oak Flats



#8684D-Woodlet

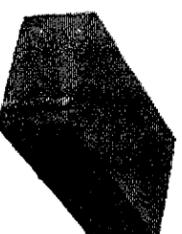


#8176D-Pinon Green



#8175D-Wild Grasses

**HARDSCAPE PAVERS
BY PAVESTONE**



Holland Stone
Parkway Series

Materials Board- Palette 3
Lake Pleasant Pavilions



COLOR PALETTE #4

METAL ROOF
COLOR BY ATAS



#03 Medium Bronze

STEEL PAINT
COLOR BY FRAZEE



#8806N-Tudor House



#8765D-Beaver Creek

MASONRY
BY SUPERLITE



Split-face
#60.13.0-Cocoa Brown



Smooth
#60.12-Umber Brown



Smooth
#30.17.0-Bone



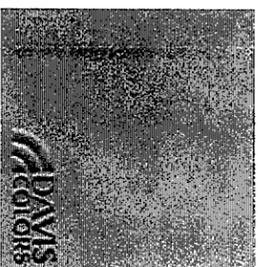
Smooth
#60.16.0-Peach

WOOD STAIN
COLOR BY OKON



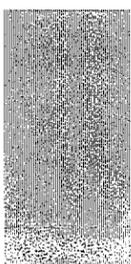
#OK661
Semi-T transparent Stain

CONCRETE
INTEGRAL COLOR BY DAVIS



Sierra

PAINT
BY FRAZEE



#8684M-Oak Flats



#8684D-Woodlet



#8635D-Shipyard



#8626N-Wilderness Green

HARDSCAPE PAVERS
BY PAVESTONE



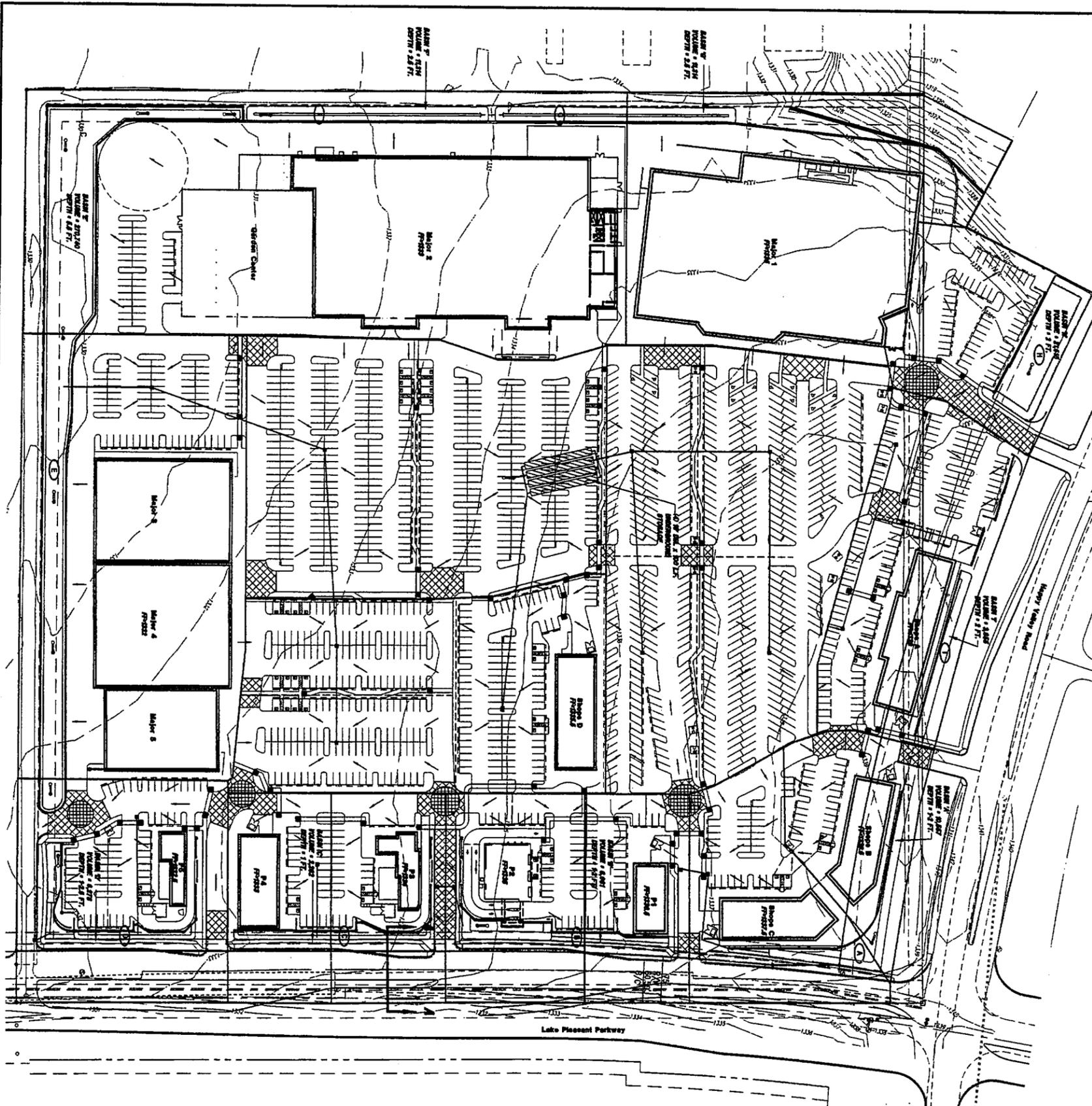
Holland Stone
Parkway Series

Materials Board- Palette 4
Lake Pleasant Pavilions

CONCEPTUAL GRADING AND DRAINAGE PLAN

LAKE PLEASANT PAVILIONS

PROTION OF THE NORTHEAST QUARTER OF SECTION 8,
TOWNSHIP 4 NORTH, RANGE 1 EAST, OF THE G.S.R.B.&M
MARICOPA COUNTY ARIZONA



OWNER
NORTHWEST SHOPPING CENTER PROPERTIES, LLC
1400 N. 16TH STREET, SUITE 285
PHOENIX, ARIZONA 85020
PHONE: (602) 397-4821
FAX: (602) 397-4821
CONTACT: GORDON KING

ARCHITECT
LVA ARCHITECTURE, INC.
1400 N. 16TH STREET, SUITE 285
PHOENIX, ARIZONA 85020
PHONE: (602) 354-8255
FAX: (602) 705-1292
CONTACT: LOUIS A. VERGHE

ENGINEER
LANDMARK ENGINEERING, INC.
1400 N. 16TH STREET, SUITE 285
PHOENIX, ARIZONA 85020
PHONE: (602) 861-2005
FAX: (602) 861-2175
CONTACT: JAMES D. LEWIS, P.E.

SITE AREA
40.01 AC.

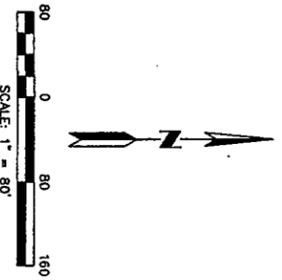
RETENTION CALCULATIONS
RETENTION REQUIRED:
V = (0) (0/102) (A)
C = (0) (0)
P = 2.7%
A = 18,892.57 = 42.17 AC.
(0.90) (2.7/102) (42.17) = 8.54 AC-FT
TOTAL = 522,000 CU
RETENTION PROVIDED:
TOTAL = 528,300 CU

NOTES

- REFER TO PRELIMINARY DRAINAGE STATEMENT PROVIDED BY LANDMARK ENGINEERING.
- PLUMBING, ROOFING, MECHANICAL, AND ELECTRICAL WORK SHALL BE PROVIDED BY NEIGHBORING CONSULTING ENGINEERS. PROJECT: LAKE PLEASANT PARKWAY PHASE 2-A.

LEGEND

- SURVEY MONUMENT
- FIRE HYDRANT
- SEWER MANHOLE
- DRAINELL
- 6" — WATER LINE - SIZE
- 8" — SEWER LINE - SIZE
- 12" — STORM DRAIN
- CATCH BASIN
- ▒ RETAINING WALL
- 0.01% — DIRECTION OF SLOPE
- 0.02% — EXISTING ELEVATIONS
- RETENTION AREA
- PUBLIC UTILITY EASEMENT
- DRAINAGE AREA BOUNDARY

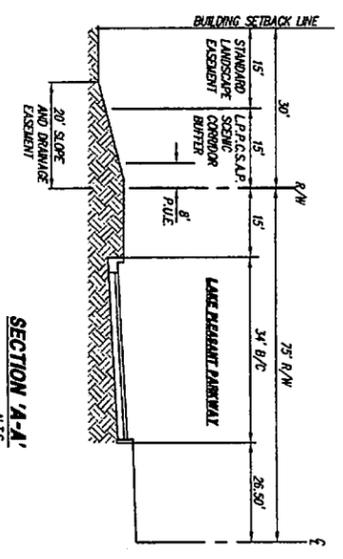


LEGAL DESCRIPTION

THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 1 EAST OF THE G.S.A. AND S.M. R.R. BASE AND MARICOPA, MARICOPA COUNTY, ARIZONA, EXCEPT THE EAST 55 FEET, AND EXCEPT COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 8, THENCE SOUTH 89 DEGREES 40 MINUTES 35 SECONDS WEST ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER A DISTANCE OF 55.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 25 SECONDS EAST ON A LINE 55.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER A DISTANCE OF 217.80 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID PARALLEL LINE A DISTANCE OF 101.65 FEET TO THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER; THENCE NORTH 89 DEGREES 38 MINUTES 19 SECONDS WEST ALONG SAID SOUTH LINE A DISTANCE OF 20.00 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 25 SECONDS WEST ON A LINE 75.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER A DISTANCE OF 705.65 FEET TO THE POINT OF BEGINNING OF A NUMBER OF THE NORTH 17 DEGREES 38 MINUTES 00 DEGREES 50 MINUTES 35 SECONDS AND A RADIOS OF 3847.97 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE AN ARC DISTANCE OF 392.50 FEET TO THE POINT OF BEGINNING, AND EXCEPT COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 8; THENCE SOUTH 89 DEGREES 40 MINUTES 35 SECONDS WEST ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER A DISTANCE OF 55.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID NORTH LINE SOUTH 89 DEGREES 40 MINUTES 35 SECONDS WEST A DISTANCE OF 34.01 FEET TO THE POINT OF A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 10 DEGREES 25 MINUTES 12 SECONDS AND WHOSE RADIOS BEARS NORTH 17 DEGREES 38 MINUTES 00 DEGREES 50 MINUTES 35 SECONDS EAST A DISTANCE OF 3850.00 FEET; THENCE EASTERLY ALONG SAID CURVE AN ARC DISTANCE OF 554.69 FEET TO A POINT ON A LINE 55.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER; THENCE NORTH 00 DEGREES 00 MINUTES 25 SECONDS WEST ALONG SAID PARALLEL LINE A DISTANCE OF 1211.11 FEET TO THE POINT OF BEGINNING.

BENCHMARK

BEST CAP IN HAND HOLE AT THE NORTHEAST CORNER OF SECTION 8, T4 N. R. 1 E. (THE INTERSECTION OF HAPPY VALLEY ROAD AND LAKE PLEASANT ROAD)
ELEVATION = 1339.366' (CITY OF PEORIA DATUM)



LANDMARK ENGINEERING INC
7310 North 16th Street
Phoenix, Arizona 85020
Suite 285
602.861.2005

CONCEPTUAL GRADING AND DRAINAGE PLAN
LAKE PLEASANT PAVILIONS
LOCATED IN NORTHEAST QUARTER OF SECTION 8,
TOWNSHIP 4 NORTH, RANGE 1 EAST OF THE G.S.R.B.&M.
MARICOPA COUNTY, ARIZONA

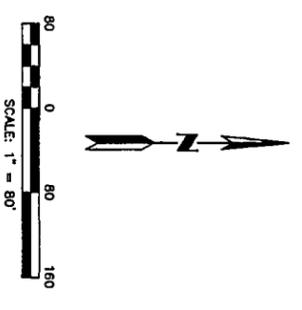
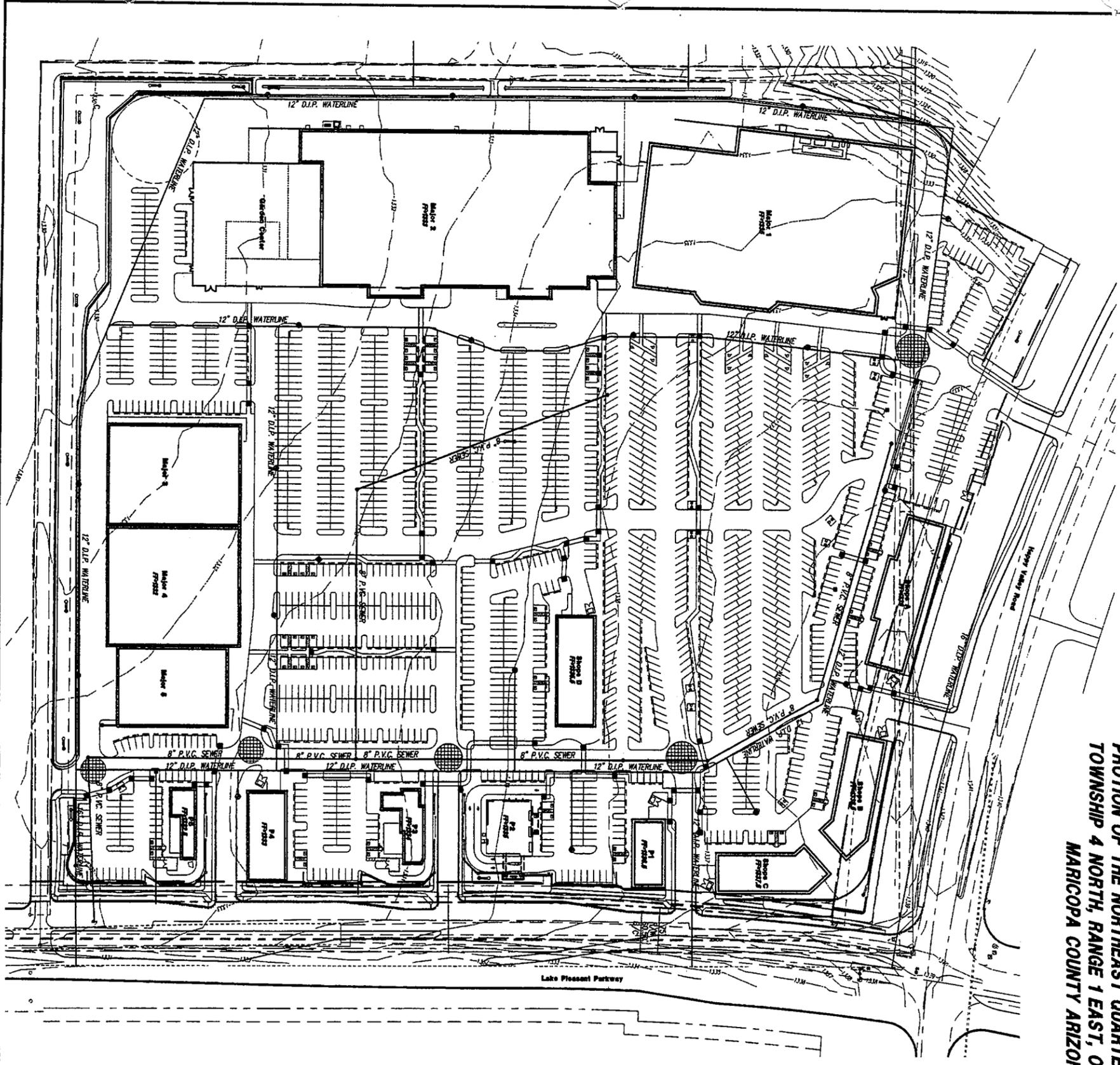


JOB NO.	03247
DESIGNED	LAK
DRAWN	LAK
CHECKED	J. LEWIS
DATE	03-29-04

Exhibit "N"
Utilities Plan

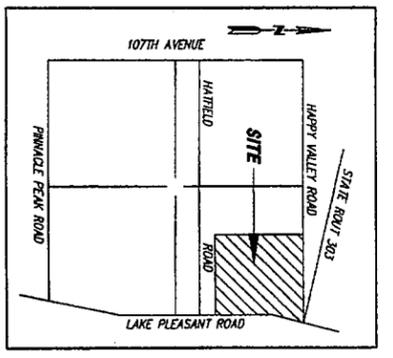
CONCEPTUAL WATER AND SEWER PLAN LAKE PLEASANT PAVILLIONS

PROTION OF THE NORTHEAST QUARTER OF SECTION 8,
TOWNSHIP 4 NORTH, RANGE 1 EAST, OF THE G.&S.R.B.&M
MARICOPA COUNTY ARIZONA



- LEGEND**
- ⊙ FIRE HYDRANT
 - ⊕ SEWER MANHOLE
 - DRYWELL
 - W WATER LINE - SIZE
 - S SEWER LINE - SIZE

NOTE
ALL WATER MAIN & SANITARY SEWER SHALL BE PUBLIC.



VICINITY MAP
SECTION 8
T. 4 N. R. 1 E. G. & S. R. B. & M.
MARICOPA COUNTY, ARIZONA

OWNER
KONWISSEY SHOPPING CENTER PROPERTIES, LLC
1500 EAST HATCHER ROAD
PHOENIX, ARIZONA 85028
PHONE: (602) 387-4821
FAX: (602) 387-4821
CONTACT: GORDON KEYS

ARCHITECT
LAVA ARCHITECTURE, INC.
3430 EAST HATCHER ROAD
PHOENIX, ARIZONA 85028
PHONE: (602) 354-8755
FAX: (602) 756-1282
CONTACT: LANS A. VERONE

ENGINEER
LANDMARK ENGINEERING, INC.
210 N. 10TH STREET, SUITE 285
PHOENIX, AZ 85009
PHONE: (602) 881-8005
CONTACT: JAMES D. LEMON, P.E.

BENCHMARK
BRASS CAP IN HAND HOLE AT ALIVE NORTHEAST CORNER OF SECTION 8,
T. 4 N. R. 1 E. (THE INTERSECTION OF HAPPY VALLEY ROAD AND LAKE
PLEASANT ROAD)
ELEVATION = 139.385' (CITY OF PEORIA DATUM)

CONCEPTUAL WATER AND SEWER PLAN LAKE PLEASANT PAVILLIONS

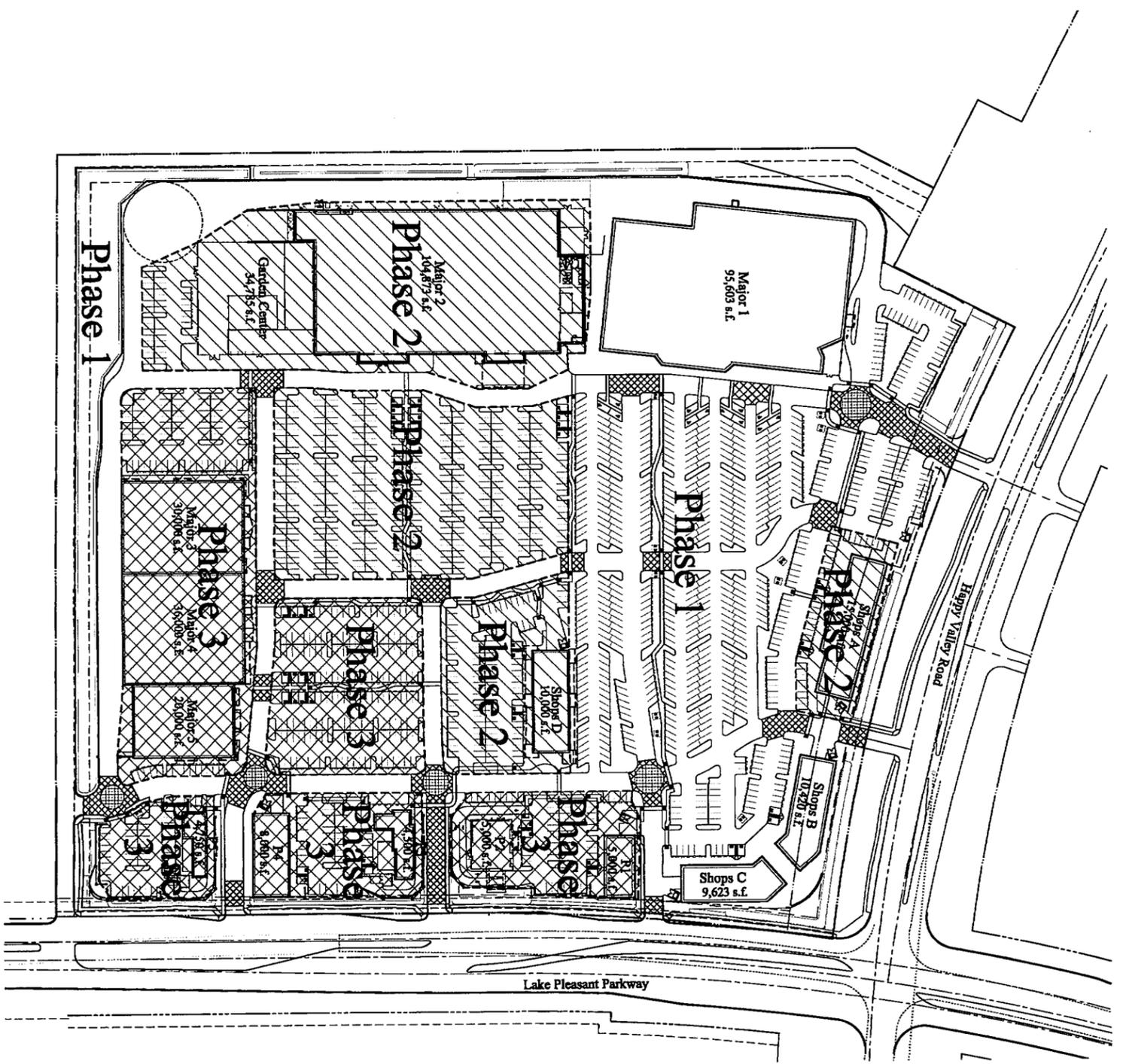
LOCATED IN NORTHEAST QUARTER OF SECTION 8,
TOWNSHIP 4 NORTH, RANGE 1 EAST OF THE G.&S.R.B.&M.
MARICOPA COUNTY, ARIZONA

LANDMARK ENGINEERING INC
7310 North 16th Street
Phoenix, Arizona 85020
Suite 285
602.861.2005



JOB NO. 03247
DESIGNED LAK
DRAWN LAK
APP'D FILE 03247/COI
CHECKED J. LEMON
DATE 03-29-04

Exhibit "O"
Phasing Plan



Phasing Site Plan
Scale: 1" = 100'
North

Lake Pleasant Pavilions

SWC Lake Pleasant Road & Happy Valley Road
Peoria, Arizona

Site Data

Net Site Area:	1,742,940 s.f. (40.01 acres)
Building Area:	350,769 s.f. 385,554 s.f. (with G.C.)
% of Coverage:	20.1% / 22.1%
Parking Required:	1/250 s.f. of flr. area (90%) 1,264 spaces (38 hc)
Parking Provided:	1,602 spaces (54 hc) 4.6 / 1,000

Phasing 01

Drawing Number:
Project No.: 00330
Date: 30 Mar 04

Exhibit "P"

Certified Approved Ordinance 04-180



City of Peoria

8401 West Monroe Street, Peoria, Arizona 85345

CERTIFICATE OF RECORDING OFFICER

STATE OF ARIZONA)
) ss.
COUNTY OF MARICOPA)

I, the undersigned, Mary Jo Kief, being the duly appointed, qualified and acting City Clerk of Peoria, Maricopa County, Arizona, do hereby certify that the attached document, Ordinance No. 04-180, passed and adopted by the Mayor and Council at the regular meeting held on June 15, 2004 is a true and correct copy of the original Ordinance No. 04-180 on file and of record.

IN TESTIMONY WHEREOF, I have hereunto set my hand and the seal of said City of Peoria this 16th day of June, 2004.





Mary Jo Kief, City Clerk

ORDINANCE NO. 04-180

AN ORDINANCE OF THE CITY OF PEORIA, MARICOPA COUNTY, ARIZONA ZONING PROPERTY FROM TRAVEL TRAILER PARK (RMH-3) ZONING DISTRICT TO PLANNED AREA DEVELOPMENT (P.A.D.) ZONING DISTRICT; AMENDING THE ZONING MAP AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Peoria Planning and Zoning Commission held a public hearing on June 3, 2004 in zoning case Z 04-06 in the manner prescribed by law for the purpose of considering an amendment to the district boundaries of property within the City of Peoria, Arizona to provide for rezoning of a parcel of property as described on Attachment A from Travel Trailer Park (RMH-3) zoning district to Planned Area Development (P.A.D.) zoning district as provided in Article 14-33 of Chapter 14 of the Peoria City Code (1977 edition);

WHEREAS, due and proper notice of such Public Hearing was given in the time, form, substance and manner provided by law including publication of such notice in the Daily News Sun on May 13, 2004; and

WHEREAS, the City of Peoria Planning and Zoning Commission has recommended to the Mayor and the Council of the City of Peoria, Arizona, the zoning of property as aforesaid and the Mayor and the Council of the City of Peoria, Arizona desires to accept such recommendation and rezone the property as described on Attachment A as aforesaid.

NOW, THEREFORE BE IT ORDAINED by the Mayor and Council of the City of Peoria, Arizona that:

SECTION 1. A parcel of land in Peoria, Maricopa County, Arizona is more accurately described in Attachment A to this Ordinance, is hereby conditionally rezoned from Travel Trailer Park (RMH-3) zoning district to Planned Area Development (P.A.D.) zoning district.

SECTION 2. That the rezoning herein provided for be conditioned and subject to the following:

ORDINANCE NO. 04-180

Page 2 of 3 Pages

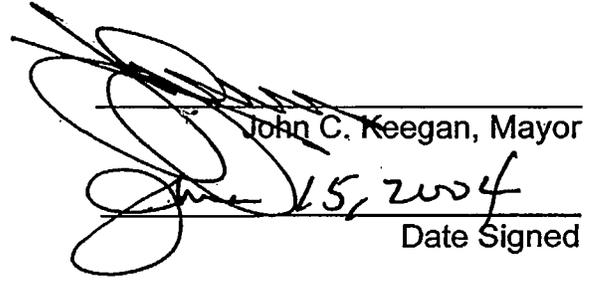
- a. The development shall conform to the approved Lake Pleasant Pavilions Standards and Guidelines Report stamp dated May 20, 2004.
- b. The development shall conform to the Lake Pleasant Parkway Specific Area Plan.
- c. The applicant shall provide an amended Standards and Guidelines Report with the deletion of the following language for signage standards on Page 9: "unless otherwise approved by the City of Peoria Planning Manager."
- d. A Preliminary Drainage Report must be submitted with the site plan. The report shall address on site and off site flows and retention requirements for the site. The off-site analysis shall include the floodplain and erosion setback for the wash north of the NWC of the site. This project shall provide 100-year, 2-hour storm water retention for the site and associated half-street ROW.
- e. A Traffic Impact Analysis (TIA) for the site shall be submitted with the site plan. The TIA shall address all proposed access locations, deceleration lanes, and signal requirements. This project shall construct all items recommended by the approved TIA. No access location will be approved until the TIA has been approved.
- f. A preliminary water and sewer plan shall be submitted with the site plan. All off-site utility requirements will be determined during the site plan review.
- g. The existing 303 alignment on Happy Valley Road has a 1' VNAE, there will be no access to Happy Valley at this time. If the 303 alignment is abandoned in the future, the developer would be eligible to buy back the vehicular non-access easement and request access on Happy Valley.
- h. This project shall dedicate 75' of ROW with an additional 20' slope and drainage easement on Lake Pleasant Parkway.
- i. This project shall tie into the proposed 16" waterline in Lake Pleasant Parkway being constructed by Melton Ranch; there will be a repayment of approximately \$110,000, actual amount will be calculated based on the construction costs.

- j. The applicant shall incorporate the neighborhood stipulations as shown on the memorandum dated June 14, 2004 into the Lake Pleasant Pavilions PAD Standards and Guidelines Report.

SECTION 3. Amendment of Zoning Map. The City of Peoria zoning map is herewith amended to reflect the change in districts referred to in Section 1 above.

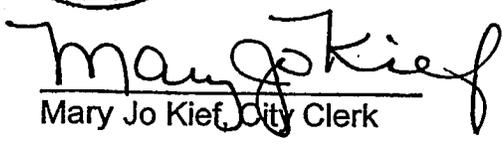
SECTION 4. Effective Date. This Ordinance shall become effective at the time and in the manner prescribed by law.

PASSED AND ADOPTED by the Mayor and Council for the City of Peoria, Arizona this 15th day of June, 2004.



John C. Keegan, Mayor
June 15, 2004
Date Signed





Mary Jo Kief, City Clerk

APPROVED AS TO FORM:



Stephen M. Kemp, City Attorney

Published in: Arizona Business Gazette Pub. Dates: June 24th & July 1st 2004
Effective Date: July 16, 2004

ATTACHMENT A
Legal Description
Lake Pleasant Pavilions, Z 04-06

LEGAL DESCRIPTION

THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 1 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THE EAST 55 FEET; AND EXCEPT COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 8;

THENCE SOUTH 89 DEGREES 48 MINUTES 35 SECONDS WEST ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER A DISTANCE OF 55.00 FEET;

THENCE SOUTH 00 DEGREES 03 MINUTES 25 SECONDS EAST ON A LINE 55.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER A DISTANCE OF 217.80 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID PARALLEL LINE A DISTANCE OF 1101.65 FEET TO THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER;

THENCE NORTH 89 DEGREES 38 MINUTES 19 SECONDS WEST ALONG SAID SOUTH LINE A DISTANCE OF 20.00 FEET;

THENCE NORTH 00 DEGREES 03 MINUTES 25 SECONDS WEST ON A LINE 75.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER A DISTANCE OF 709.69 FEET TO

ATTACHMENT A

Continued

THE POINT OF CURVATURE OF A TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 05 DEGREES 50 MINUTES 39 SECONDS AND A RADIUS OF 3847.97 FEET;

THENCE NORTHEASTERLY ALONG SAID CURVE AN ARC DISTANCE OF 392.50 FEET TO THE POINT OF BEGINNING; AND EXCEPT COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 8;

THENCE SOUTH 89 DEGREES 48 MINUTES 35 SECONDS WEST ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER A DISTANCE OF 55.00 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID NORTH LINE SOUTH 89 DEGREES 48 MINUTES 35 SECONDS WEST A DISTANCE OF 540.81 FEET TO THE POINT OF A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 10 DEGREES 25 MINUTES 12 SECONDS AND WHOSE RADIUS BEARS NORTH 17 DEGREES 38 MINUTES 54 SECONDS EAST A DISTANCE OF 3050.00 FEET;

THENCE EASTERLY ALONG SAID CURVE AN ARC DISTANCE OF 554.69 FEET TO A POINT ON A LINE 55.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER;

THENCE NORTH 00 DEGREES 03 MINUTES 25 SECONDS WEST ALONG SAID PARALLEL LINE A DISTANCE OF 121.11 FEET TO THE POINT OF BEGINNING.

BENCHMARK

BRASS CAP IN HAND HOLE AT THE NORTHEAST CORNER OF SECTION 8, T.4 N. R.1 E. (THE INTERSECTIN OF HAPPY VALLEY ROAD AND LAKE PLEASANT ROAD)

ELEVATION = 1339.366' (CITY OF PEORIA DATUM)

ATTACHMENTS "A1 and A2"

ARE ON FILE IN THE

CITY OF PEORIA

CITY CLERK'S OFFICE

June 14, 2004 Neighborhood Stipulations

1. A project screen wall west of Major 1 and Major 2 and parallel with the west property line shall be constructed as follows:
 - a. The height of the wall shall be 8 feet.
 - b. The wall shall be constructed with a combination split faced block and smooth block and shall be consistent with the colors of the shopping center.
 - c. The wall shall be undulating in accordance with the City of Peoria Zoning Ordinance.
2. The lighting on the west and south property lines shall not allow light to spill from the commercial development onto adjacent residential properties.
3. Lighting fixtures on the west and south property line shall be limited as follows:
 - a. Wall Packs – building mounted light fixtures shall be set no higher than 10 feet in height from adjacent grade.
 - b. Light poles on south and west property lines shall be restricted to 16 feet in height and no light pole shall be placed closer than 45 feet to the west and south property lines. With the exception that areas on the south property line generally considered public shall have a lighting intensity consistent with the main field of parking in the shopping center.
 - c. Lighting fixtures on the west and south property lines shall be shielded and direct light downward.
4. A minimum 25-foot landscape buffer shall be provided on the west and south property lines. The buffer area shall be landscaped as follow:
 - a. Landscaping shall be placed on the outside of the project screen wall.
 - b. One 24-inch box tree shall be provided, on average, every 15 feet with a focus on clustering around the final loading dock locations.
 - c. Low-level landscape accent lighting shall be provided in the buffer area.
5. The applicant shall notify property owners within 500 feet of the west property line when the shopping center sign package is submitted to the City.
6. Delivery trucks cannot enter or exit the shopping center after 11:00 pm or before 5:00 am.
7. Trucks in the loading dock between 11:00 pm and 5:00 am shall be allowed to unload, but the truck cannot move until 5:00 am.
8. Masonry screen walls adjacent to the loading docks shall be a minimum of 12 feet high. Walls shall be consistent with the colors and materials of the shopping center.
9. Grease interceptors for the Major 1 and Major 2 building areas shall be placed the maximum distance away from the neighborhood but west of Major 1 and Major 2.
10. Grease interceptors shall be regularly maintained and cleaned in a manner designed to not produce any unsightly appearance or unpleasant odor.
11. Buildings shall be setback from the west and south property line a minimum of 70 feet.
12. Any Retailer occupying Major 1 or Major 2 buildings, which use an external security camera, shall be required to place a camera in the rear of the building.
13. A 1-foot non-access easement, excepting emergency access, shall be recorded 21 feet east of the west property line and parallel with the west property line.
14. The vehicular access from the shopping center to east-west private access way on the south property line shall be designed to be consistent with City requirements and shall be reviewed and approved by the City Engineer during the site plan review process.

Lake Pleasant Pavilions

15. On-site signage shall be installed on east-west private access way on the south property line, west of the shopping center access indicating "Local Access Only" and "Residential Neighborhood" where appropriate to discourage non-local traffic from entering the Westwind area neighborhood.
16. Developer shall improve the private access ways on the south and west property lines as follows:
 - a. The east-west private access way on the south property line shall be improved from Lake Pleasant Road to the north-south private access way on the west property line.
 - b. The north-south private access way on the west property line shall be improved from the east-west private access way on the south property line to the north property line of Lake Pleasant Pavilions.
 - c. The cross-section for the improved private access ways shall be a 12-inch ribbon curb, 20 feet of pavement, 12-inch ribbon curb.

EXHIBIT Q

Comprehensive Sign Program

1. **Freestanding Monument Signs.** Signs identified as ‘Developer’, ‘Center’ and ‘Pad Fuel Signs’ are included in this category. Entrance Signs as identified herein are addressed separately and do not count toward the allowance for freestanding monument signs.

- a. Number of Signs Permitted. A total of six (6) freestanding monument signs are permitted as shown in the Site Plan Signage Exhibit.

Permitted Freestanding Monument Signs

	Happy Valley	Lake Pleasant Parkway
Developer Signs	1	2
Center Signs	1	1
Fuel Pad Sign	0	1

- b. Development Standards

	Developer Signs	Center Signs	Fuel Pad Signs
Maximum Area (sf)	45 sf	75 sf	20 sf
Maximum Height	12'	16'	7'-5"
Setback	1 foot	1 foot	1 foot
Price Maximum Height	N/A	N/A	3 feet
Price Maximum Area	N/A	N/A	12 sf

- c. All such signs shall have monument-type bases of masonry construction. A comparable alternate basic material may be used upon approval by the City;
- d. All such signs shall require a landscape area equal to four (4) square feet for each square foot of sign area. This landscape area shall be located around the base of the sign.
- e. Such signs shall only identify the name of the business, the center/complex, or place for which the sign is intended. Such signs shall not include any advertising copy.
- f. Such signs shall be located a minimum of sixty (60) linear feet from any other freestanding monument sign.
- g. Sign permit required.
2. **Entrance Signs.** A sign consisting of individual letters on a wall which is detached from, but architecturally integrated with the site.
- a. A maximum of two (2) entrance signs be permitted in the general locations as identified on the Site Plan Signage Exhibit.
- b. Such signs shall not exceed 6.25 feet in height.

- c. Such signs shall not exceed 112.5 square feet in area and must not cover more than fifty percent (50%) of the wall surface;
- d. Such signs shall be located a minimum of five feet (5') from the street property line.
- e. Such signs shall consist of only the name of the development.
- f. All such signs shall require a landscaped area equal to four (4) square feet for each square foot of sign area. This landscaped area shall be located around the base of the sign;
- g. Sign permit required.

3. **Building-Mounted Wall Sign.** A permanent sign attached to, painted on, or erected against the wall or fascia of a building with the exposed face of the sign in a plane parallel to the face of the wall or fascia.

- a. For users occupying less than five thousand (5,000) square feet of floor area, the total sign area for one such business shall be the maximum of 1.87 square feet for each one (1) linear foot of business front footage up to a maximum of one hundred twenty (120) square feet. The overall spread of letters shall not exceed 80% of the business front footage. The maximum total letter height shall be no greater than thirty-six inches (36") for one or two lines of copy. A four-inch space must be maintained between rows of copy and at the top and bottom of the sign. The minimum height for letters will be ten inches (10").
- b. For users occupying less than twenty thousand (20,000) square feet of floor area, the total sign area for one such business shall be the maximum of 1.87 square feet for each one (1) linear foot of business front footage up to a maximum of one hundred fifty (150) square feet. The overall spread of letters shall not exceed 80% of the business front footage. The maximum total letter height shall be no greater than forty-eight inches (48") for one or two lines of copy. An eight-inch space must be maintained between rows of copy and at the top and bottom of the sign.
- c. For users occupying more than twenty thousand (20,000) square feet of floor area and less than 50,000 square feet of floor area, the total sign area for one such business shall be the maximum of 1.87 square feet for each one (1) linear foot of business front footage up to a maximum of three hundred twelve and one-half (312.5) square feet. The overall spread of letters shall not exceed 80% of the business front footage. The maximum total letter height shall be no greater than sixty inches (60") for one line or one hundred and twenty four inches (124") for two lines of copy. A twelve-inch space must be maintained between rows of copy and at the top and bottom of the sign. The minimum height for letters will be twelve inches (12").
- d. For users occupying more than fifty thousand (50,000) square feet of floor area, the total sign area for one such business shall be the maximum of 1.87 square feet for each one (1) linear foot of business front footage up to a maximum of five hundred (500) square feet. The overall spread of letters shall not exceed 80% of the business front footage. The maximum total letter height shall be no greater than sixty inches (60") for one line or one-hundred twenty-four inches (124") for two lines of copy. A

twelve-inch space must be maintained between rows of copy and at the top and bottom of the sign. The minimum height for letters will be twelve inches (12”).

- e. For Major 1, the total sign area for one such business shall be the maximum of 1.87 square feet for each one (1) linear foot of business front footage up to a maximum of five hundred (500) square feet. The overall spread of letters shall not exceed 80% of the business front footage. The maximum total letter height shall be no greater than one hundred forty-four inches (144”) for one or two lines of copy.
- f. Such signs may identify the individual business only by name, logo, or by name and principal service where the name does not identify the principle services offered.
- g. Advertising copy shall be permitted only to describe the general nature of the business. In no case shall there be more than six (6) words, symbols or characters used as advertising copy as described in Section 14-34-7 Definitions (Peoria Zoning Ordinance).
- h. Such signs shall not project more than fourteen (14) inches from a wall or fascia.
- i. Such signs may be illuminated only by internal or externally indirect lighting;
- j. Sign permit required.

4. **Under Canopy Projected Signs.**

- a. Such signs shall not exceed three (3) square feet in area and shall maintain a minimum of eight feet six-inches (8'-6”) clearance from the sidewalk to the bottom of the sign.
- b. Such signs shall not include any advertising copy.
- c. No sign permit required.

5. **Prohibited Signs.** Signs that are not specifically authorized are expressly prohibited. Prohibited signs include, but are not limited to the following:

- a. Cloth signs or streamers hanging in front of the business.
- b. Letter mounted or painted on illuminated panels or signs and letters painted directly on any surface.
- c. All roof-mounted signs.
- d. Exposed neon tubing.
- e. Iridescent painted signs, animated or moving components, intermittent or flashing signs.
- f. All other prohibited signs pursuant to Section 14-34-8.B of the Peoria Zoning Ordinance.



1825 S. Black Canyon Highway
Phoenix, Arizona 85009
602-242-4488
602-271-0433 Fax

PROJECT
LAKE PLEASANT PAVILION
SVC LAKE PLEASANT PARKWAY
& HAPPY VALLEY ROAD
PEORIA, AZ

PREPARED FOR
KORNWASSER SHOPPING CENTER
PROPERTIES, LLC
SALES ASSOCIATE
CHUMITA

Site Plan Development Request

Elevations & Plan View

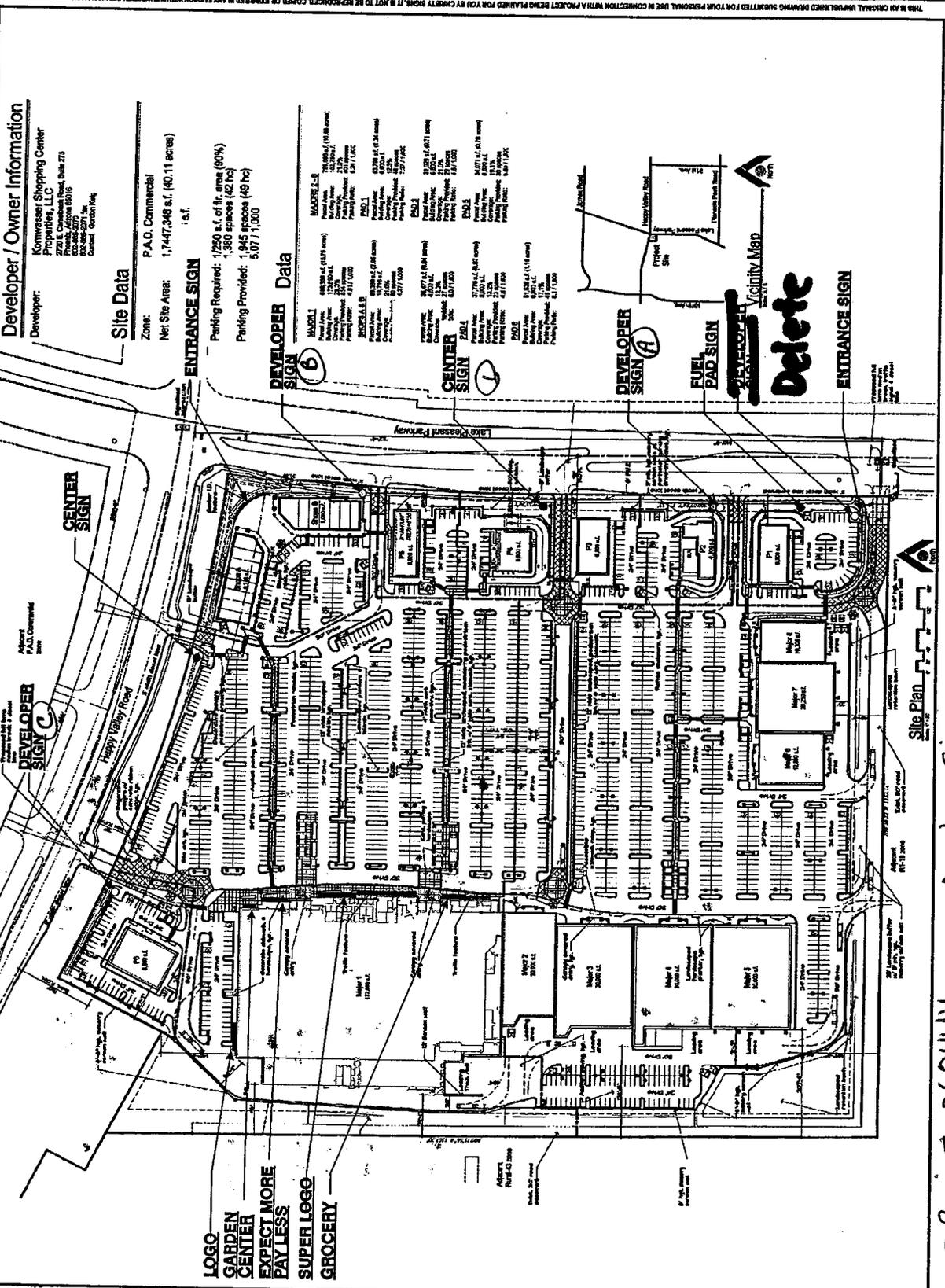
Project: Lake Pleasant Pavilions 2105
Date: 02-01-05
Scale: Noted
Drawn By: J.L.W.
Approved By: Chumita

No.	Description	Date
01	Development	02-15-05
02	Development	04-07-05
03	Development	04-13-05
04	Copy	05-25-05
05	Pad Signs	05-31-05

Approvals

Contractor Signature _____
Client Signature _____
Sales Signature _____

COMPUTER PRINTED COLOR GRAPHS MAY BE FROM ACTUAL COLOR SELECTIONS. COLOR GRAPHS AND/OR PHOTO ILLUSTRATIONS ARE DESIGNER CONCEPTS ONLY AND MAY NOT REPRESENT ACTUAL INSTALLATION.



Permit 0604116
Developer Signo
A-0701402
B-
C-0701135



1825 S. Black Canyon Highway
 Phoenix, Arizona 85009
 602-242-4488
 602-271-0433 fax

PROJECT
LAKE PLEASANT PAVILION
 5WC LAKE PLEASANT PARKWAY
 & HAPPY VALLEY ROAD
 PEORIA, AZ

PREPARED FOR
 KORNWASSER SHOPPING CENTER
 PROPERTIES, LLC
 SALES ASSOCIATE
 CRUMITA

**Center Sign
 Development Request
 Elevations
 & Plan View**

Project: Lake Pleasant Pavilions 2/05
 Date: 02-21-05
 Scale: Noted
 Drawn By: J.L.W.
 Approved By: Chumilla

Revisions

No.	Description	Date
01	Development	04-13-05
02	Development	05-25-05

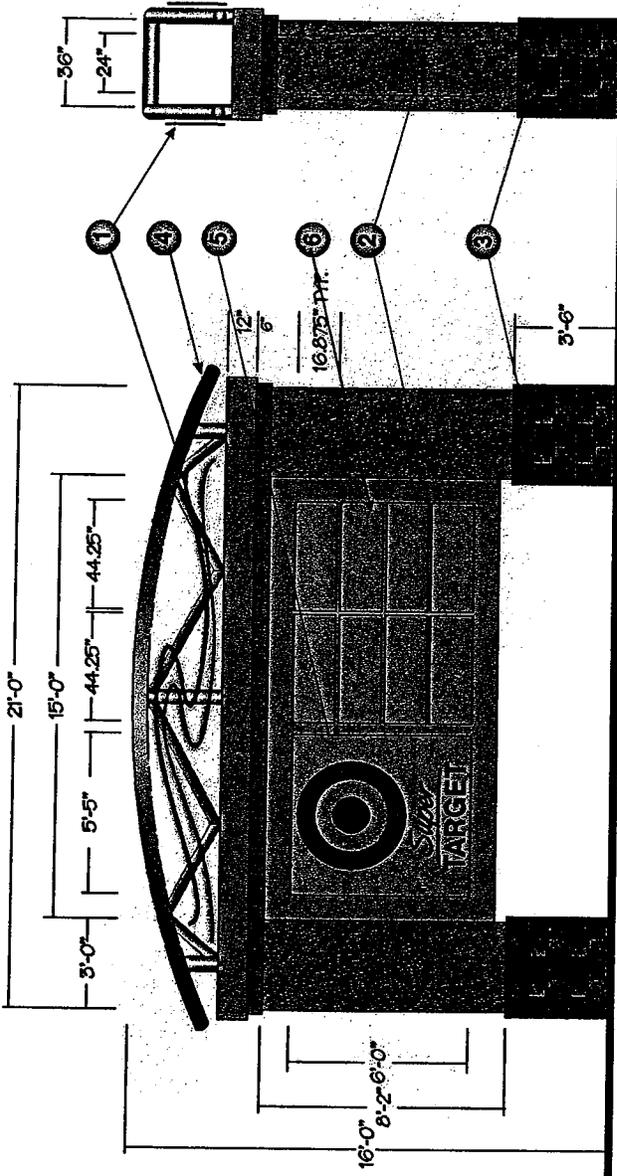
Approvals

Landlord Signature _____
 Client Signature _____
 Sales Signature _____

CONSUMER PRINTED COLOR GRAPHICS MAY VARY FROM ACTUAL COLOR SELECTIONS. COLOR GRAPHICS AND/OR PHOTO ILLUSTRATIONS ARE DESIGNER CONCEPTS ONLY AND MAY NOT REPRESENT ACTUAL INSTALLATION.

Exhibit D

THIS IS AN ORIGINAL UNPUBLISHED DRAWING. REPRODUCTION OR TRANSMISSION OF THIS DRAWING IN ANY MANNER WITHOUT WRITTEN PERMISSION BY CHRISTY SIGNS IS PROHIBITED.



- SPLIT FACE
6013 COCOA BROWN
- SMOOTH
6012 UMBER BROWN
- 6684M OAK FLATS
- SIERRA
- 6684D WOODLET
- 8806N TUDOR HOUSE

D-1 - CENTER SIGN **QTY. 2** **73.98 SF**
 1/4" = 1'-0"

- (1) ENCLOSED LED TUBE ACCENTS.
- (2) PAINTED TO MATCH 6012 UMBER BROWN - LIGHT MONTEK.
- (3) SPLIT FACE BLOCK TO MATCH BASE WALL.
- (4) 6" TUBING PAINTED TO MATCH STEEL ACCENTS.
- (5) MAJOR TENANT NAME - REVERSE PAN CHANNEL LETTER - HALO-LIT
- (6) TENANT PANELS - 2" DEEP PANS WITH 1/2" PUSH THRU PLEX.



1825 S. Black Canyon Highway
Phoenix, Arizona 85009
602-242-4488
602-271-0433 Fax

PROJECT
LAKE PLEASANT PAVILION
SWC LAKE PLEASANT PARKWAY
& HAPPY VALLEY ROAD
PEORIA, AZ

PREPARED FOR
KORNWASSER SHOPPING CENTER
PROPERTIES, LLC

SALES ASSOCIATE
CHUMITA

**Developer Sign
Development
Request**

**Elevations
& Plan View**

Project: Lake Pleasant Pavilions 2/05
Date: 02-01-05
Scale: Noted
Drawn By: J.L.W.
Approved By: Chumita

Revisions	
No.	Date
01	Development 05-25-05

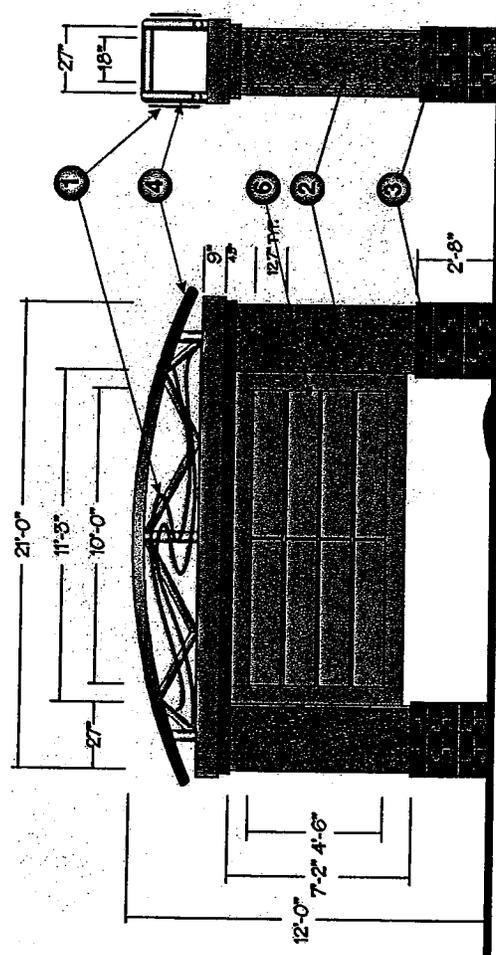
Approvals

Landlord Signature _____
Client Signature _____
Sales Signature _____

COMPUTER PRINTED COLOR GRAPHICS MAY VARY FROM ACTUAL COLOR SELECTIONS. COLOR GRAPHICS AND/OR PHOTO ILLUSTRATIONS ARE DESIGNER CONCEPTS ONLY AND MAY NOT REPRESENT ACTUAL INSTALLATION.

Exhibit E

THIS IS AN ORIGINAL UNPUBLISHED DRAWING SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY CHRIBTY SIGNS. IT IS NOT TO BE REPRODUCED, COPIED OR EXHIBITED IN ANY MANNER WITHOUT WRITTEN PERMISSION BY CHRIBTY SIGNS.

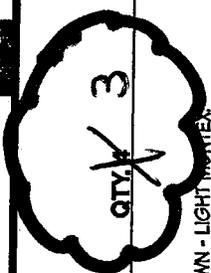


- SPLIT FACE
- 6013 COCOA BROWN
- SMOOTH
- 6012 UMBER BROWN
- 6684M OAK FLATS
- SIERRA
- 6684D WOODLET
- 8806N TUDOR HOUSE

E-1 - DEVELOPER SIGN
1/4" = 1'-0"

QTY. 3

- (1) ENCLOSED LED TUBE ACCENTS.
- (2) PAINTED TO MATCH 6012 UMBER BROWN - LIGHT MOUNTAIN.
- (3) SPLIT FACE BLOCK TO MATCH BASE WALL.
- (4) 6" TUBING PAINTED TO MATCH STEEL ACCENTS.
- (5) TENANT PANELS - 1 1/2" DEEP PANELS WITH 1/4" PUSH THRU FLEX.



45.0 SF



1825 S. Bleek Canyon Highway
 Phoenix, Arizona 85009
 602-242-4488
 602-271-0433 Fax

PROJECT
 LAKE PLEASANT PAVILION
 SWC LAKE PLEASANT PARKWAY
 & HAPPY VALLEY ROAD
 PEORIA, AZ

PREPARED FOR
 KORWASSER SHOPPING CENTER
 PROPERTIES, LLC

SALES ASSOCIATE
 CHUMITA

**Pad - Fuel Sign
 Development
 Request**

**Elevations
 & Plan View**

Project: Lake Pleasant Pavilions 2105
Date: 02-01-05
Scale: Noted
Drawn By: J.L.W.
Approved By: Chumita

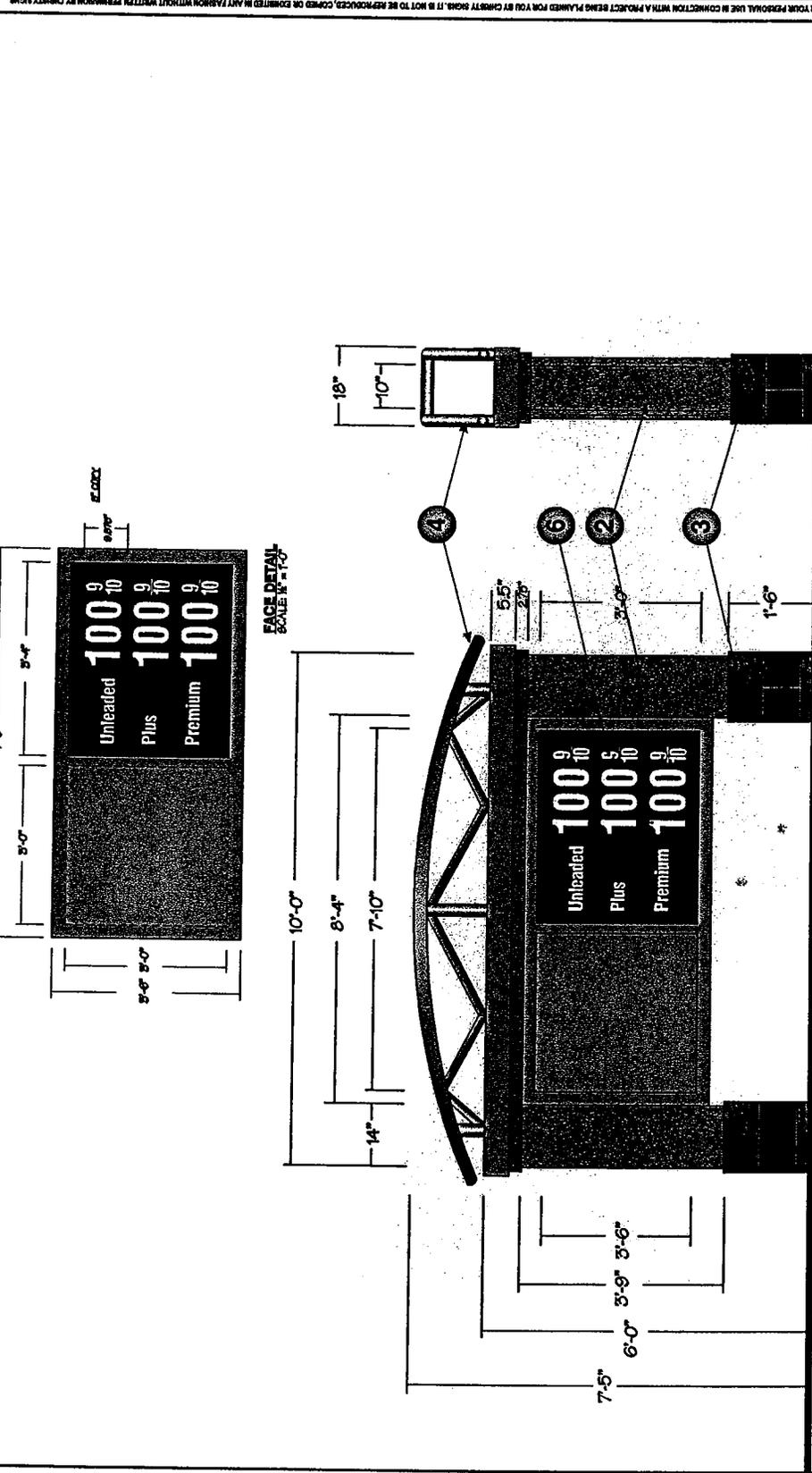
Revisions	
No.	Description
01	Development

Approvals

Landlord Signature _____
 Client Signature _____
 Sales Signature _____

COMPUTER PRINTED COLOR GRAPHICS MAY VARY FROM ACTUAL COLOR SELECTIONS. COLOR GRAPHICS AND/OR PHOTO ILLUSTRATIONS ARE DESIGNED CONCEPTS ONLY AND MAY NOT REPRESENT ACTUAL INSTALLATION.

Exhibit F-1



- SPLIT FACE
- 60-18 COCOA BROWN
- SMOOTH
- 60-12 UMBER BROWN
- 868-4M OAK FLATS
- SIERRA
- 868-4D WOODLET
- 8806N TUDOR HOUSE

F-PAD FUEL SIGN QTY. 1
 SCALE: 1/8" = 1'-0" 20.0 SE

- (2) PAINTED TO MATCH 6012 UMBER BROWN - LIGHT MONTEX.
- (3) SPLIT FACE BLOCK TO MATCH BASE WALL.
- (4) 2.5" TUBING PAINTED TO MATCH STEEL ACCENTS.
- (6) FUEL PRICE PANEL - BACK UP PLEX/W/ST SURFACE TRANSLUCENT VINYL ZIP TRACK CHANGEABLE COPY.
- 1" DEEP PAN TENANT PANEL ROUTED OUT W/1/2" PUSH THRU PLEX.

THIS IS AN ORIGINAL UNPUBLISHED DRAWING SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY CHRISTY SIGNS. IT IS NOT TO BE REPRODUCED, COPIED OR EXHIBITED IN ANY MANNER WITHOUT WRITTEN PERMISSION BY CHRISTY SIGNS.

G - TENANT DIRECTORY (UNDER CANOPY SIGN)

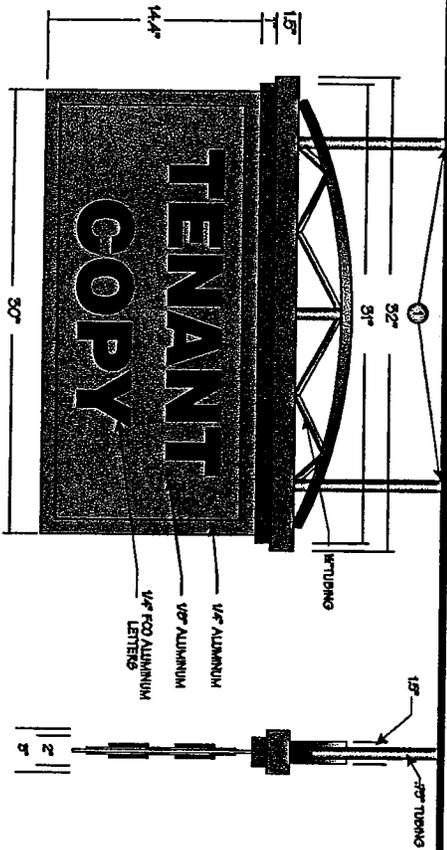
SCALE: 1/4" = 1'-0"

(1) STANDARD AIRCRAFT CABLE INSTALLATION

QUANTITY (1) PER TENANT
(CORNER SUITES MAY HAVE (1) PER
BUILDING ELEVATION

3.0 SF

- 8884M OAK FLATS
- SIERRA
- 8884P WOODLET
- 8806N TUDOR HOUSE



THIS IS AN ORIGINAL UNPUBLISHED DRAWING SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY CHRISTY SIGNS. IT IS NOT TO BE REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION WITHOUT WRITTEN PERMISSION BY CHRISTY SIGNS.



1825 S. Black Canyon Highway
Phoenix, Arizona 85009
602-271-4188 Fax
602-271-4183 Tel

PROJECT
LAKE PLEASANT PAVILION
5142 LAKE PLEASANT PARKWAY
& HAPPY VALLEY ROAD
PEORIA, AZ

PREPARED FOR
KONNEMASSER SHOPPING CENTER
PROPERTIES, LLC
SALES ASSOCIATE
CHUMBA

**Tenant Directory
(Under Canopy Sign)
Development
Request**

**Elevations
& Plan View**

Project: Lake Pleasant Pavillion 2/05
Date: 02-21-05
Scale: 1/4" = 1'-0"
Drawn By: J.L.W.
Approved By: Chumba

Revisions		
No.	Description	Date
01	Development	05-25-05

Approvals

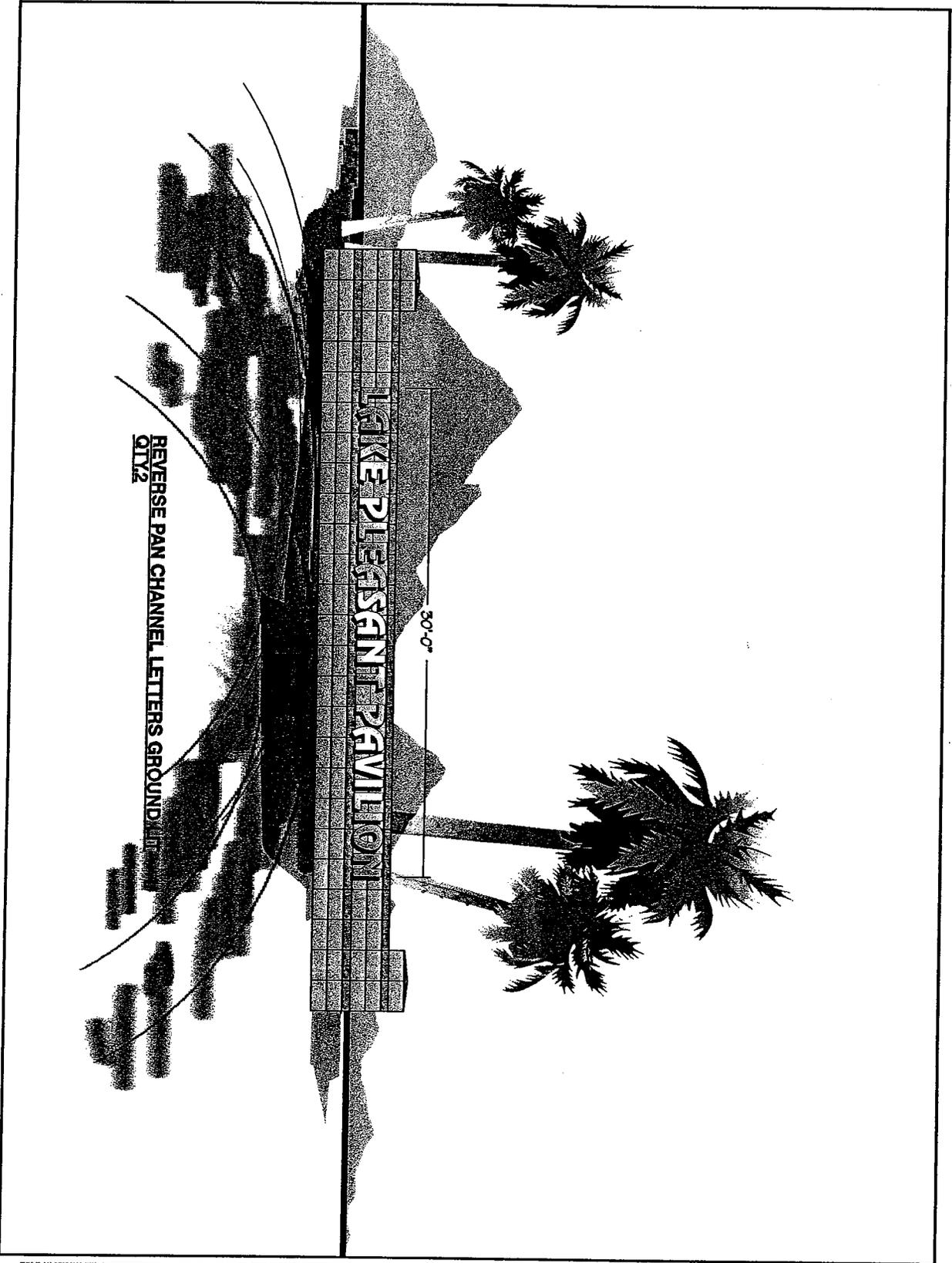
Landlord Signature

Client Signature

Sales Signature

OWNER PRINTED COLOR DRAWINGS VIEW FROM ACTUAL
INSTALLATION. ALL DIMENSIONS AND MATERIALS
SHOWN ARE APPROXIMATE. DIMENSIONS AND MATERIALS
NOT REPRESENT ACTUAL INSTALLATION.

Exhibit G



REVERSE PAN CHANNEL LETTERS GROUND MOUNT
CITY2

THIS IS AN ORIGINAL UNPUBLISHED DRAWING SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY CHRISTY SIGNS. IT IS NOT TO BE REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION WITHOUT WRITTEN PERMISSION BY CHRISTY SIGNS.



1825 S. Black Canyon Highway
 Phoenix, Arizona 85009
 480-271-4488
 602-271-4483 fax

PROJECT
 LAKE PLESASANT PAVILION
 5100 LAKE PLESASANT PARKWAY
 & HAPPY VALLEY ROAD
 PEORIA, AZ

PREPARED FOR
 KORNWASSER SHOPPING CENTER
 PROPERTIES, LLC
 SALES ASSOCIATE
 CHUMITA

Entrance Sign
 Development
 Request

Elevations
 & Plan View

Project: Lake Plesasant Pavilion 2/10/05
 Date: 02/20/05
 Scale: Noted
 Drawn By: J.L.W.
 Approved By: Chumita

Revisions

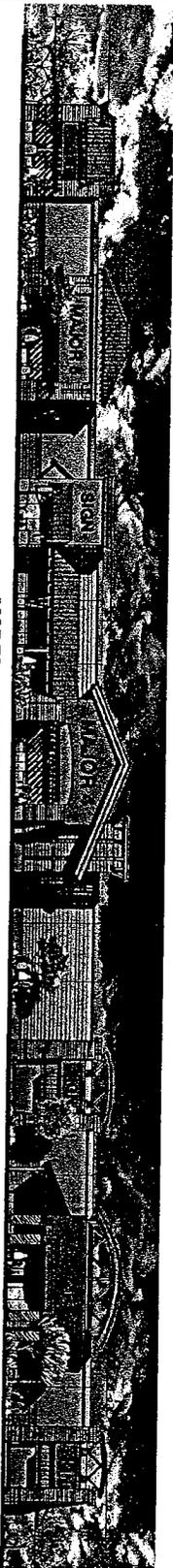
No.	Description	Date
01	Development	04-13-05
02	Development	05-25-05

Approvals

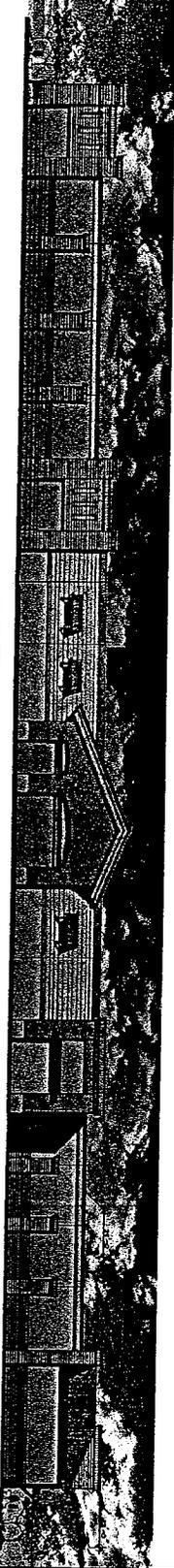
Landlord Signature _____
 Client Signature _____
 Sales Signature _____

OWNER/CLIENT TO SIGN DRAWINGS WITH FROM ACTUAL
 MEASUREMENTS AND SPECIFICATIONS. CONTRACTOR TO
 VERIFY ALL DIMENSIONS AND SPECIFICATIONS. CONTRACTOR TO
 NOT REPRODUCE ACTUAL INSTALLATION.

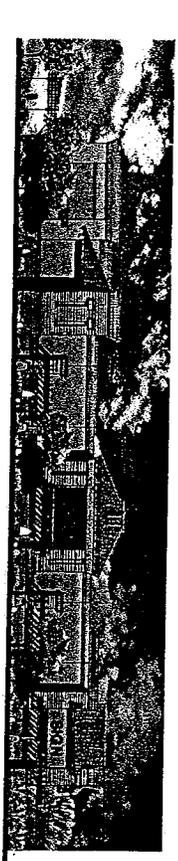
Exhibit H



NORTH ELEVATION - MAJOR 3, 4, & 5



SOUTH ELEVATION - MAJOR 3, 4, & 5



EAST ELEVATION - MAJOR 5



WEST ELEVATION - MAJOR 3

THIS IS AN ORIGINAL UNPUBLISHED DRAWING SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY CHRISTY SIGNS. IT IS NOT TO BE REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION WITHOUT WRITTEN PERMISSION BY CHRISTY SIGNS.



1925 S. Black Canyon Highway
 Peoria, Arizona 85009
 602-271-4488
 602-271-0183 fax

PROJECT
 LAKE PLEASANT PAVILIONS
 SMC LAKE PLEASANT PARKWAY
 & HAPPY VALLEY ROAD
 PEORIA, AZ

PREPARED FOR
 KORNWASSER SHOPPING CENTER
 PROPERTIES, LLC
 SALES ASSOCIATE
 CHUNITHA

Major 3,4,5
 Elevations

Elevations
 & Plan View

Project: Lake Pleasant Pavilions 2/105
 Date: 02-07-05
 Scale: 1/8" = 1'-0"
 Drawn By: J.L.W.
 Approved By: Chunitha

Revisions

No.	Description	Date
01	Development	00-00-00

Approvals

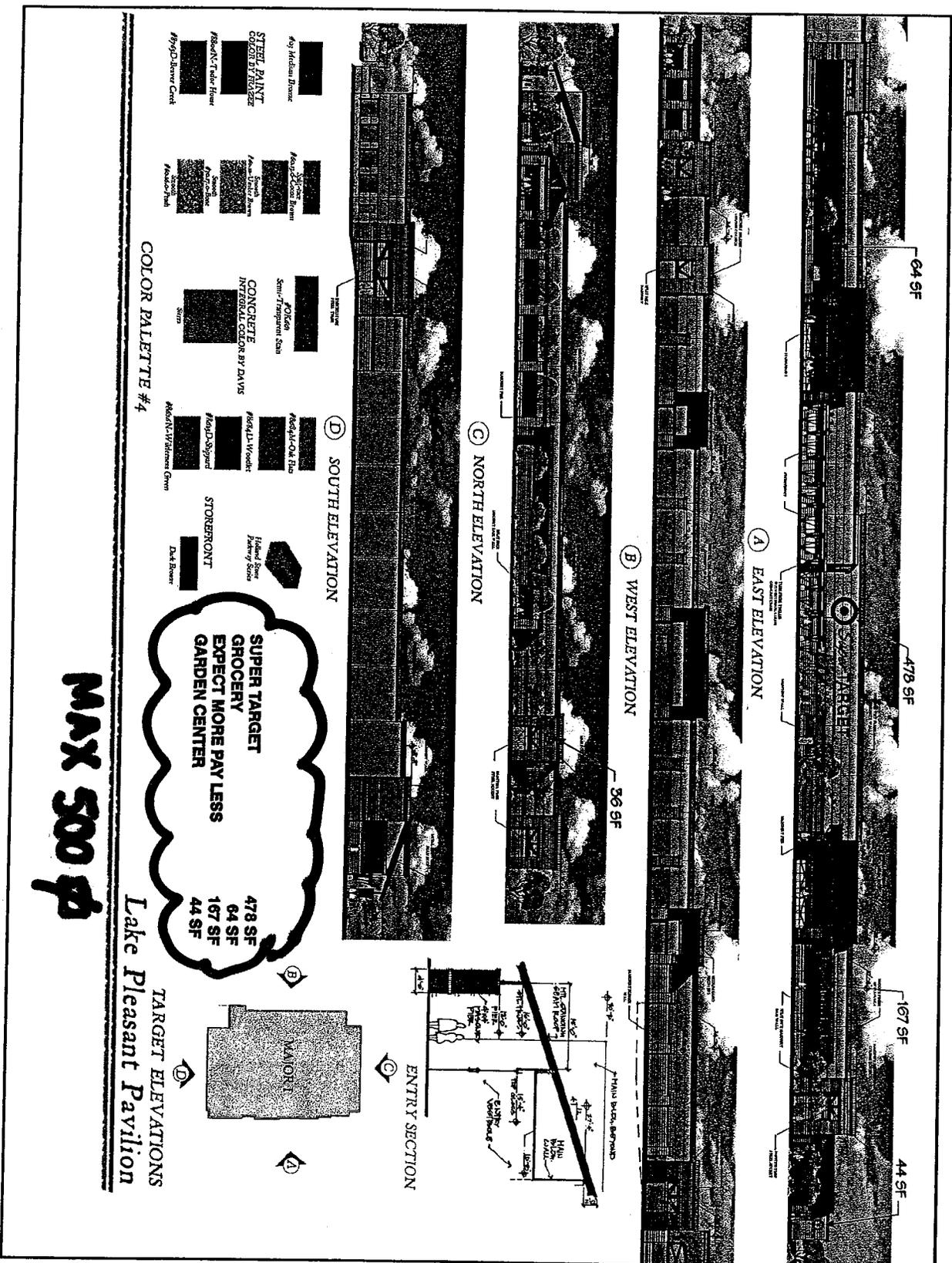
 Landlord Signature

 Client Signature

 Sales Signature

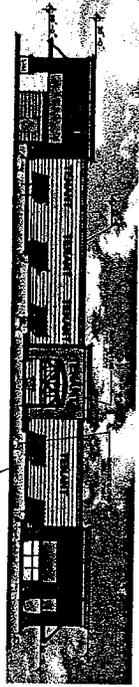
COMPUTER GENERATED DRAWINGS MAY VARY FROM ORIGINAL DRAWINGS. ALL DIMENSIONS AND LOCATIONS ARE PER DESIGNER'S ONLY AND MAY NOT REPRESENT ACTUAL INSTALLATION.

Exhibition A



THIS IS AN ORIGINAL UNPUBLISHED DRAWING SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY CHRISTY SIGNS. IT IS NOT TO BE REPRODUCED, COPIED OR EXHIBIT IN ANY FASHION WITHOUT WRITTEN PERMISSION BY CHRISTY SIGNS.

<p>CHRISTY SIGNS</p> <p>1825 S. Black Canyon Highway Phoenix, Arizona 85009 480-271-4939 480-271-4938 fax</p>										
<p>PROJECT LAKE PLEASANT PAVILIONS SMC LAKE PLEASANT PARKWAY & HAPPY VALLEY ROAD PEORIA, AZ</p>										
<p>PREPARED FOR KORNWASSER SHOPPING CENTER PROPERTIES, LLC SALES ASSOCIATE CHUMITA</p>										
<p>Major 1 Elevations Development Request</p>										
<p>Elevations & Plan View</p>										
Project:	Lake Pleasant Pavilions/2105									
Date:	02-07-05									
Scale:	Noted									
Drawn By:	J.L.W.									
Approved By:	Chumita									
<p>Revisions</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>Development</td> <td>04-13-05</td> </tr> <tr> <td>02</td> <td>Development (enlarge)</td> <td>05-25-05</td> </tr> </tbody> </table>		No.	Description	Date	01	Development	04-13-05	02	Development (enlarge)	05-25-05
No.	Description	Date								
01	Development	04-13-05								
02	Development (enlarge)	05-25-05								
<p>Approvals</p> <p>_____ Landlord Signature</p> <p>_____ Client Signature</p> <p>_____ Sales Signature</p>										
<p>EXHIBIT B</p>										



(A2) REAR - NORTH SHOPS 'A'



(B2) REAR - EAST SHOPS 'B'



(A1) SOUTH - SHOPS 'A'
(B1) WEST FOR SHOPS 'B' (SIMILAR)



(A3) PATIO END - EAST SHOPS 'A'
(B3) NORTH FOR SHOPS 'B' (SIMILAR)



(A4) ENTRY DRIVE END - WEST SHOPS 'A'
(B4) SOUTH FOR SHOPS 'B' (SIMILAR)

METAL ROOF
COLOR BY DAVIS
#09-Medium Bronze

MASONRY
BY INVESTITE
#04-3/8" Concrete Block
#04-1/2" Concrete Block
#04-3/4" Concrete Block
#04-1" Concrete Block
#04-1 1/4" Concrete Block
#04-1 1/2" Concrete Block
#04-1 3/4" Concrete Block
#04-2" Concrete Block

WOOD STAIN
COLOR BY DAVIS
#08-Red
Same - Transparent Stain
#08-Black
#08-White
#08-Gray
#08-Blue
#08-Green
#08-Yellow
#08-Orange
#08-Purple
#08-Pink
#08-Brown
#08-Tan
#08-Black

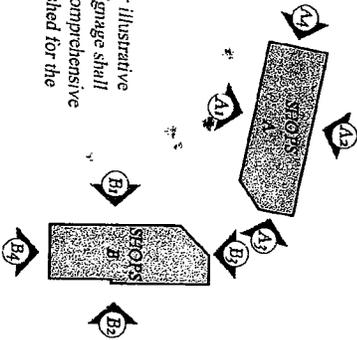
PAINT
BY FALZEE
#06-M-Chalk Blue
#06-LD-Woodie
#06-QD-Spice
#06-N-Whisper Green

HARDSCAPE PAVERS
BY INVESTITE
#04-3/8" Concrete Block
#04-1/2" Concrete Block
#04-3/4" Concrete Block
#04-1" Concrete Block
#04-1 1/4" Concrete Block
#04-1 1/2" Concrete Block
#04-1 3/4" Concrete Block
#04-2" Concrete Block

STORERONT
Dark Bronze

COLOR PALETTE #4

Note: Signage shown is for illustrative purposes only. Actual signage shall comply with approved comprehensive signage program established for the overall center.



SHOPS ELEVATIONS
Lake Pleasant Pavilion

THIS IS AN ORIGINAL UNPUBLISHED DRAWING SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY CHRISTY SIGNS. IT IS NOT TO BE REPRODUCED, COPIED OR EXHIBITED IN ANY MANNER WITHOUT WRITTEN PERMISSION BY CHRISTY SIGNS.

CHRISTY SIGNS
1828 S. Black Canyon Highway
Phoenix, Arizona 85009
602-242-4488
602-271-0433 fax

PROJECT
LAKE PLEASANT PAVILIONS
S/MC LAKE PLEASANT PARKWAY
& HAPPY VALLEY ROAD
PEORIA, AZ

PREPARED FOR
KORNWASSER SHOPPING CENTER
PROPERTIES, LLC
SALES ASSOCIATE
CRUMMITA

Shop Elevations

Elevations & Plan View

Project: Lake Pleasant Pavilions 2/05
Date: 02-01-05
Scale: None
Drawn By: J.L.W.
Approved By: Crummita

Revisions

No.	Description	Date
01	Development	00-00-00

Approvals

Landlord Signature _____
Client Signature _____
Sales Signature _____

CONTRACT NOTES: OWNER GRANTS WHAT FROM ACTUAL INSTALLATION. ALL SIGNAGE SHALL BE APPROVED BY THE CITY OF PEORIA. ALL SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PEORIA SIGNAGE ORDINANCE. ALL SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PEORIA SIGNAGE ORDINANCE.

Exhibition C