

ATTACHMENT A

**Sunrise at Desert Mountain PAD
(83rd Avenue and Deer Valley)
Standards and Guidelines Report
Z96-10**

April 26, 1996
Revised July 12, 1996

Prepared for

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INTRODUCTION

The purpose of this report is to establish land uses and development standards for the 13.6 acres located at the N.W.C. of Lone Cactus Road and 83rd Avenue, between Beardsley and Deer Valley Roads, and geographically central to the Peoria City limits.

The property owner wishes to rezone the property from RM-1, to a Planned Area Development. The PAD provides for a unique single-family *detached* product rather than renter occupied apartments or *attached* single family.

The proposed development consists of a gated community for detached single family homes nestled around the centrally dispersed recreation and open spaces, and surrounded by landscape tracts abutting the private and public streets.

The following report provides the detailed Preliminary Development Plan and development standards to be utilized in carrying out development of the property.

EXISTING CONDITIONS

Existing Land Use The property consists of undeveloped land surrounded by cultivated fields, other vacant land and the Sunrise Mountain High School to the south.

Existing Zoning The site was zoned RM-1 in 1990 by case Z 90-19. The site also received site plan approval under case PR 90-26 for a 200 unit apartment complex at 18 du/ac. The abutting land to the west was rezoned R1-12, R1-10 and R1-8. The property to the north was zoned C-2 commercial district.

Comprehensive Master Plan The Comprehensive Master Plan designates the subject site for Low Density Residential (1.5 to 4.0 dwelling units per acre). Including the R1-12, R1-10 and R1-8 lands surrounding this site as part of the original zoning case, the overall proposed density is approximately 3.5 du/ac. which is within the CMP designation.

Existing Drainage The PAD site drains to the southwest with an average slope of .5%.

Existing Utilities

- Electrical service will be provided by Arizona Public Service.
- The subject property is within the City of Peoria Beardsley Road Improvement District, which ultimately formed in 1984. The development will connect with the sewer laterals and trunk lines which ultimately connect to the City's Waste

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Water Treatment Plant (WWTP) located at the southwest corner of 111th Avenue and Beardsley Road.

- The PAD area is within the privately owned franchise area of the New River Utility Co. Therefore, future water service will be provided by the New River Utility Company unless the private franchise is acquired by the City or developers.
- Streets providing existing access to the subject property include 83rd Avenue. Lone Cactus Road is being improved for access to the high school and will be further improved with development of the proposed subdivisions on the adjacent R1-12, R1-10 and R1-8 sites to the west of the PAD site.
- Fire and Police service for the PAD area is provided by the City of Peoria.

PRELIMINARY DEVELOPMENT PLAN

The proposed land use for this PAD is single family detached residential with several dispersed common recreation and useable open space areas totaling .98 acres. See the Preliminary Development Plan. The lots will accommodate specially designed products which allow front, side and rear yards.

PAD DEVELOPMENT STANDARDS

Permitted Uses The proposed PAD permits the principal and accessory uses provided within the R1-6 single family district.

Statement of Conformance The development shall comply with all applicable ordinances, codes and policies of the City unless otherwise provided herein.

Single Family Residential Development Standards

DEVELOPMENT STANDARDS							
PARCEL	MINIMUM	MINIMUM YARD SETBACKS				MAXIMUM LOT COVERAGE	PAD BOUNDARY
		FRONT	REAR	SIDE (INTERIOR)	SIDE (STREET)		
1	3,200 S.F.	18'	15'	3' & 3'	8'	50%	20'

Parking The PAD proposes 2 on-site parking spaces behind the front yard setbacks (within garages) and an additional 55 parking spaces evenly distributed throughout the

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site totaling 2.5 spaces per dwelling for the PAD. These additional parking spaces shall be 9.5'x20'.

Landscaping, Fencing and Walls The PAD also provides 20'-30' and 8'-10' landscape tracts along 83rd Avenue and Lone Cactus Drive, respectively. These tracts will be constructed to City of Peoria landscape standards and dedicated to and maintained by the homeowners association. Landscaping, walls and fences for the PAD shall be designed and constructed to Peoria Landscape, Walls and Fence Standards.

Architecture The proposed architectural designs, colors and materials are submitted as an exhibit to the PAD application but not as part of the standards. The proposed products will have stucco exteriors with varied colors and tile roofs complimentary to the desert southwestern environment.

CIRCULATION On-site circulation for the PAD consists of the double gated entry near the center of the site entering off Lone Cactus Road, continuing in a loop pattern through the complete site, and including an emergency exit/access at the southwest corner of the site. The proposed private road will be constructed to City standards for a 24' width private street and meet the City radius requirements on all corners within the site. Residents will have easy pedestrian access to the common recreational and open space of the PAD equally from all locations of the project.

DRAINAGE The school district has an agreement with the property owner to receive and retain the drainage from this site, to be designed and constructed in conformance with all other City drainage requirements. This agreement shall be filed with the City Engineering Department.

PHASING The PAD project will be developed in one phase, with construction expected to commence with approval of the final plat, targeted for late 1996.

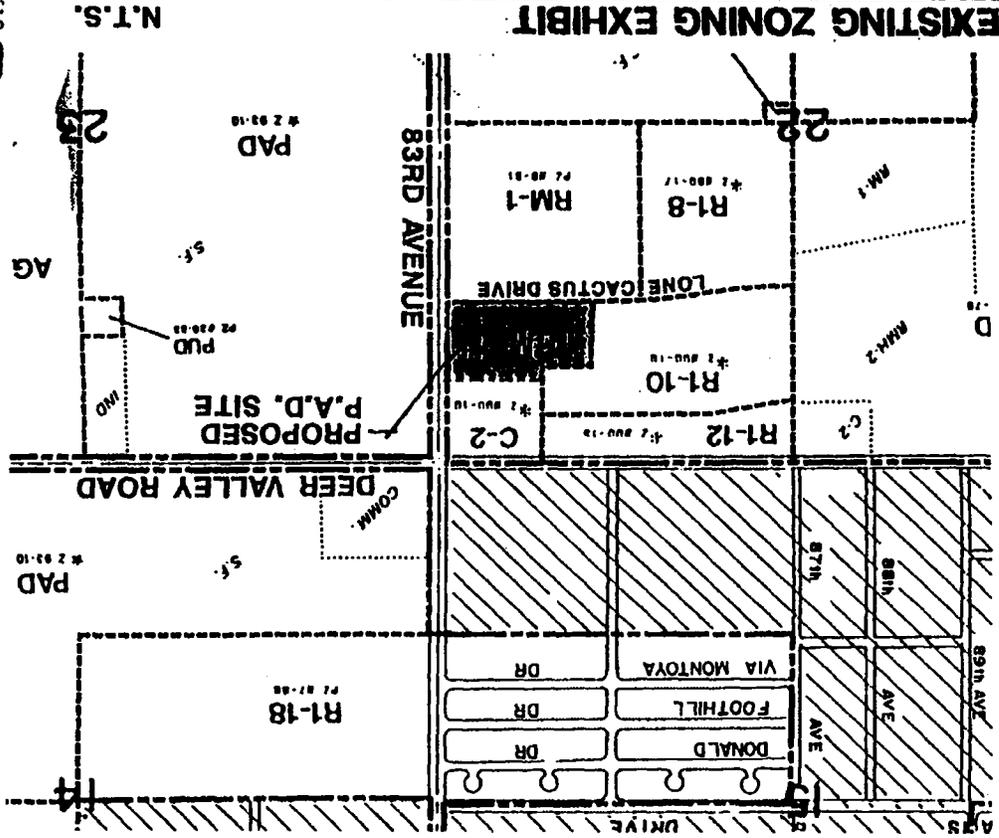
COMMUNITY RECREATION AND OPEN SPACE The PAD shall provide .98 acres of usable recreation and open space dispersed throughout the development, providing ample landscaping, a pool, covered ramada structure, tables, benches, and a tot lot. This acreage represents 7.2% useable open space for the PAD. Other ample landscaped areas will be provided within the PAD, surrounding the provided off-street parking areas, as well as interior landscape buffers between the private drive, surrounding single family development and the PAD street boundaries. Since the site provides no on-site drainage for the project, the open space is 100% useable at all times. The combined acreage of Landscape tracts and recreation areas is 1.6 acres or 11.8%.

Maintenance All private roadways, landscaping and recreational improvements shall be maintained by a Homeowners Association. The developer shall additionally form a Maintenance Improvement District (MID) to maintain these areas in the event the association fails.

83RD & DEER VALLEY

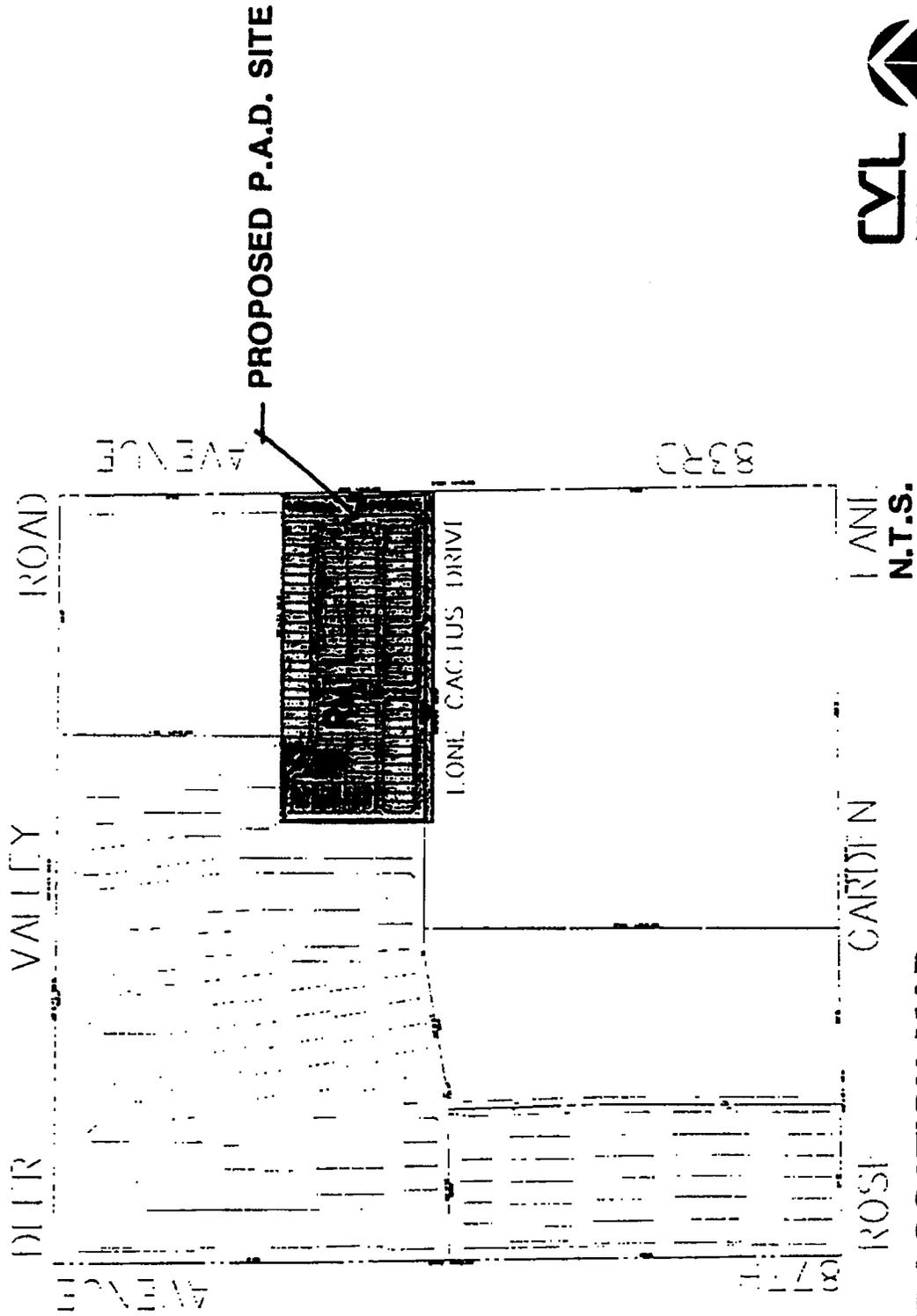
EXISTING ZONING EXHIBIT

CVL # 93-0097-05
DATE: 4-28-96



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CVL # 93-0097-05
DATE: 4-26-96

SITE LOCATION MAP

83RD & DEER VALLEY

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June 20, 1996

ZONING LEGAL DESCRIPTION FOR
PROPOSED SUNRISE AT DESERT MOUNTAIN
PAD
(Z96-10)

That part of the Northeast Quarter of Section 22, Township 4 North, Range 1 East, of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows:

Commencing at the Northeast Corner of said Section 22;

Thence South $00^{\circ}23'46''$ East, along the East line of the Northeast Quarter of said Section 22, a distance of 721.49 feet to The True Point of Beginning;

Thence continuing South $00^{\circ}23'46''$ East, along said East line, a distance of 530.08 feet;

Thence leaving said East line of the Northeast Quarter of Section 22, the following courses;

Thence North $89^{\circ}24'12''$ West, a distance of 1,130.00 feet;

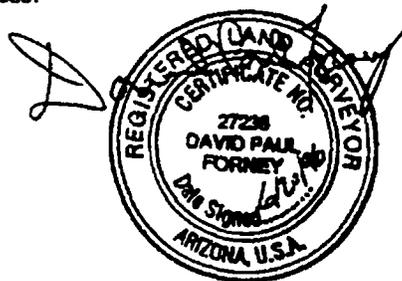
Thence North $00^{\circ}35'48''$ East, a distance of 515.00 feet;

Thence South $89^{\circ}24'12''$ East, a distance of 295.74 feet;

Thence North $00^{\circ}35'48''$ East, a distance of 15.00 feet;

Thence South $89^{\circ}24'12''$ East, a distance of 825.07 feet to the True Point of Beginning.

Containing 13.591 acres more or less.



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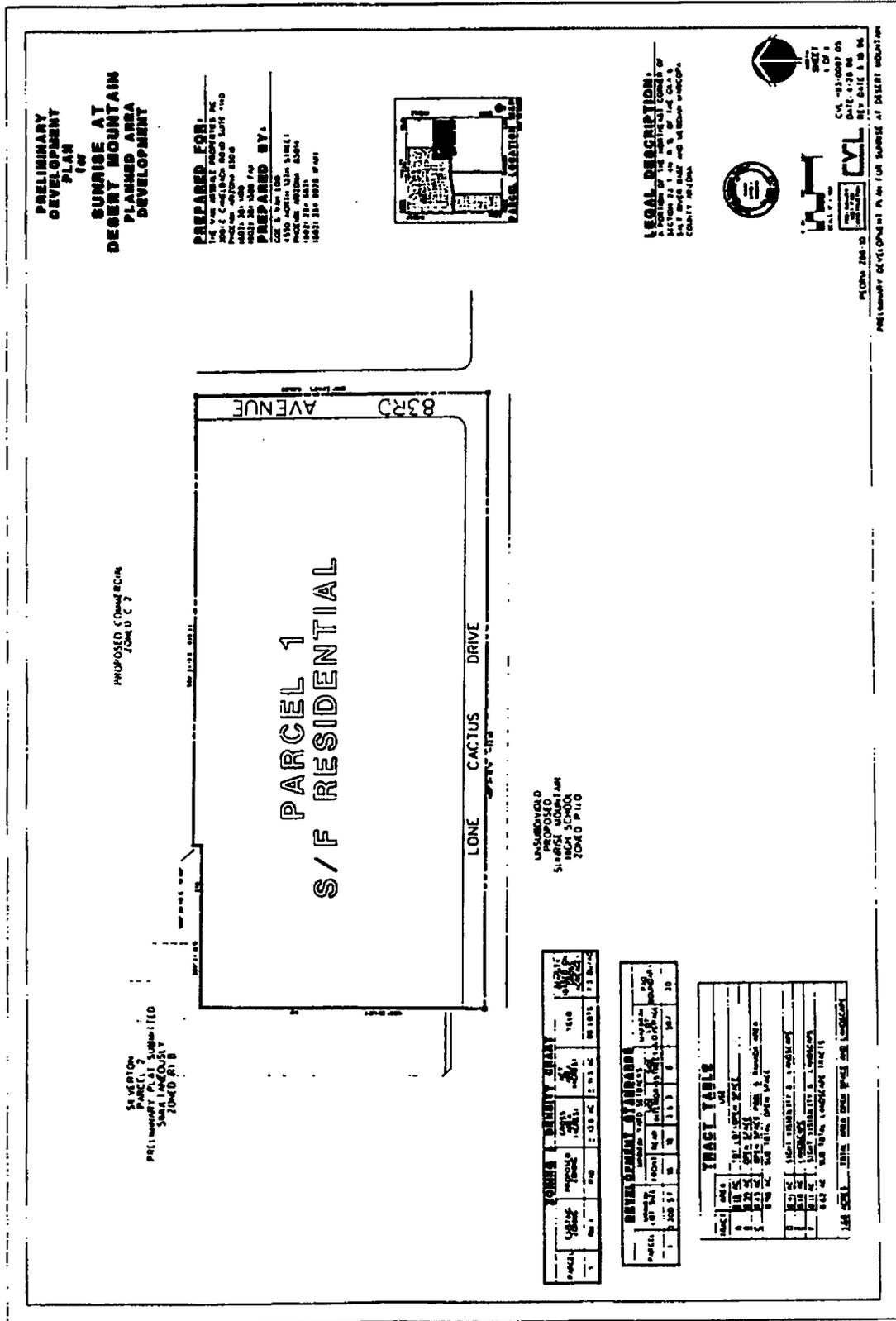


EXHIBIT "A"
IS ON FILE IN THE
CITY OF PEORIA
CITY CLERK'S OFFICE



EXISTING ZONING MAP

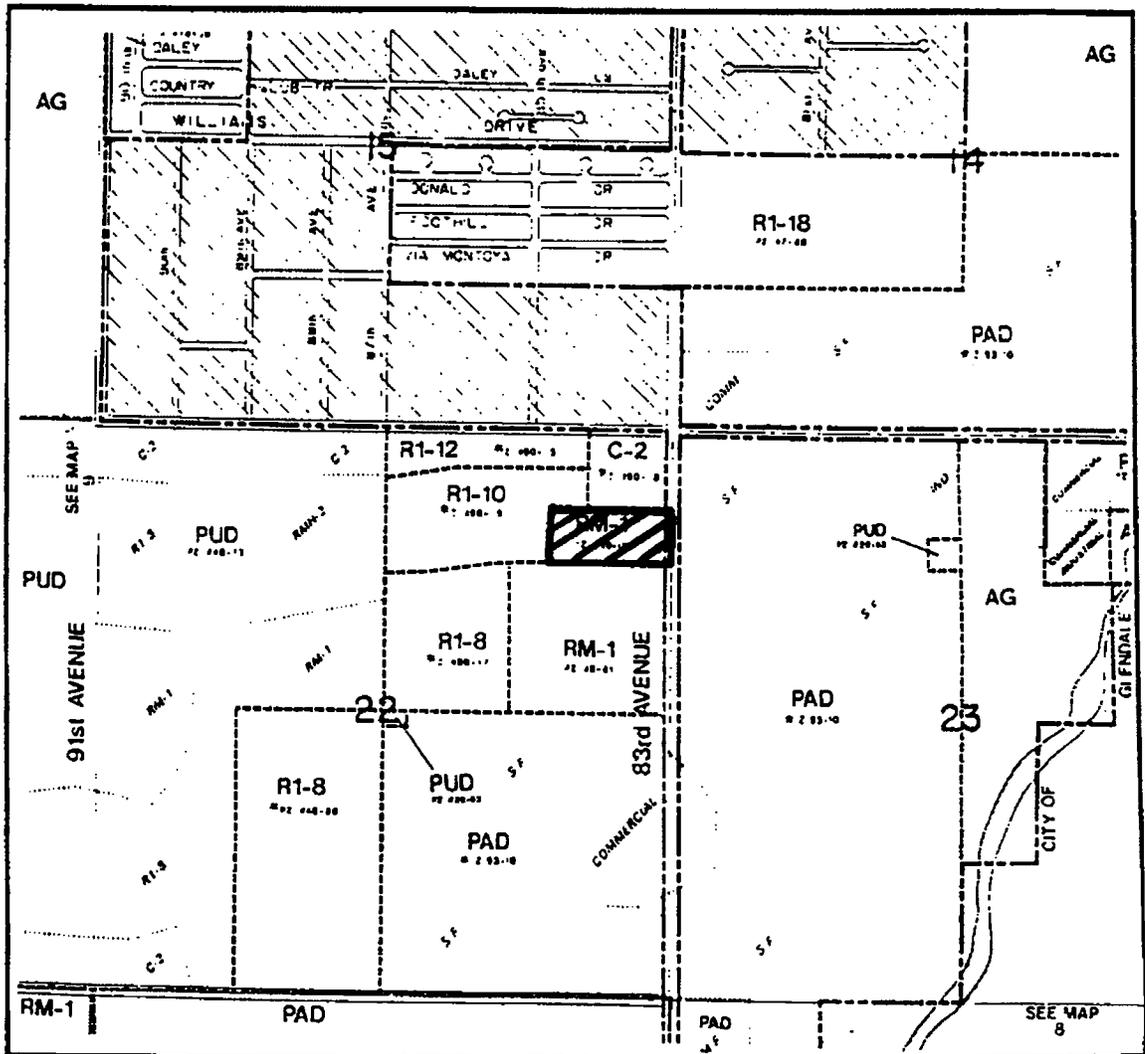
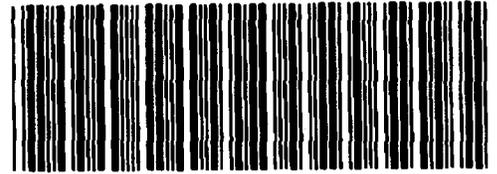


EXHIBIT A



OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
HELEN PURCELL

96-0683187 09/26/96 02:55

KATHERINE 1 OF 3

**RETURN TO: CITY CLERK
8401 W. MONROE ST.
PEORIA, AZ 85345**

ORDINANCE NO. 96- 80

AN ORDINANCE OF THE CITY OF PEORIA, MARICOPA COUNTY, ARIZONA CONDITIONALLY REZONING PROPERTY FROM RM-1 and C-2 ZONING DISTRICTS TO PLANNED AREA DEVELOPMENT (P.A.D.) ZONING DISTRICT; AMENDING THE ZONING MAP AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Peoria Planning and Zoning Commission held a Public Hearing in zoning case Z 96-10 on August 8, 1996 in the manner prescribed by law for the purpose of considering an amendment to the district boundaries of property within the City of Peoria, Arizona to provide for conditional rezoning of a parcel of property as described on Attachment A from zoning district Multi-family Residential (RM-1) and Intermediate Commercial (C-2) to Planned Area Development (P.A.D.) zoning district as provided in Article 14-33 of Chapter 14 of the Peoria City Code;

WHEREAS, due and proper notice of such Public Hearing was given in the time, form, substance and manner provided by law including publication of such notice in the Daily News Sun on July 24, 1996; and

WHEREAS, the Mayor and the Council of the City of Peoria, Arizona, held a Public Hearing in zoning case Z 96-10 on August 27, 1996 in the manner prescribed by law and the Mayor and Council of the City of Peoria, Arizona, desires to rezone the property from Multi-family Residential (RM-1) and Intermediate Commercial (C-2) to Planned Area Development (P.A.D.) zoning district as described on Attachment A, and depicted on Exhibit A as aforesaid.

NOW, THEREFORE BE IT ORDAINED by the Mayor and Council of the City of Peoria, Arizona that:

SECTION 1. Parcel of land in Peoria, Maricopa County, Arizona is more accurately described on Attachment A is hereby conditionally rezoned from zoning district Multi-family Residential

ORDINANCE NO. 96- 80

Page 2 of 14 Pages

(RM-1) and Intermediate Commercial (C-2) to Planned Area Development (P.A.D.) zoning district.

SECTION 2. That the rezoning herein provided for be conditioned and subject to the following:

- a. Development within the P.A.D. area shall conform with the Sunrise at Desert Mountain P.A.D. Report dated July 12, 1996, with the following modification:
 - (1). A provision be added to the standards requiring the applicant to post signs to be maintained by the Homeowners Association at the entry points to the project notifying residents that the streets within this development are not maintained by the City of Peoria.
- b. The applicant shall dedicate 65 feet of right-of-way for the west half-street for 83rd Avenue.
- c. The applicant shall dedicate 60 feet of right-of-way along the south boundary for Lone Cactus Drive.
- d. If water service is provided by the New River Utility Company, the developer shall be responsible to have the New River Utility Company provide water consumption data for individual users to the City to compute sewer billing.
- e. If water service is to be provided by the New River Utility Company, all future purchasers shall be notified the development is to be served by a private water company and is not served by the City of Peoria.
- f. The developer and New River Utility Company shall grant to the City of Peoria the right to extend City water lines through the street right-of-way.
- g. If water is to be provided by the New River Utility Company, the developer will form a fire improvement district to pay for any additional costs which might be incurred by the City of Peoria to provide additional fire

hydrant maintenance, line over sizing, water use for fire suppression, water storage, etc., in connection with fire suppression operations or to meet City fire flow standards, prior to City Council approval of the Final Plat for the development.

- h. The front yards of all lots within the development shall be landscaped by the developer.
- i. All elevations of the homes shall include architectural treatment to the windows.
- j. The applicant shall offer three or more home and roof tile color options.

. SECTION 3. Amendment of Zoning Map. The City of Peoria zoning map is herewith amended to reflect the change in districts referred to in Section 1 above.

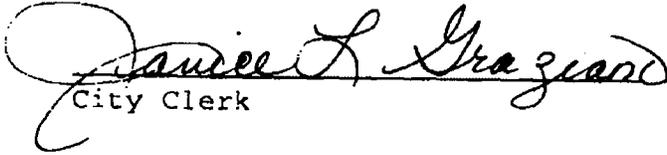
SECTION 4. Effective Date. This Ordinance shall become effective at the time and in the manner prescribed by law.

PASSED AND ADOPTED by the Mayor and Council for the City of Peoria, Arizona this 17th day of September , 1996.

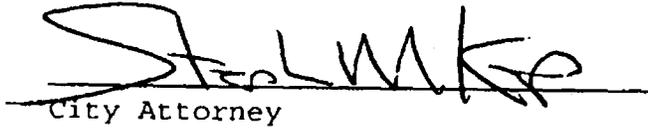
Ken C. Forgia
Mayor
9/24/96
Date Signed

ORDINANCE NO. 96- 80
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ATTEST:


City Clerk

APPROVED AS TO FORM:


City Attorney

Published in: Daily News Sur Pub. Dates: 9/20 & 9/24/96

Effective Date: 10/23/96

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PAGES 5 THRU 14
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