

# Planned Area Development

## Casa Del Rey at Camino a Lago

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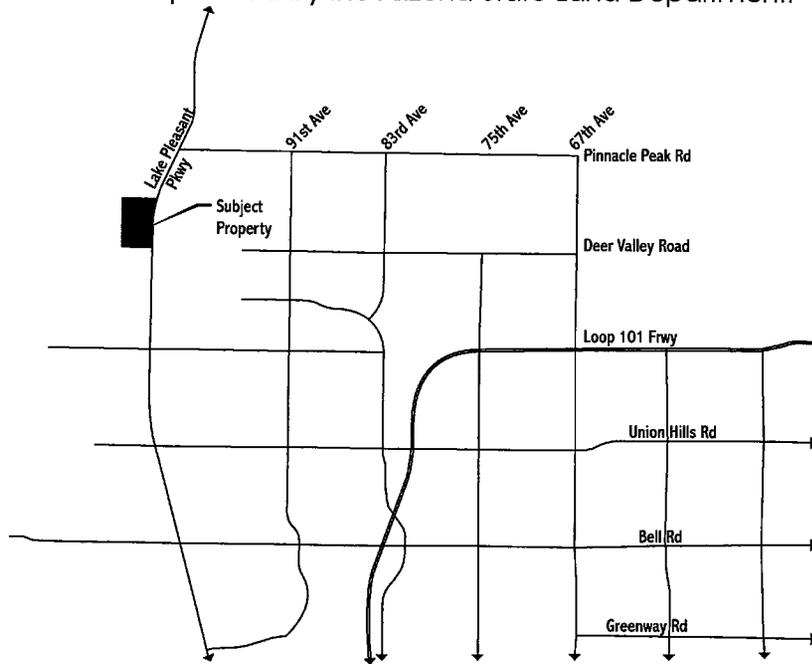
**PLANNED AREA DEVELOPMENT  
 APPROVAL**

P/Z Commission Date     N/A      
 City Council Approval Date     N/A    

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 Planner 11-18-03

## INTRODUCTION

Casa Del Rey at Camino A Lago is a proposed 96-acre (net) master planned single-family home community located in the central portion of the City of Peoria. The property is bounded by Lake Pleasant Parkway, Williams Drive, 105<sup>th</sup> Avenue, and Deer Valley Road. This project is a recently sold portion of the larger Camino A Lago development, owned and master-planned by the Arizona State Land Department.



Morano Enterprises Peoria LLC is requesting that the property be rezoned to Planned Area Development (PAD). The site constraints, densities, and unique housing product proposed in this community do not allow strict compliance with City of Peoria zoning regulations. PAD zoning is required in order to

form regulations that are specific to this development. New guidelines and regulations contained in this document allow the community to adapt to features unique to the site allowing better planned and more sustainable, healthy neighborhoods.

The following goals have been developed as a framework for this PAD:

- To offer a range of housing types and community facilities that is responsive to local and regional markets.
- To provide a development plan for the community designating land uses, amenities, and community form.
- To provide guidelines for the design and construction of landscape areas, streets, perimeter walls, trails, open space, homes, and recreational features of the community.
- To provide an attractive gateway project to the entire Camino A Lago Development that will set the tone and theme for future developments.
- For public use so that future residents and neighbors are informed of the type of community that will be constructed.
- To provide a planning document for City leaders to make informed decisions in future development approvals related to this PAD.

Land use regulations and development standards applicable to this PAD shall be those of the Peoria zoning ordinance, except as may be specifically modified herein. If any regulations in this PAD are in conflict with requirements of the

Peoria zoning ordinance, the regulations in this PAD shall prevail.

### LEGAL DESCRIPTION

Tracts 13 and 14, as shown on State Plat No. 43, CAMINO A LAGO, according to Book 456 of Maps, page 6, records of Maricopa County, Arizona, situated in Section 17, Township 4 North, Range 1 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.

### ENTITLEMENTS

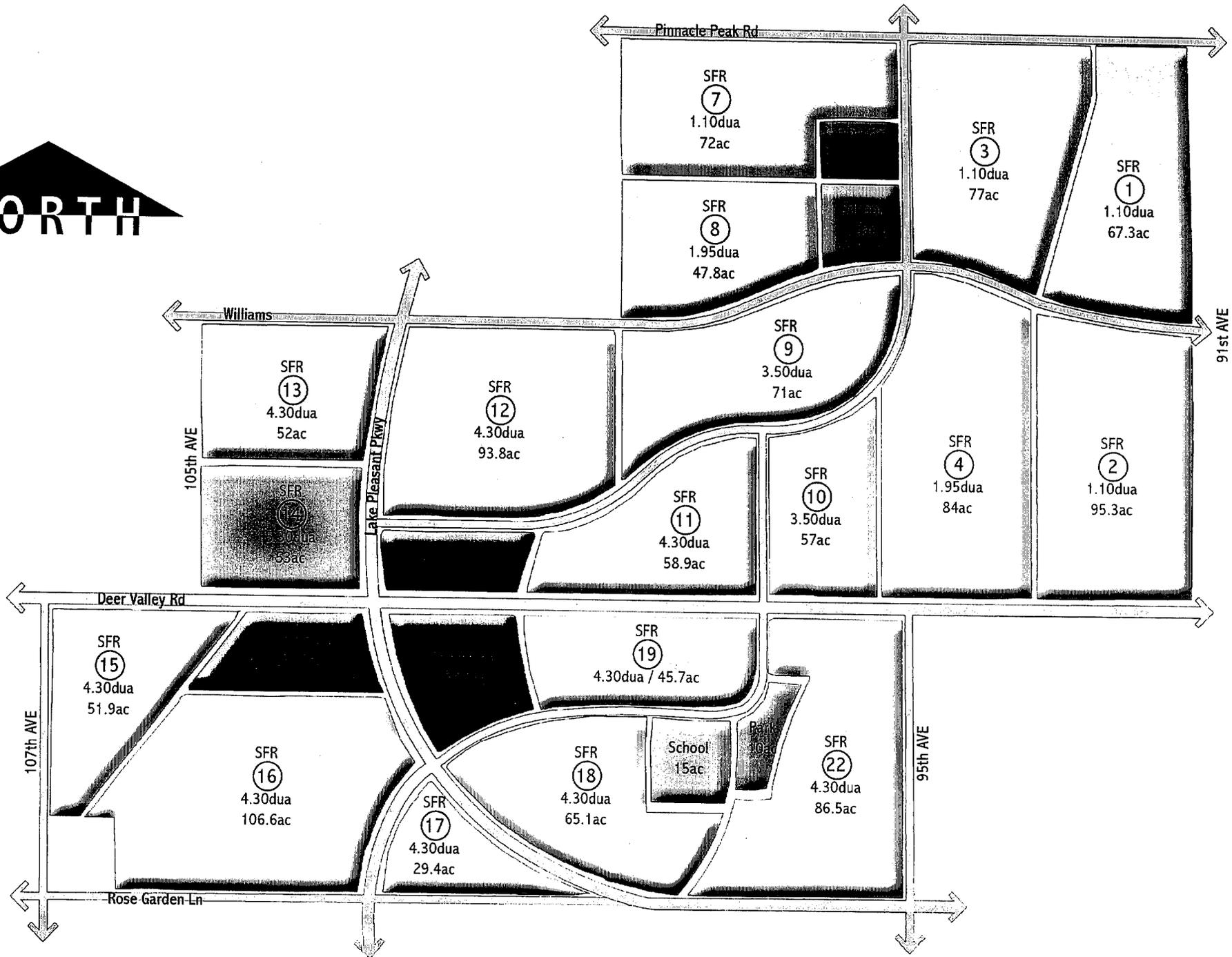
#### Consistency with the General Plan

The current City of Peoria General Plan was approved in May 2001. The General Plan designates the property for single-family residential development with densities between 2-5 units per acre. The total density for this project is in compliance with this designation. Although it is a relatively small-scale project, a mix of lot sizes and housing product is proposed. This development conforms with the goals and objectives as stated in the Land Use element and restated in the Housing element of the General Plan. The City seeks a "diversity of housing types to meet the needs of persons of all income levels and ages." The central and northern portions of Peoria are quickly becoming less affordable and the housing becoming less diversified. This project seeks to provide a portion of that mix of housing types sought by the City and to provide a housing product more affordable to a wider segment of the population; at the same time

maintaining the type of quality, attractive development that the City of Peoria expects.

#### Camino A Lago Specific Plan

In 1997 the Arizona State Land Department completed the Camino A Lago Specific Plan for its land holdings in this area. The Plan was then considered and approved by the Peoria City Council. This project comprises Tracts 13 and 14 of the Specific Plan, designating them for single-family residential development. The plan designates Tract 13 (52.45 gross acres) a density of 4.3 dwelling units per acre or 223 lots, and Tract 14 (53.09 gross acres) a density of 5.3 dwelling units per acre or 278 lots. This allows the project an overall density of 4.8 units per acre, in compliance with the General Plan maximum of 5 units per acre. However this project will be in strict compliance with the densities for each separate parcel outlined in the Specific Plan. The Specific Plan also contains design guidelines for residential and commercial development within the plan area.



Camino A Lago  
Specific Plan

## Zoning

The existing property zoning is AG, General Agricultural District, City of Peoria. This document requests a new zoning of Planned Area Development with a single-family residential designation for the entire site. There are no commercial uses proposed on the site.

Uses proposed on the site are limited to single-family residential in varying densities and associated open space with amenities. All land uses will fall within the single-family residential land use designation. General areas of open space are designated within this PAD document to ensure that the community theme, trails, and active and passive recreational open space and amenities are constructed in a well-planned, cohesive manner.

## SITE INFORMATION & EXISTING CONDITIONS

The site consists of 105.5 gross acres. No property has yet been dedicated for right-of-way for arterial and collector streets adjacent to the property. Dedicated right-of-way will total approximately 10 acres with a large portion of that dedication coming from the required 75 feet for the west half of Lake Pleasant Parkway. The project consists of single-family residential development of 45-foot wide and 55-foot wide lots and some medium density single-family development with smaller lots. The proposed site densities follow the rationale behind the distribution of densities within the Specific Plan. Commercial development will be concentrated around the major intersection of Deer Valley Road and Lake Pleasant Parkway. Residential development will also be most dense in

this area and gradually decrease as it moves northward. This project proposes most dense housing in the southern portion of the development with the larger lots and less intense land uses being located in the northern and western portions of the site.

The Specific Plan designates Tract 14 for 5.3 dwelling units per acre at the intersection of Deer Valley Road and Lake Pleasant Parkway; the highest density tract in the Plan. The Specific Plan also mentions that cluster housing or similar housing techniques are appropriate for this area, consistent with what is proposed in this plan.

Tracts 13 and 14 of Camino A Lago are currently vacant property that has never been previously developed. The site slopes downward slightly to the southwest. The Agua Fria River is located approximately .5 miles to the west. There are concrete pipes under Lake Pleasant Parkway near the site's northeast corner that allow stormwater to flow onto the site from the northeast. This offsite drainage must be taken into account when developing the site.

There are no irrigation facilities on the property. There is a 20-inch natural gas line within a 60-foot wide easement that traverses the southeast portion of the property. No permanent structures are allowed within this easement. The old Lake Pleasant Road alignment also traverses the property, leaving a scar on the site.

The site is within the Sonoran Desert vegetation area. Vegetation mainly consists of creosote bush with an occasional saguaro cactus, barrel cactus, or palo verde tree.

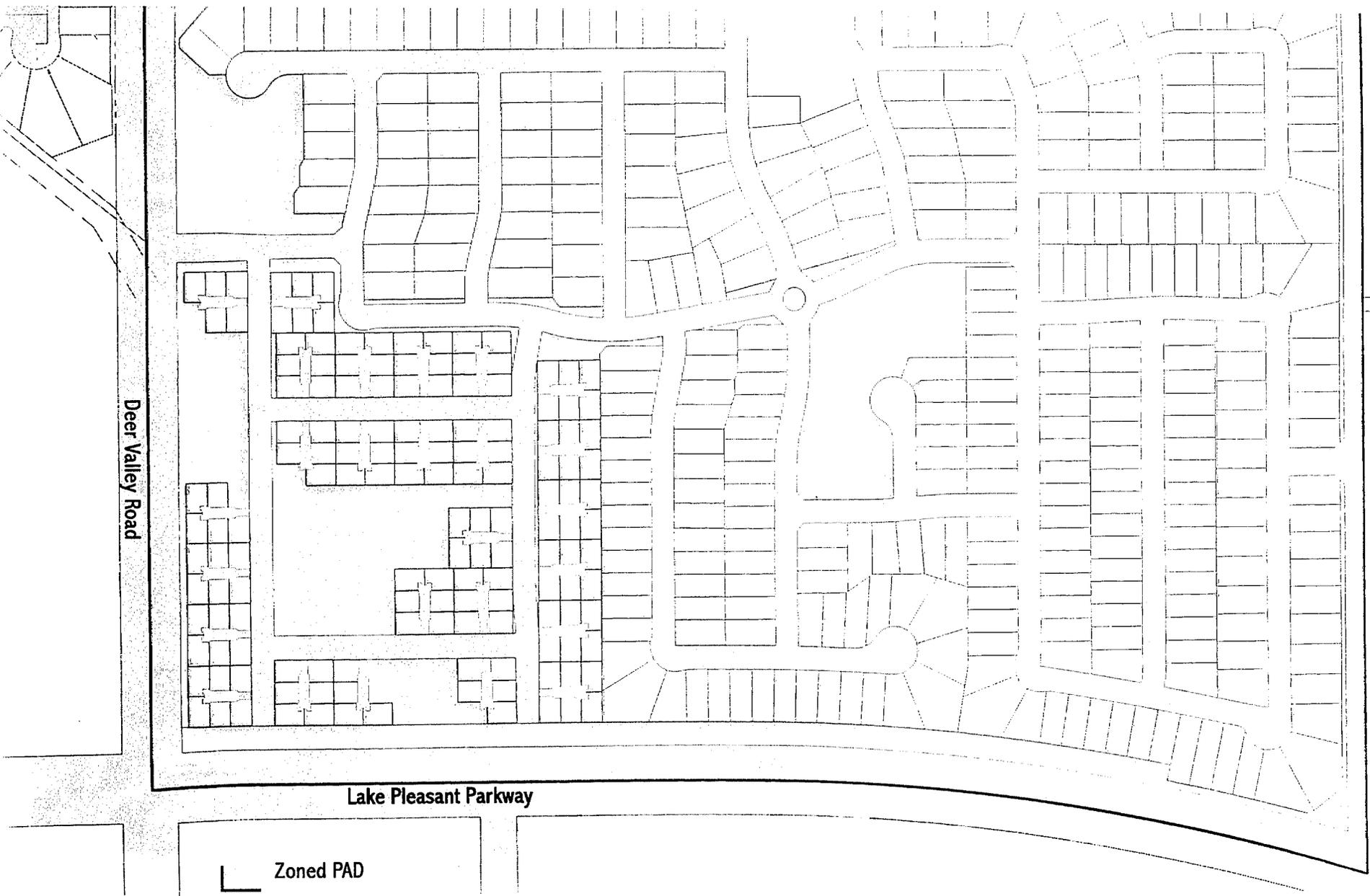


Williams Rd.

Deer Valley Rd.

RAILWAY

Casa del Rey  
on  
Comino A Leggo



\*Lotting shown is conceptual

# Proposed Zoning Map

Casa del Rey  
at  
Camino A Lago

### Surrounding Land Uses and Conditions

The property to the north across Williams Drive is the Ironwood subdivision, a master-planned residential community. To the west is the Alta Vista single-family residential community built in the late 1990's. To the east and south are vacant undeveloped properties owned by the State Land Department that are part of the Camino A Lago development but have not yet been sold or developed.

Williams Drive to the north exists as a paved asphalt road, one lane in each direction with only the north half dedicated and developed. Lake Pleasant Parkway exists as an asphalt road, no curb or gutter, with one lane in each direction. The City plans to begin reconstructing this portion of the Parkway soon. Along the site's southern border is Deer Valley Road, currently undeveloped and not dedicated. To the west is 105<sup>th</sup> Avenue, a minor collector road serving the adjacent development. Only the west half has been dedicated and constructed.

The site is located outside of the Territory in the Vicinity of Luke Air Force Base as defined by the Maricopa Association of Governments.

### Neighborhood Awareness

On September 26, 2002 a neighborhood meeting was held at Zuni Elementary School, just west of the PAD. At this meeting, the proposed project was introduced to the neighbors and discussed with them. Concerns voiced by the residents at the meeting were associated with issues such as

traffic, privacy, schools, lot sizes, and home prices. The developer expressed to the residents his desire to work closely with them in resolving these issues and addressing their concerns. As an example, at the meeting the developer agreed to place larger lots along the project boundary on the north and west sides of the project adjacent to existing residential neighborhoods. In addition, the developer agreed that homes adjacent to 105<sup>th</sup> Avenue will be single story to protect the privacy of existing residents in the Alta Vista subdivision to the west.

Casa Del Rey community is designed with surrounding neighborhoods in mind. The Alta Vista subdivision to the west is zoned RM-1 and composed of mainly 48-foot wide and 50-foot wide lots adjacent to the project boundary. The majority of lots adjacent to Williams Road in the Ironwood subdivision to the north are 53-foot wide. This project proposes 55-foot wide lots along the project boundary adjacent to these neighborhoods. Wider lots allow larger homes and less density adjacent to the existing subdivisions.

The Camino A Lago Specific Plan designates the northeast, southeast, and southwest corners of the intersection of Deer Valley Road and Lake Pleasant Parkway for commercial uses. These corners are currently vacant and undeveloped. Casa Del Rey proposes higher densities in the proximity of this intersection at the southeast corner of the site.

**PRELIMINARY DEVELOPMENT PLAN**

Sample Lot Size	Minimum Area	Possible Yield	Percent
45' x 64'	2,880	155	31
45' x 110'	4,950	180	36
55' x 110'	6,050	166	33
		501	100

As shown in the table and in the plan, Camino A Lago will provide housing densities in compliance with the approved Specific Plan and in harmony with the existing adjacent development. The entire site will be developed with single-family residential development. No commercial development is proposed with this project. **All lot layouts shown in exhibits in this document are conceptual for visualization purposes only.** Final lot layout will occur during the platting stages of development.

**PERMITTED, CONDITIONAL, AND ACCESSORY USES**

The following uses are allowed per the regulations in this PAD

Permitted Principal Uses

- One detached single-family dwelling per lot
- Publicly owned and operated parks and recreation areas and centers

- Private community parks and recreation centers
- Private community center
- Group Home in compliance with City zoning regulations

Permitted Conditional Uses

- Public utility buildings, water pumping plants and storage tanks and electric substations wherein service to district residents requires location within the district provided that repair or storage facilities in connection therewith are expressly prohibited

Permitted Accessory Uses

- Accessory uses customarily incidental to a permitted principal use
- Off-street parking serving a permitted principal use
- Private garage or carport for storage or parking of vehicles
- Garden house, tool house, ramada, outdoor swimming pools and similar home recreational facilities; provided that such facilities are used solely by occupants of the premises and their guests
- Home occupation in compliance with City Codes
- Daycare of 4 or less children

**PROJECT DEVELOPMENT STANDARDS**

The design incorporated into the Casa Del Rey community shall conform with the requirements of the current City of Peoria Design Guidelines for residential development. The following guidelines are included in addition to the existing City guidelines to provide direction to homebuilders in the type of development and design sought by the property owner and the City of Peoria.

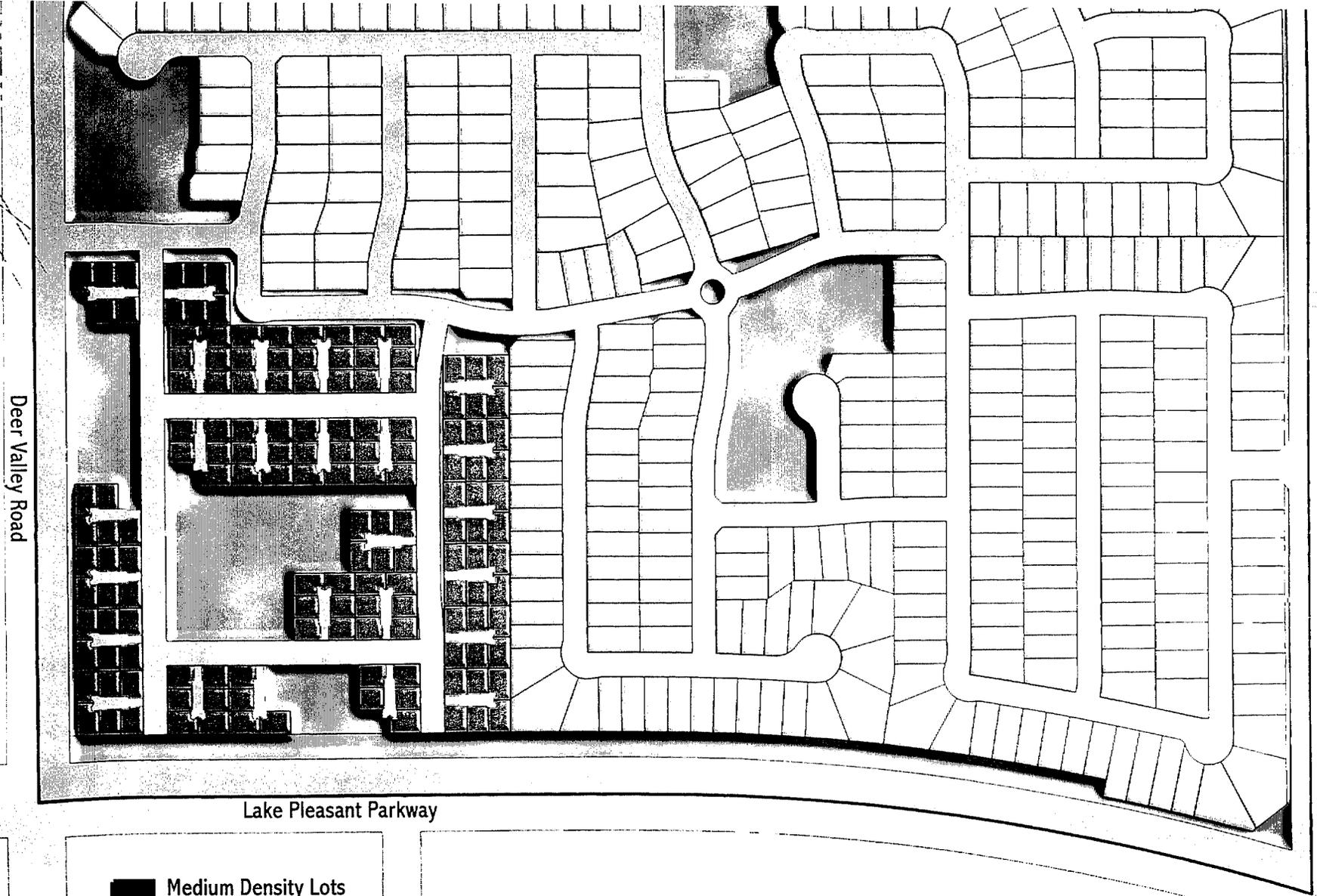
<i>Lot Width</i>	<i>45'</i>	<i>55'</i>	<i>45' (Medium Density Product)</i>
Home Width	35'	45'	35'
Minimum Lot Depth	110'	110'	64'
Front Setback	12' for living area or side-load garage. 18' for front-load garage. 10' for front porch	12' for living area or side-load garage. 18' for front-load garage. 10' for front porch	7'
Side Setback**	3'/7'	3'/7'	5'/5'
Corner Side Setback	10' from ROW	10' from ROW	10' from ROW
Rear Setback***	15'	15'	5'
PAD Perimeter Setback	20'	20'	20'
Building Height	30'	30'	30'
Building Coverage	50%	50%	55%

\* Entry elements and bay windows will be allowed to encroach into the front setback by a maximum of 2 feet.

\*\*Architectural elements, such as pot shelves, shadow boxes around windows and doors, bay windows, entertainment units, fireplaces, etc. will be allowed to encroach into the setbacks by a maximum of 3 feet but not closer than 2 feet to the property line.

\*\*\*Fireplaces, bay windows, architectural features, or patio covers may encroach 10' into rear setback except where adjacent to PAD perimeter.

All homes along the west boundary of PAD are restricted to single story.



Deer Valley Road

Williams Drive

Lake Pleasant Parkway

- Medium Density Lots
- 45'x110' Lots
- 55'x110' Lots
- Open Space

\*Lotting shown is conceptual

# Land Use Plan

Casa del Rey  
at  
Camino A Lago

### Traditional single-family lots

Providing an attractive home product on narrow width lots requires architectural innovation and creativity. Because of its highly visible location, and position in the overall development of Camino A Lago, Casa Del Rey must be held to a high standard of design.

### *Layout*

- The overall layout of Casa Del Rey will be in conformance with the intent of the Camino A Lago Specific Plan.
- Internal local streets will be curvilinear to create interesting design and help keep traffic speeds slow by reducing long straight stretches of street.
- Where possible, homes should be oriented primarily in a north-south direction to maximize favorable solar exposure and increase energy efficiency.
- Planned layout should minimize overall length of streets but shall provide simple circulation patterns.
- Streets shall be planned to be continuous through adjacent residential developments so as to weave the community together and simplify traffic circulation patterns.
- Street layout should be designed to prevent, or discourage the use of local streets as shortcuts for through-traffic.
- Curvilinear streets, cul-de-sacs and other site-planning devices to reduce linear character and create an interesting streetscape are encouraged.

### *Garage Design*

- Homebuilders are encouraged to offer home plans that provide living space, porch, or courtyard at the same plane or in front of the street-facing garage. At a minimum living area, covered porch, or architectural structure must be within 10 feet of the plane of the garage face.
- Homebuilders should consider homes that locate the garage at the rear of the home or recessed from the front of the home with a driveway along the side of the home.
- Homebuilders should consider homes that on corner lots, provide a garage that faces a local street other than the street the front door faces.
- Homebuilders shall provide elevations with garage doors not exceeding 50% of the total home width for 2-car garages, 55% of home width for 3 car garages.
- For 3 car garages, homebuilders shall provide a minimum 2-foot offset in the front plane of least one garage door.

### *Façade Design*

- Homebuilders shall incorporate a variety of accent materials such as stone, brick, decorative concrete block, stucco textures, etc.
- Facades shall be broken up to add depth to the street facing sides of the home. Suggested features include recesses and pop outs in entryways, windows, offsets, etc. in both the wall and roof planes.

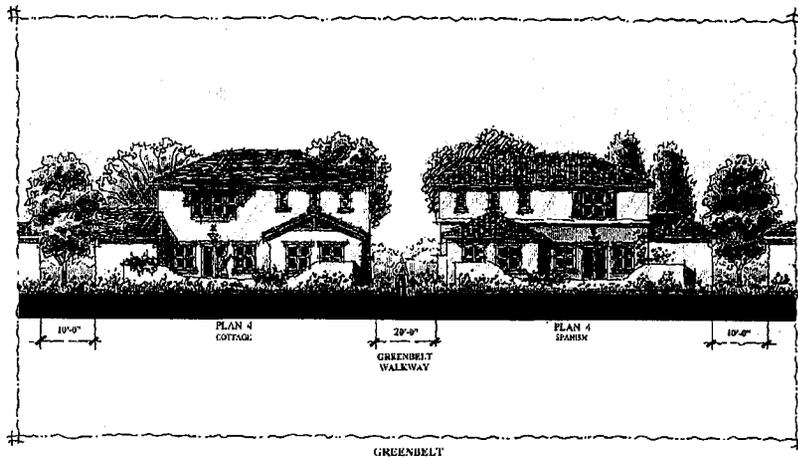
- Rooflines and visible walls on rear elevations on homes backing to Deer Valley Road and Lake Pleasant Parkway must be broken up and architecturally enhanced to avoid a monotonous pattern of homes along these streets.
- All homes must have a defined entryway visible to the street.
- Porches and courtyards should be offered to add variation and interest to front elevations.
- The boundary between each floor of the dwelling unit should be clearly delineated.
- Homebuilders shall provide at least three distinctive elevations for each standard plan.
- Homebuilders shall provide at least 3 standard plans for each home width.
- A variety of home colors, all with low LRVs, must be offered. Colors that blend with the surrounding desert and landscaping along Lake Pleasant Parkway should be used.

*General*

- Covered patios should be architecturally incorporated into the home design when visible and backing to a collector or arterial street.
- A variety of roofing materials and colors must be offered.
- Driveways, on-lot sidewalks, and front patios must be offered with a variety of finishes such as patterned concrete, exposed aggregate, salt finish, pavers, bricks, colored concrete, etc.

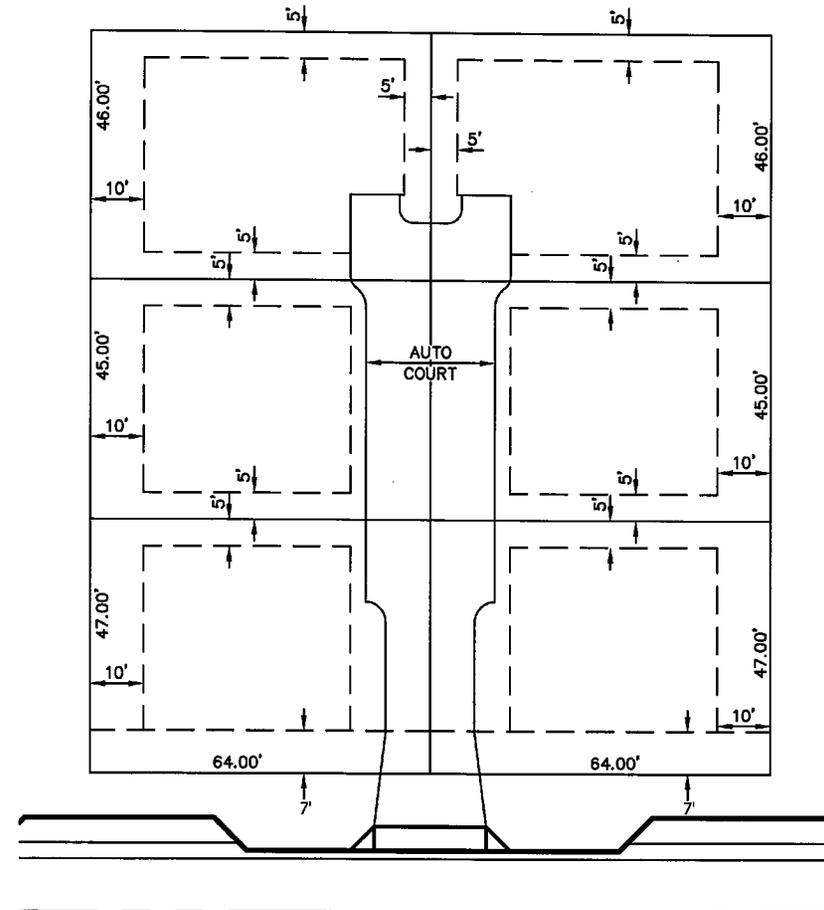
Medium Density Development

The southeast portion of the development is dedicated to medium density development that is capable of approximately 12 units per acre but is limited to approximately 7.5 units per acre in Casa del Rey due to the amount of incorporated open space.



*View of Medium Density Homes From Rear of Layout*

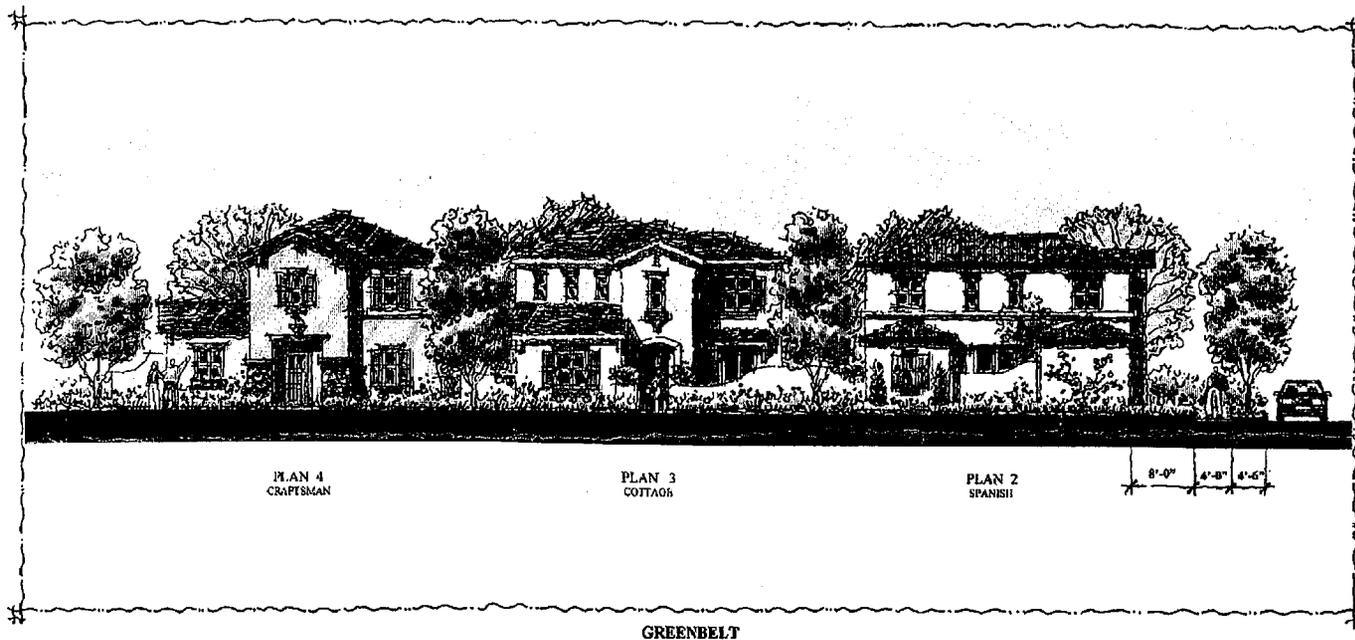
The house product and layout of this medium density area are unique. The development is based on groups of 6 lots accessing a common private drive. Lots measure approximately 45 feet wide by 64 feet deep. Homes back to the common drive and front on a common area and on the public street. All homes are freestanding, not attached to adjacent homes, and are individually owned.



*Medium Density Building Envelopes and Layout*

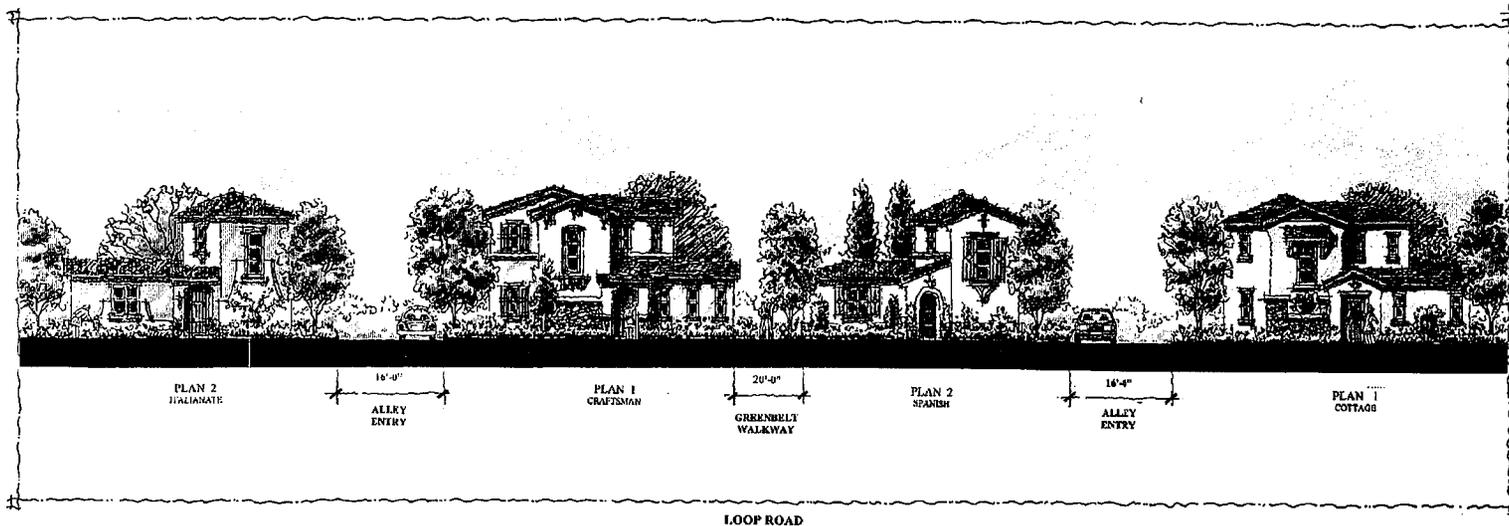
To work properly, homes in a unique layout must be designed specifically for that layout. Homes proposed in this medium density portion of the development have been designed specifically for this layout. Site planning was completed to ensure that the site works well. The communal aspects found in higher-density housing are balanced with the privacy and individuality found in typical single-family housing. Each home has its own private space and comes standard with a

2-car garage. Proposed home sizes range from 1,075 square feet to 1,515 square feet. As shown, all homes offered will be two-story. Guest parking is located on the adjacent public street. A 20-foot wide common green space is located between each row of homes where the homes front. This area while privately owned, will be accessed by a sidewalk within an easement dedicated for that purpose. Homes back to the common driveway.

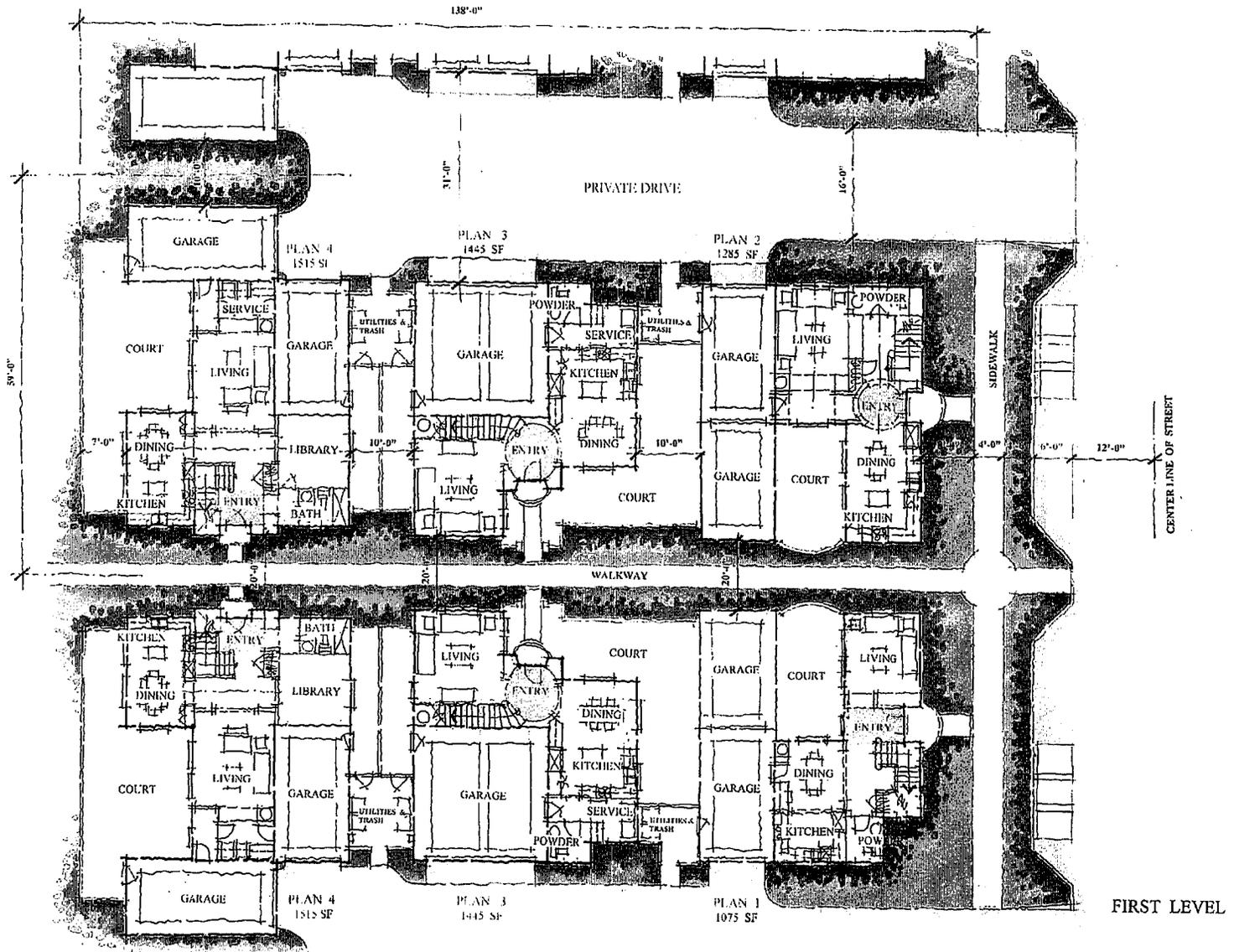


Medium Density Home Elevations From Common Greenbelt

- Each cluster is limited to 6 units accessing a single common drive.
- At entrances, shared driveways should be differentiated from the public street by decorative paving, pavers, etc.
- Home design and orientation should be considerate of individual privacy for each home. Living space windows in close proximity should not directly oppose each other on adjacent lots.
- Private drives must be at least 16 feet in width and must be kept free of all obstructions. No parking is allowed within private drives. Private drive entrances must meet the requirements of Fire Safety.
- Garbage bins are stored within the property out of view from the public street, until trash day when they are placed at the street.



Medium Density Homes From Public Street

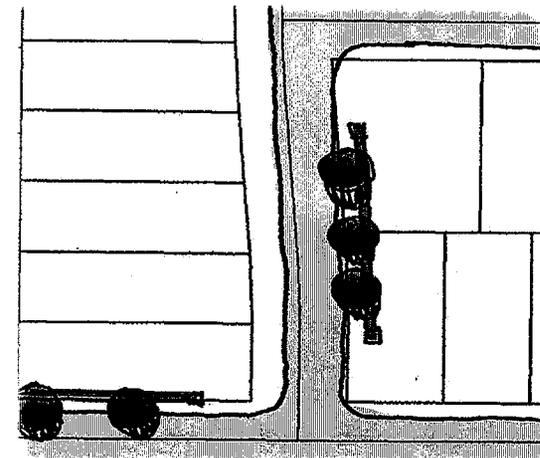


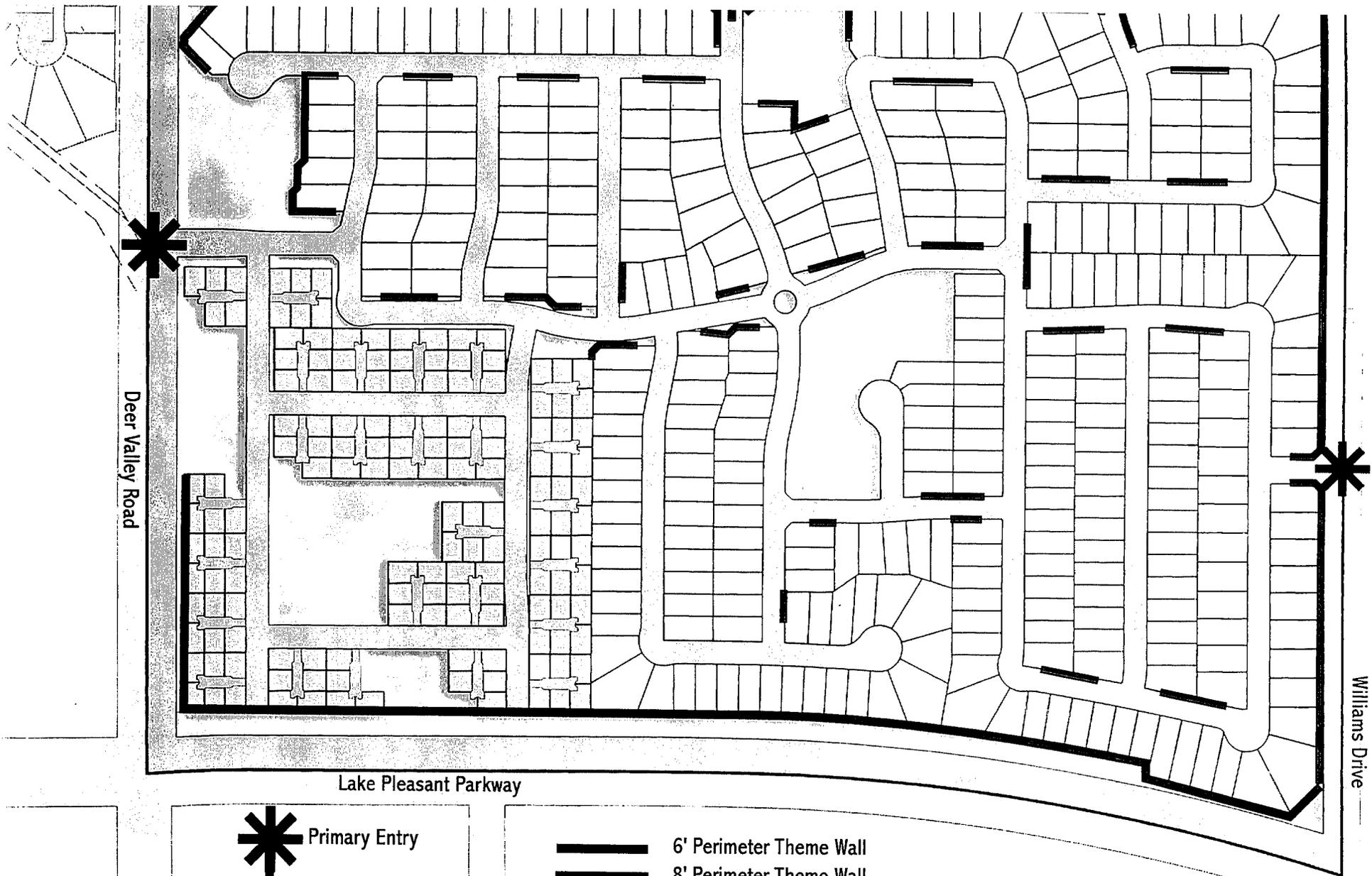
FIRST LEVEL

Walls

Walls and landscaping are most of what the general public will ever see of Casa del Rey and Camino A Lago and will be what is left in its memory. Because of this, walls must be designed attractively and must set the tone for the entire development. Colors with low LRVs that blend into the natural environment will be used. Walls will be constructed of decorative block or stucco that will be attractive yet blend in with surrounding environment and landscaping. Wall elevations will be broken both vertically and horizontally to avoid monotonous stretches.

- All walls must be designed to be compatible with the total surrounding environment and should not block natural views.
- Perimeter walls must incorporate various textures, staggered setbacks, and variations in height in conjunction with landscaping to provide visual interest and to soften the appearance of perimeter walls.
- Long continuous perimeter walls are not allowed. Perimeter walls must be broken by up by pillars or staggered setbacks.
- Walls will be no higher than 6 feet in height except along Deer Valley Road and Lake Pleasant Parkway where walls will be no more than 8 feet in height.
- Perimeter wall design will be incorporated interior to the development adjacent to the local streets at the end of rows of lots.





Deer Valley Road

Williams Drive

Lake Pleasant Parkway

-  Primary Entry
-  Secondary Entry
-  Tertiary Entry

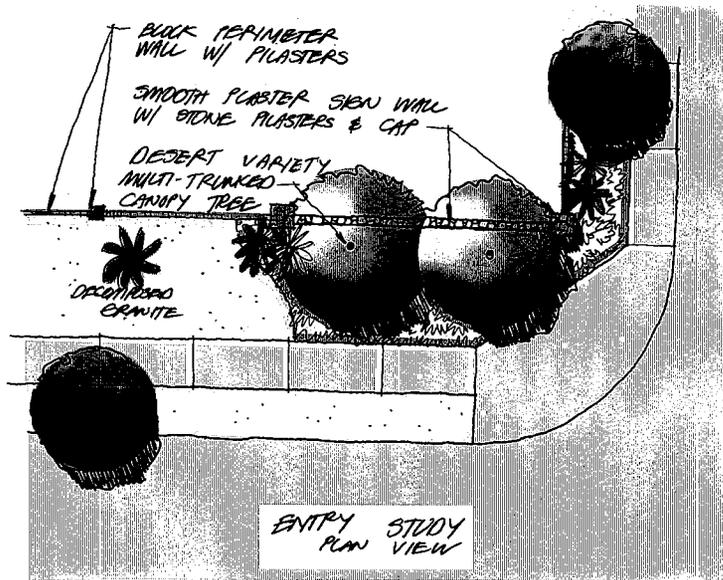
-  6' Perimeter Theme Wall
-  8' Perimeter Theme Wall

\*Lotting shown is conceptual

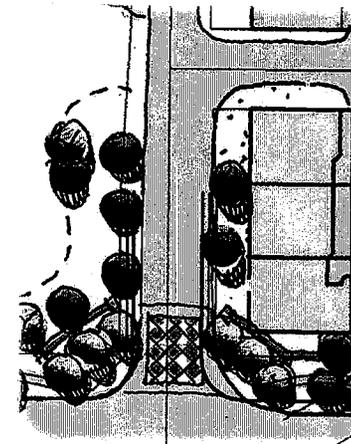
## Entry & Theme Wall Plan

Casa del Rey  
at  
Camino A Lago

## Entryways



Entry Corner



Typical Entry

## Signs

- Residential neighborhood entries will be marked by features, such as entrance paving, fountains, landscaping treatment, planters, and special wall treatment.
- Entry features at neighborhood entries shall be designed as integrated features of the overall development.
- Decorative pavement at neighborhood entries is encouraged for safety as well as aesthetic purposes.
- Low groundcovers shall be used at intersections to maintain proper visibility. For safe viewing at all intersections, a sight-line triangle must be maintained.

- Identification signs shall be low-profile, designed to identify but also to blend in with surrounding landscaping and architecture.
- Signs regulations and permitting are subject to City regulations.

## OPEN SPACE/LANDSCAPING

Generous landscaping and open space is provided throughout the community. Total open space will exceed the City-required 11 percent. A portion of the open space area will also serve as stormwater retention. Recreational amenities will also be constructed within the open space. Play areas such as tot lots will be kept out of the bottom of retention areas. Casa Del Rey has been designed so that all residents are within easy walking distance of open space and recreation areas including the existing Alta Vista public park at the southeast corner of 107<sup>th</sup> Avenue and Williams Drive.

At the center of Casa Del Rey will be a central open space area, an area within easy walking distance of most homes. Open space in this location opens up the neighborhood with a central area where children can play and neighbors can meet. A basketball court and facilities, tot lot, ramada, bbq, picnic area, and turf play area that can be used for soccer and other games will be located here. All amenities in Casa Del Rey will be connected by sidewalks and trails. Appropriate seating and shade will be located adjacent to play areas and trails.

*Central Open Space*



Williams Drive

Lake Pleasant Parkway

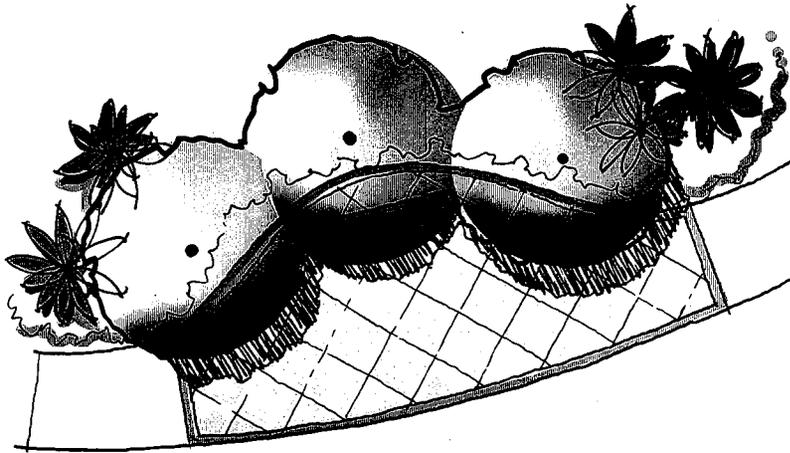
Deer Valley Road

105th Avenue

Casa del Ray  
at  
Camino A Lago

Master Landscape Plan

\*Lotting shown is conceptual

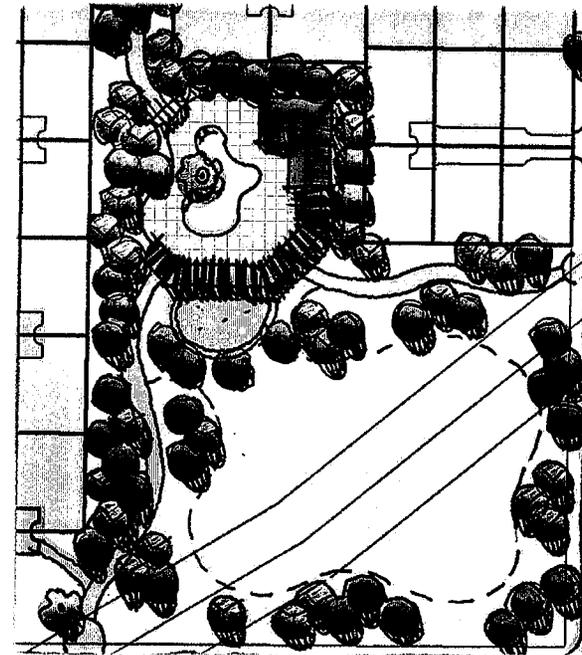


*Pedestrian Refuge adjacent to Sidewalks and Trails*

The development also includes open space areas around the development that will open the community up to the surrounding communities and neighborhoods and provide views to the surrounding mountains to the north and west. Each open space area will be connected with trails, and bench seating areas with shade.

The medium density development area will offer amenities for residents specific to its own neighborhood. Because of the smaller lots that don't provide space for private swimming pools, a neighborhood pool and related facilities will be provided. A basketball court, picnic/bbq area, and tot lot are

also planned. Although this area contains the highest housing density in Camino A Lago, it also provides the most open space that keep the community open and in harmony with the surrounding neighborhoods.



*Medium Density Community Open Space and Amenities*

Lake Pleasant Parkway

To contain offsite stormwater, a drainage channel approximately 40 feet in width and 3 feet deep will be constructed adjacent to the site along the west side of Lake Pleasant Parkway. However, final calculations have not yet been completed to determine the exact size required. This

channel will be adjacent to the right-of-way landscaping to provide approximately 55 feet of landscaping between the outside curb of Lake Pleasant Parkway and the subdivision theme wall. This open space will also contain a meandering trail. This additional landscaping will allow a larger home setback from the roadway and will buffer the homes from the traffic on the Parkway. The channel will be turf-lined to keep the banks and bottom stable and to keep them from eroding. An 8-foot high perimeter wall will be constructed along Lake Pleasant Parkway and Deer Valley Road.

Landscape Palette

The following is a conceptual landscape palette to demonstrate the landscape theme that will be used. Other desert plants fitting the character of this theme may also be included in final landscape plans.

Larrea Tridentata Encelia Farinosa Agave Vilmoriniana Opuntia Violacea Leucophyllum Laevigatum Bougainvillea Sp.  Nerium Oleander Thevetia Peruviana Lysiloma Thornberi	Creosote Bush Brittlebush Octopus Agave Purple Prickley Pear Chihuahuan Sage Bougainvillea 'Barbara Karst' 'Petite Pink' Oleander Yellow Oleander Fern of the Desert
<u>GROUNDCOVER</u> Convolvulus Mauritanicus  Lantana Montevicensis Lantana Camara	Purple Ground Morning Glory Trailing Purple Lantana Trailing Yellow Lantana

BOTANICAL NAME	COMMON NAME
<u>TREES</u> Carnegiea Gigante Prosopis Chilensis Cercidium Floridum Cercidium Praecox Acacia Salcina	Saguaro Chilean Mesquite Blue Palo Verde Sonoran Palo Verde Willow Acacia
<u>SHRUBS</u> Ruellia Peninsularis Leucophyllum Frutescens Caesalpinia Pulcherrima Hesperaloe Parviflora Fouquieria Splendens Ferocactus Wislizeni	Desert Ruellia 'Green Cloud' Texas Sage Red Bird of Paradise Red Yucca Ocotillo Barrel Cactus

Lighting

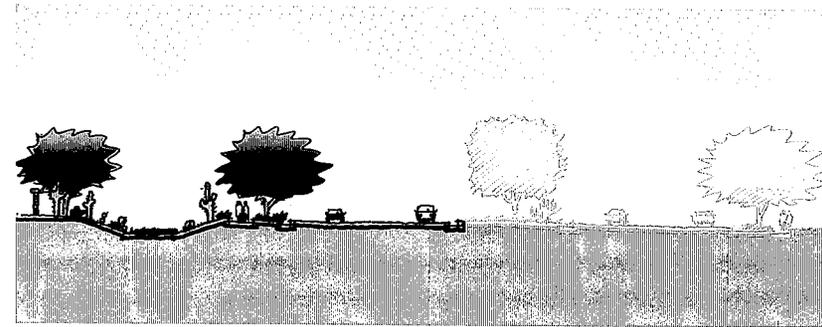
Pedestrian scale lighting should be used for interior community and recreation areas. Lighting should follow the guidelines found in the Lake Pleasant Parkway Specific Plan.

## CIRCULATION

Casa Del Rey is bounded by Lake Pleasant Parkway (future parkway), Deer Valley Road (major arterial street), Williams Drive (major collector street), and 105<sup>th</sup> Avenue (minor collector street). Loop 101, the nearest expressway located approximately 4.5 miles to the southeast, connects residents to the greater Phoenix area. Loop 303 is planned approximately 4 miles to the north. This highway will provide additional access to the valley from the site.

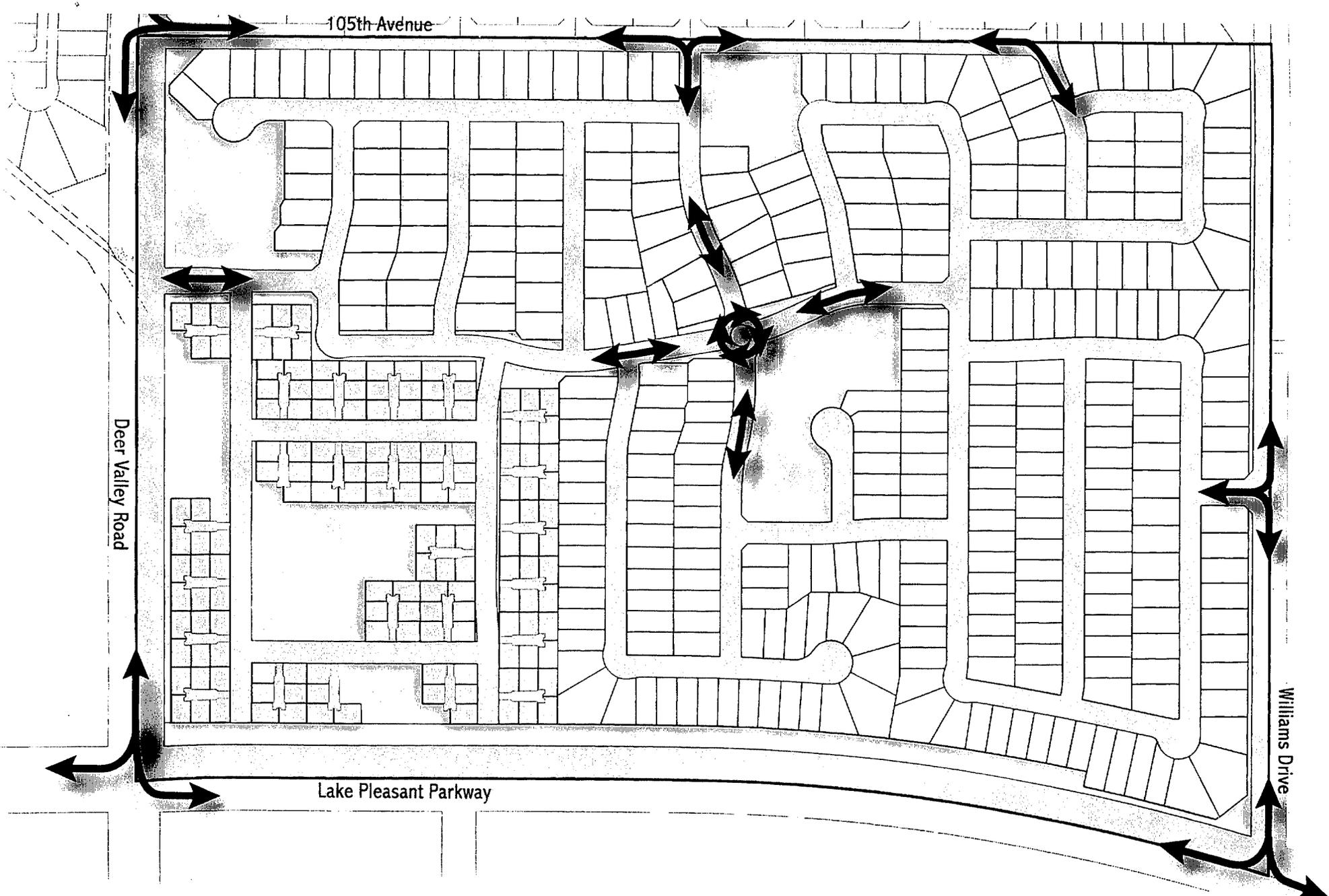
### Lake Pleasant Parkway

Lake Pleasant Parkway is in the process of being upgraded from the existing two-lane road to a divided parkway with three lanes in each direction. The parkway is being constructed in phases with the first phase completed and the second phase from 95<sup>th</sup> Avenue to Williams Road scheduled to begin construction soon. Development of Camino A Lago will expand upon the City's construction to build out the entire west half of the Parkway adjacent to the site. West half pavement width will be 45' curb to curb. This will include three 12-foot lanes, a 5-foot bike lane, and 2-foot vertical curb and gutter on each side. The east half including the landscape median will be constructed when property to the east is developed.



*Lake Pleasant Parkway cross-section*

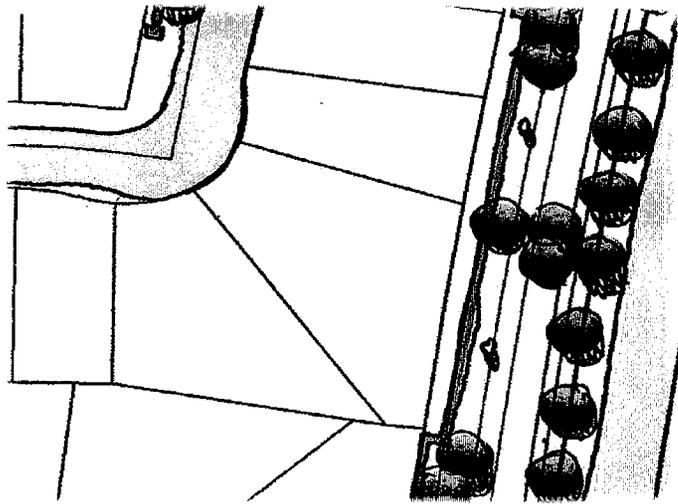
As stated in the Lake Pleasant Parkway Corridor Specific Area Plan, a 15-foot wide landscape buffer is required along Lake Pleasant Parkway adjacent to the right-of-way. This buffer is included in the drainage easement and drainage channel area along the majority of the site's east boundary. Until the full width of the Parkway is constructed, the west half will accommodate both north and southbound traffic and pavement will be striped to accomplish this.



\*Lotting shown is conceptual

### Access & Circulation Map

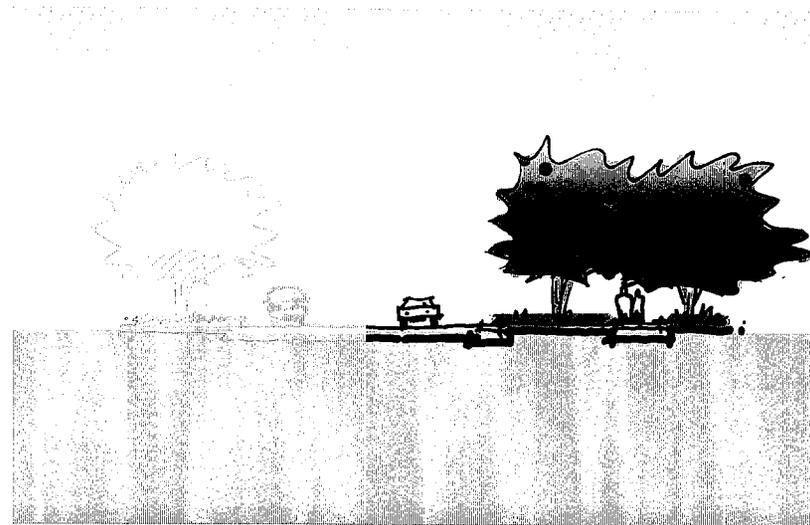
Casa del Rey  
at  
Camino A Lago



*Lake Pleasant Parkway Drainage Easement*

Deer Valley Road

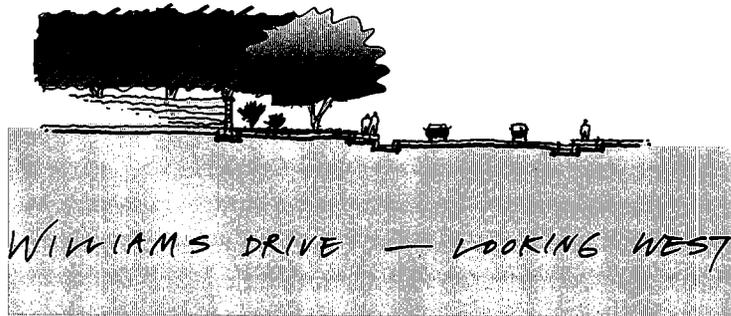
Deer Valley Road is designated as a major arterial road and will be constructed to arterial street standards within 65-feet of right-of-way (north half). This will include 32.5 feet of asphalt, curb and gutter, 5-foot concrete meandering sidewalk separated from curb, and a 27.5-foot wide area of landscaping. This construction will provide access on Deer Valley Road between Lake Pleasant Parkway through to 107<sup>th</sup> Avenue.



*Deer Valley Road Cross-Section*

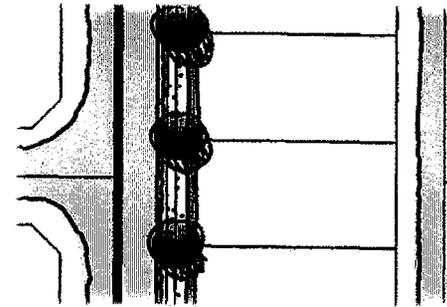
The south half of Deer Valley Road will be completed when the property to the south develops. Deer Valley Road will be connected to where it currently dead-ends at 95<sup>th</sup> Avenue when property adjacent to the undeveloped portions are developed.

Williams Drive



The south half of Williams Drive will be constructed to match the existing north half. Forty feet of right-of-way is required to be dedicated. Included in the right-of-way is 23.6 feet of asphalt, vertical curb and gutter, a 5-foot wide sidewalk, and nine feet of landscaping. These improvements will complete the full buildout of Williams Drive between Lake Pleasant Parkway and 107<sup>th</sup> Avenue.

105<sup>th</sup> Avenue



105<sup>th</sup> Avenue

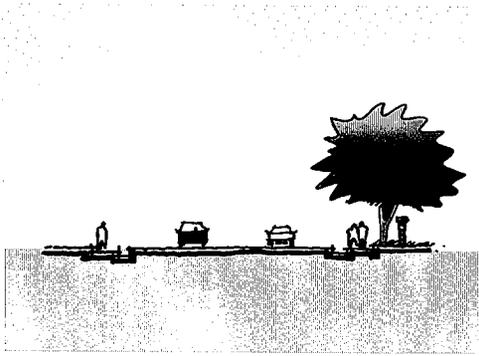
The west half of 105<sup>th</sup> Avenue was completed with the development of the Alta Vista subdivision. The east half will be developed with Casa del Rey. Thirty feet of additional right-of-way is required for a total width of 60 feet. The developer will construct 18.5 feet of asphalt, curb and gutter, 5-foot wide sidewalk, and approximately 4.5 feet of landscaping. This section will complete the full construction of 105<sup>th</sup> Avenue between Deer Valley Road and Robin Lane.

Local

Local streets will be constructed within 50 feet of right-of-way. Road width will be 33 feet between back of curbs and a 4-foot sidewalk on each side.

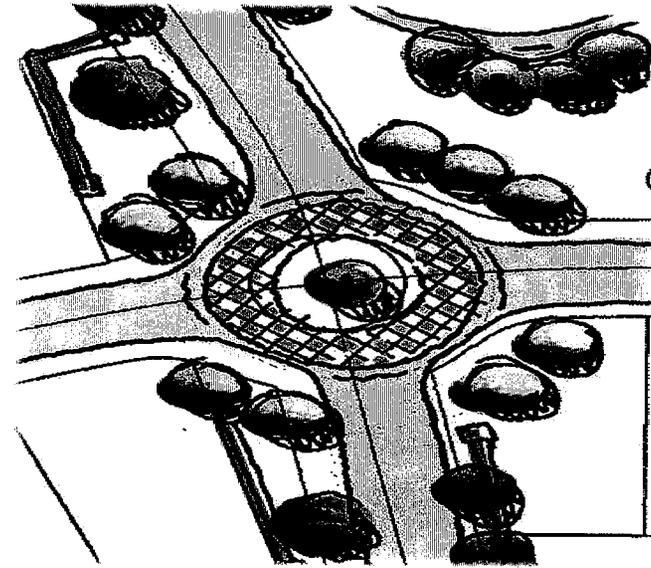
A traffic circle is proposed at the center of the community. The circle offers the benefits including:

- reduces vehicle speeds
- improves safety
- visually appealing
- creates a visual obstruction that deters through traffic
- does not restrict access for residents



105 TH AVE — LOOKING NORTH

The circle is also located adjacent to the central open space in the community. The two combined elements provide a central feature that focuses the neighborhoods and provides interest through unique design.



Central Traffic Circle

## PUBLIC FACILITIES

The public facilities necessary to service Camino A Lago are in place. There is an existing police substation and fire station at the new Pinnacle Peak Public Safety Facility located on Lake Pleasant Parkway one-quarter mile north of the project. The Sunrise Mountain library branch is located on 83<sup>rd</sup> Avenue just south of Deer Valley Road, approximately 1.5 miles to the west. Alta Vista Park is located on Williams Drive at 107<sup>th</sup> Avenue, one-eighth mile to the west.

## SCHOOLS

Camino A Lago is within the boundaries of Peoria Unified School District. Zuni Hills Elementary School is located on Williams Drive at 108<sup>th</sup> Avenue less than one-half mile to the west. An additional elementary school is planned on Rose Garden Lane, one-half mile to the south. Casa Del Rey will construct trail sections and sidewalks along streets within its development that will provide safe access to the schools.

Sunrise Mountain High School is located on 83<sup>rd</sup> Avenue south of Deer Valley Road approximately 2.5 miles to the west. An additional high school site within Camino A Lago is currently being negotiated between the City, State Land Department, and Peoria School District.

## UTILITIES

### Water

Camino A Lago is within the water service area of the City of Peoria. The City is a designated 100-year water provider.

There is an existing 30-inch water line along Lake Pleasant Parkway on the eastern boundary. There is also a 16-inch water line in Deer Valley Road along the southern boundary of the site. A new 16-inch water line must be extended from Deer Valley Road north along the west side of Lake Pleasant Parkway and connect with an existing line in Williams Road. A tee and stubout from this new 16-inch line will be extended to the east under Lake Pleasant Road for future development to the east.

### Sewer

Wastewater will be treated at the existing City plant located at 107<sup>th</sup> Avenue and Beardasley Road. There is an existing 30-inch sewer line in Lake Pleasant Parkway along the site's eastern boundary. This line turns west and runs in Deer Valley Road along the site's southern boundary where it continues to the treatment plant. A connection will be made to the line in Deer Valley Road at an existing manhole to service this development.

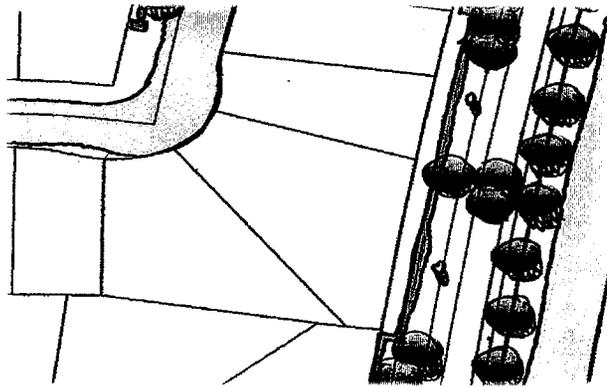
### Dry Utilities

Electricity, cable, natural gas, and telephone services exist in the area and will be extended to this community.

## GRADING AND DRAINAGE

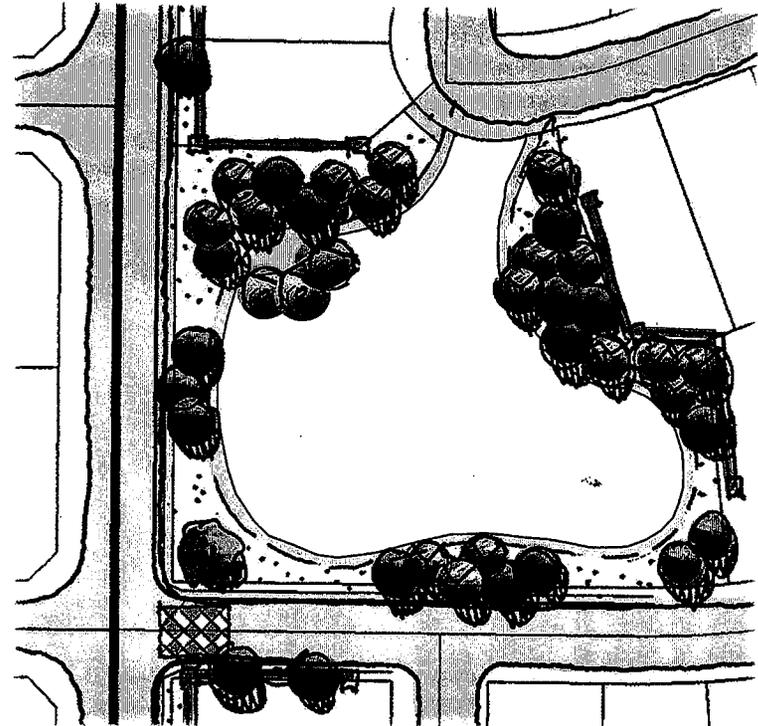
The site slopes gently to the south at a rate of 0.8 percent. The Ironwood subdivision to the north has channeled all stormwater from the north and west of Lake Pleasant Parkway along the north side of Williams Drive and west towards the Agua Fria River.

There is some off-site stormwater flow originating from vacant land to the northeast of the site, east of Lake Pleasant Parkway. This stormwater flows southwest under Lake Pleasant Parkway through existing pipes near the northeast corner of the site. This water will be directed in a channel along the east boundary of the site to the south. It will eventually flow to a channel along Rose Garden Lane and directed west to the Agua Fria River.



*Channel along Lake Pleasant Parkway*

On-site stormwater will be directed south through the site and exit the site at the point of historical flow. Retention for the 100-year two-hour storm event will be provided on site. Retention will be distributed through the site as much as possible and will provide a portion of the required landscape and open space areas.



*Open Space and Retention Area*

PHASING

The property owner intends to press forward with development of the entire property. However, the property will be divided into two phases of construction. The first phase to be marketed will be the standard single-family neighborhoods of 45-foot wide lots and 55-foot wide lots. The second phase will consist of the medium-density housing product. It is anticipated that sales in the second phase will begin before the completion of the first phase. Market conditions will determine the timing of the beginning and completion of each phase.