

PLANNED AREA DEVELOPMENT – MINOR AMENDMENT

STANDARDS REPORT

for

COPY

The Trails at Suraya Park

A Luxury Residential Community
9000 West Greenbrian Drive
Peoria, Arizona

For

By

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PLANNED AREA DEVELOPMENT APPROVAL	
P/Z Commission Date	<u>N/A</u>
City Council Approval Date	<u>N/A</u>
	
Planner	



**Planned Area Development
Standards and Guidelines Report**

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I. Introduction

A proposal requested to change the zoning to P.A.D. has been approved, but not recorded. We are requesting a minor amendment to the approved P.A.D. zoning that will allow for the project concept we proposed at a recent pre-application meeting. Our project will consist of a detached single-family product and will complement the existing housing in the area.

A Concept Site Plan is attached.

The following is a summary of the proposed project:

Site Area:	Net Site Area	= 8.22 Acre;	357,915 Sq Ft
	Gross Site Area	= 9.48 Acre;	412,915 Sq Ft
Zoning:	O-1 Existing: PAD Approved; Requesting P.A.D.Minor Amendment		
Dwellings:	Detached Single-Family Houses for Sale 52 Units at 1210 to 1700 Sq Ft Project Total: Approximately 78,000 SF		
Density:	6.3 Units per Net Acre; 5.5 Units per Gross Acre		
Buildings:	40 Single Story, 12 Two Story		

II. Legal Description

Lots 4 through 8 of GREENBRIAN ESTATES, a subdivision recorded in Book 467 of Maps on Page 50, M.C.R., being a portion of the Northwest quarter of the Southwest quarter, Section 34, Township 4 North, Range 1 East, Gila and Salt River Base and Meridian, Maricopa County, Arizona.

Gross Area = 412,915 SF or 9.48 Acres (to the centerline of adjacent streets)
Net Area = 357,915 SF or 8.22 Acres (less street right-of-way)

III. Consistency with General Plan

The project is consistent with the General Plan as proposed to be amended by General Plan Amendment Case No. GPA 02-13. The Amendment, approved by Planning and Zoning Commission on December 5, 2002, proposes Residential Medium Density land use for this area. Residential Medium Density allows densities in the range of 5.0 to 8.0 dwelling per gross acre with a target density of 6.0 du/ac. The proposed project has a density of 5.5 du/ac.

IV. General Site Information and Existing Site Conditions

The site is an L-shaped parcel bounded on the south by Greenbrian Drive, on the east by 89th Avenue, on the north by Athens Street and on the west by the Odyssey Hospice and a vacant lot (See Exhibit A; Vicinity Map). The three streets bounding the property are all improved with pavement, curb, gutter and sidewalk. The grade difference between the northeast and southwest corners of the area is only four feet; therefore a slope analysis is not necessary.

V. Surrounding Land Uses and Conditions

The following is a summary of surrounding land uses (See Exhibit B: Existing Conditions):

	<u>Land Use</u>	<u>Zoning</u>
Site:	Vacant	O-1, PAD Approved
North:	Single-Family	R1-6
East:	Single-Family	RM-1
West:	Hospice	O-1
	Vacant	O-1
South:	Multi-Family	PAD

VI. Waiver of Minimum Site Area Requirement

A waiver of the ten (10) acre minimum requirement is requested per City of Peoria Zoning Ordinance Section 14-33-2 Paragraph B.2. The waiver will be in the public interest because a P.A.D. will encourage the development of this site which is an infill lot surrounded by developed properties on more than three sides. The site is only .52 gross acres less than 10 acres.

VII. Permitted Uses and Land Allocation

The proposed development is for-sale, single-family, detached residential use. Accessory structures and uses customarily incidental to residential purposes shall be designed and constructed in accordance with City of Peoria Zoning Ordinance 14-6-7.

The net area of this P.A.D. is 357,915 SqFt, or 8.22 acres, and will be divided as follows:

Private Roadways:	1.33 Acres	16% of Net
Single Family Homes:	1.80 Acres	21.9% of Net
Usable Open Space:	0.92 Acres	11.2% of Net
Other Open Space:	4.17Acres	50.9% of Net

VIII. Project Development Standards

- A. All on-site utility lines less than 69 KV, on-site telephone, cable television and electrical lines shall be installed underground.
- B. Lot Coverage: Not to exceed 50% including building overhangs. Open space: 11% minimum usable open space with pool as walking path and picnic areas.

C. Building Setbacks:

Overall Project:	Greenbrian Drive Setback:	15 Feet
	89 th Ave Setback:	15 Feet
	Athens Street Setback:	15Feet
	West Property Line Setback	15 Feet
Individual Lots:	Distance Between Buildings:	8.Ft between houses, 3 Ft minimum from property line
	Front Yard Setback:	15 Ft to garage, 10 Ft to house
	Rear Yard Setback	15 Ft to house, 9 Ft To covered patio

- D. Minimum Lot Size: 3,200 Sq Ft (includes driveway easement)
- E. Building Heights: Not to exceed two-story or 26'-0"
- F. Site Lighting: Decorative theme lighting will be utilized throughout.
- G. Roadways: All on-site roadways will be private drives. They will be constructed with 24 foot width of asphalt and edged on both sides with a rolled concrete curb and with a 4' sidewalk on one side of the roadway.
- H. Parking: 8'-0" wide by 15'-0' deep minimum
On-site parking shall be provided as follows:

2 Spaces per dwelling unit (Garage) = 112 Spaces
2 Spaces per dwelling unit (Drive) = 112spaces
= 224spaces

IX. Architectural Standards

A. Residential Buildings

Quality: This development will provide single-family detached dwellings which are commensurate with the current state of similar high quality residential development in Peoria.

Materials: The structures will reflect the southwest style of finishes, colors and trim. Building will have stucco exterior walls and tile roofs. Each building shall reflect materials and construction techniques expressed in a simple, contemporary manner, using materials, colors, and other architectural treatments to create visual unity, continuity and identifiable character within the P.A.D.

Building materials within the P.A.D. will be consistent with and drawn from regional vernacular. Materials may include, but not be limited to:

Exterior Walls: Cement Plaster/Stucco or One-coat stucco system

Roofs: Spanish style concrete tile

Not Permitted: The following materials will not be used within the project: Colonial Siding, Bermuda shake, Victorian shingles or any other metal panel system which is embossed to imitate wood, tile or any other material. In addition, corrugated metal panels or metal buildings will not be incorporated.

Colors: Color will create visual harmony within the P.A.D. Appropriate colors may include, but not be limited to: desert hues and other earth tones including light tan and cream plus off-white and light grey. Accent colors of sage, and cranberry. Reds and oranges in roof tile.

Dwellings: The dwelling average size is 1450 Sq Ft. Four types of floor plans will be provided to increase choices for residents. All dwellings will include an attached two-car garage.

B. Fences and Site Walls

- 1) A Property Line Fence along the streets on south, east and north sides will be constructed with CMU masonry block, with an offset top cap and design element to relieve monotony.
- 2) Property Line Fence exists on the west property line adjacent to Hospice. Fence shall remain but shall be painted to coordinate with buildings.
- 3) The west property line adjacent to the currently vacant lot will be developed with a six-foot dooley masonry fence painted to coordinate with buildings.
- 4) Parking areas along public rights-of-way will be screened with the street fence described in paragraph 1) above.
- 5) Interior Fences will surround the private back yards of each dwelling. These interior fences shall be used to screen storage areas, refuse facilities, solar panels, satellite dishes and exterior equipment.
- 6) Any ground mounted mechanical equipment in a location visible from streets or other properties will be screened by landscaping or a wall that is compatible with the finish, textures and colors of buildings.
- 7) No fence or free standing wall shall exceed six (6) feet in height. All such walls shall be architecturally integrated in style and color with buildings.

C. Other Accessory Structures

Accessory buildings, such as ramadas, will be designed in similar architectural style. Development is designed to provide a significant amount of on-site amenities for the residents.

X. Project Signage Standards

Street signage will be mounted on low masonry/stucco walls with integrated flower planters. This signage will be connected with the project screen wall along Greenbrian Drive. The street address number will appear along with "The Trails at Suraya Park" lettering. The area of sign copy shall not exceed 36 square feet (12' wide by 3' high). Building and unit numbers will appear on the buildings' stucco walls and be visible from the curb. All signage will conform to City of Peoria Zoning Ordinance Article 14-34.

XI. Project Landscaping Standards

The landscaping for the proposed residential community will have an integrated design theme. This design will be carried through the site by the incorporation of "theme trees". These trees will be installed along street frontages and will be low water use xeriscape trees.

This development will conform with City of Peoria Zoning Ordinance Article 14-35.

All ground mounted mechanical equipment in a location visible from streets or properties shall be screened by landscaping or a wall that is compatible with the finish, textures and colors of buildings.

XII. Project Phasing and Development Schedule

Owner intends to build on a continuous and uninterrupted schedule based upon marketing and sales of residential units.

XIII. Maintenance

All on-site structures, signage, and landscape in common spaces, retention areas, and along public streets shall be maintained by the Home Owners Association in a neat and orderly manner. Maintenance of individual lots are the responsibility of the owners.

XIV. Infrastructure/Utilities

A. Grading, Drainage and Retention

Project shall retain a 100 year, two (2) hour rain storm on-site.

B. Water and Sewer

Water lines exist on three sides of the project: 8" in Greenbrian Drive, 8" in 89th Avenue and 12" in Athens Street. Sewer lines exist on three sides: 8" in Greenbrian Drive, 21" in 89th Avenue and 8" in Athens Street. The project's sewer system will be designed to connect to the existing manholes in Greenbrian Drive and 89th Avenue.

C. Service Providers

Services to this site are provided by the following:

Water:	City of Peoria
Wastewater:	City of Peoria
Electric Power:	Arizona Public Service
Natural Gas:	Southwest Gas
Telephone Service:	Qwest Communications

XV. Traffic Analysis

Traffic Impact: The proposed residential use is less intense than uses allowed in the existing O-1 zoning.

Traffic Study:

A Traffic Study will be performed at the time of site plan development to determine if a deceleration lane is required at project entry.

WASTEWATER SYSTEM ANALYSIS REPORT FOR
THE TRAILS AT SURAYA PARK

Size: The Trails at Suraya Park contains 52 single-family homes

Location: NW ¼ of the SW ¼ OF SECTION 34, T4N, 41E of the Gila and Salt River Meridian Northwest Corner of North 89th Avenue and West Greenbrian Drive

Zoning: Current: P.A.D. Approved
Proposed: P.A.D. Minor Amendment

Wastewater Flow Calculations:

- The average daily flow in gallons per day per capita = 100 gpcd
- The average population per dwelling unit = 2.8 persons
- the maximum day factor = 4.0 times the average day flow

Average Daily Flow:

1. Per Dwelling is:
(100 gpcd)*(2.8 persons/du) = 280 gal/day/du
2. Total Project: 280 * 52 units = 14,560 gal/day

Maximum Daily Flow:

1. Per Dwelling is:
(280 average day flow)*(4.0) = 1,120 gal/day/du
2. Total Project: 1,120 * 52 units = 58,240 gal/day

WATER SYSTEM ANALYSIS REPORT FOR:

THE TRAILS AT SURAYA PARK

Size: The Trails at Suraya Park contains 52 single-family homes.
Location: NW ¼ of the SW ¼ OF SECTION 34, T4N, R1E of the Gila and Salt River Meridian Northwest Corner of North 89th Avenue and West Greenbrian Drive

Zoning: Current: P.A.D. Approved
Proposed: P.A.D. Minor Amendment

Domestic Water Demand Calculation:

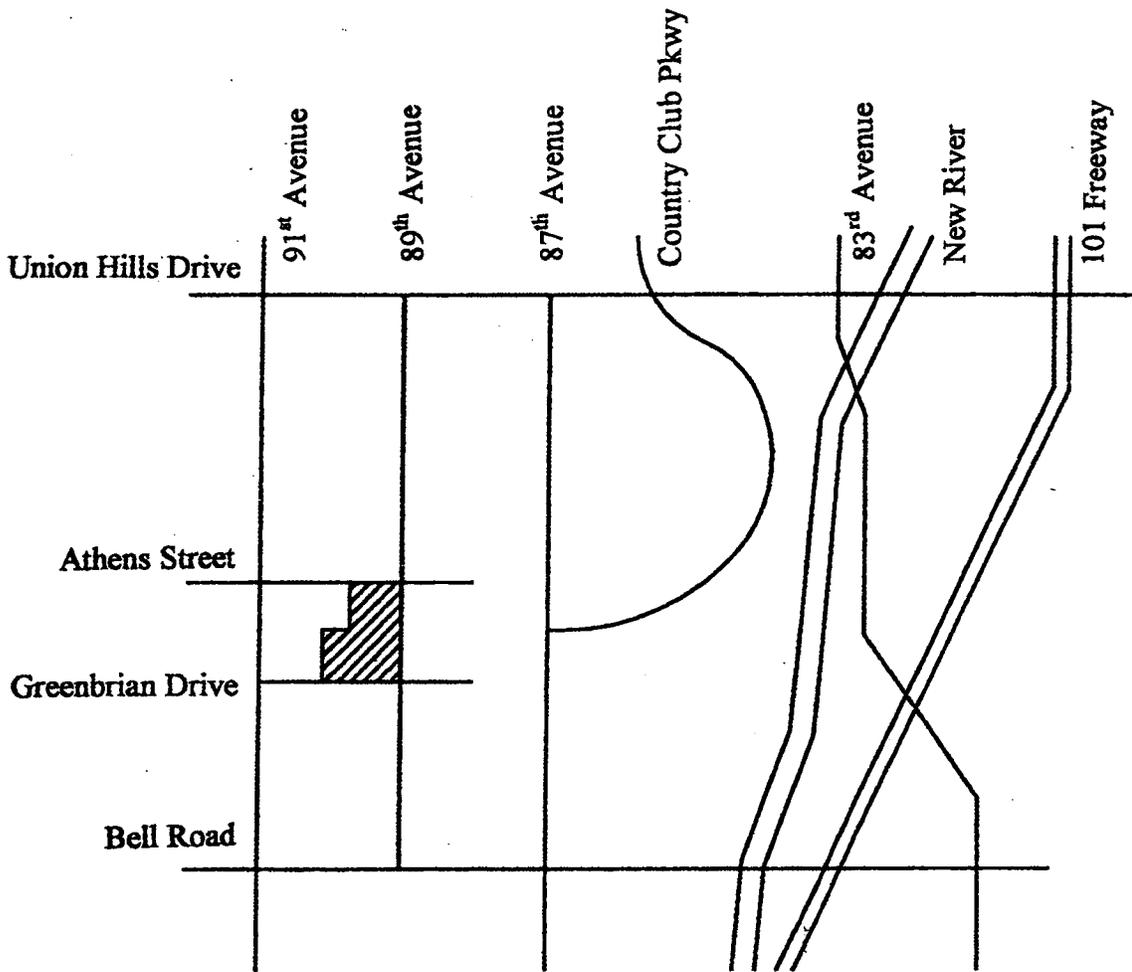
- The average daily demand in gallons per day per capita = 200 gpcd
- The average population per dwelling unit = 2.8 persons
- The lost and unaccounted for water factor = 0.90
- The maximum day demand factor = 1.8 times the average day demand
- The peak hour demand factor = 1.7 times the maximum day demand

Average Daily Demand:
1. Per Dwelling is:
 $(200 \text{ gpcd}) * (2.8 \text{ persons/du}) / (0.90) = 622.2 \text{ gal/day/du}$
2. Total Project: $622.2 * 52 \text{ units} = 32,356 \text{ gal/day}$

Maximum Daily Demand
1. Per Dwelling is:
 $(622.2 \text{ average day demand}) * (1.8) = 1,120 \text{ gal/day/du}$
2. Total Project: $1,120 * 52 \text{ units} = 58,240 \text{ gal/day}$

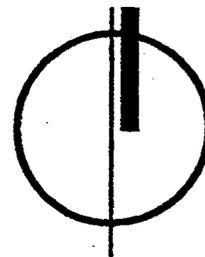
Peak Hour Demand:
1. Per Dwelling is:
 $(1,120 \text{ max. day demand}) / (24 \text{ hours}) / (60 \text{ mi.}) * (1.7) = 1.32 \text{ al/min/du}$
2. Total Project: $1.32 * 52 \text{ units} = 68.8 \text{ gal/min}$

In addition to the maximum hour Domestic Water Demand the system will be required to provide for Fireflow requirements as determined by the Peoria Fire Department, Fire Prevention Division.



VICINITY MAP
 Goldcress Villas at Greenbrian Estates
 Scale: 3"=1 mile

Acanthus Architecture & Planning



Peacock Village
Single-Family Homes

RM-1

89th Avenue

Hunter's Ridge
Single-Family Homes

R1-6

Athens Street

The Odyssey
Hospice
O-1

Encore Senior Village
Alzheimer's Community
O-1

Proposed
Medical Offices
O-1

PROJECT SITE
Greenbrian Estates Lots 4-8

Greenbrian Drive

The Park at Arrowhead Springs
Apartments
PAD

Alterra Sterling House
Assisted Living
PAD

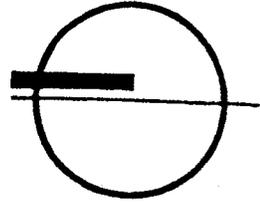
Vacant
PAD

91st Avenue

Brookside Village
Single-Family Homes

R1-6

Vacant
C-2



EXISTING CONDITIONS
Goldcross Villas at Greenbrian Estates

Acanthus Architecture & Planning