



On 83rd

**Planned Area Development
Standards and Guidelines Report**
Northwest corner of 83rd and Olive Avenues

PLANNING & ZONING

Planned Area Development Approval

P/Z Commission Date: 12/12/2019

City Council Approval Date: 1/21/2020

Planner: Cody Gleason

Administrative Approval Date: N/A

Submitted By/Applicant:
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Case # Z19-01

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Oct. 1, 2019

Nov. 18, 2019

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- A – Legal Description
- B – Existing Zoning Map
- C – Proposed Zoning Map
- D – Preliminary Site Plan
- E – Preliminary Landscape Plan

Introduction (Purpose and Intent)

The Development Team is submitting this request for Planned Area Development (PAD) zoning in order to develop Christopher Todd Communities on 83rd, which consists of approximately 17.65 gross acres located at the northwest corner of 83rd Avenue and Olive Avenue.

The property was zoned from O-1 (Office Commercial) and C-2 (Intermediate Commercial) to PAD in 2008 under the Colonial 83rd and Olive multi-family project.

This proposed amendment seeks replace the existing PAD zoning with another PAD for a different type of multi-family residential. The request in general reduces the density and intensity of the multi-family residential.

Preliminary Development Plans

The preliminary development plans, included as a part of this PAD application, propose a multi-family project to be known as Christopher Todd Communities on 83rd. (see Exhibit E for Preliminary Site Plan and Exhibit F for Preliminary Landscape Plan)

While multi-family in zoning, with multiple dwelling units on a single parcel, Christopher Todd Communities on 83rd functions more like a grouping of attached and detached single-family buildings and are akin to a compact single family subdivision offering central amenities. Unlike the typical vertical apartment complexes that are two or more stories, horizontal communities are single story and in the case of Christopher Todd Communities, are small homes that are for rent. Buildings are grouped to create intimate courtyards, anchored by shade trees to support healthy neighborhood interaction.

The proposed Christopher Todd Community is a gated community that consists of 189 rental homes, with both one and two bedroom units. The two bedroom homes are fully detached wherein the one bedroom homes are “duplex” style and share a single common wall. Rental homes form clusters in a ring both on the outside and inside of a series of looping drive aisle bordered with parking (a mix of garages, covered and uncovered stalls).

While parking and vehicular circulation is provided in accordance with the Peoria Zoning Ordinance, those vehicular elements are not meant to define the experience as they would in typical single family community dominated by driveways and garages. Once a resident exits their vehicle within a Christopher Todd Community, they are greeted by inviting paths encouraging pedestrian activity and interaction.

The design of all residential structures within proposed Christopher Todd Communities on 83rd will feature a mix of “Craftsman” and “Farmhouse” architectural themes. Each structure will contain elements and details appropriate for the architectural theme.

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As demonstrated by the preliminary development plans (Exhibits D & E), Christopher Todd Communities on 83rd contains a central amenity area that includes the rental office, restrooms, and mailboxes along with amenities for the residents as required in the Design Review Manual. These amenities include but are not limited to a pool with decking, spa, a grass open play area for active recreation, and a fitness studio. Separate smaller amenities include a shade structure with small grassy area at the southern portion of the community and small respite area with benches at the northeast portion of the project.

Each unit offers a small landscaped private backyard, similar to a single-family home. However, with Christopher Todd Communities, these yards will be maintained by the property manager, not the individual resident. These back yards account for considerable outdoor recreation space to be utilized by the residents and would take the place of smaller pocket parks typically found in traditional multi-family projects.

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Uses

Principally permitted Uses within the Christopher Todd Communities on 83rd PAD shall be Multi-Family Residential. Permitted Accessory Uses shall be those commonly incidental to a Multi-Family Residential development. No Conditional Permitted Uses shall be allowed within the development.

Project Development Standards

Unless modified within the information below, development of the property shall comply with the development provisions of the Peoria Zoning Ordinance for the Multi-Family Residential (RM-1) zoning district and with other provisions of generally applicability to that of a multi-family residential development.

Modified Development Standards	
Lot Standards	
Maximum Gross Density (du/ac – as calculated by Peoria General Plan)	11
Principal and Accessory Building/Structure Standards	
Maximum Building Height	25 Feet/1 Story ⁽¹⁾
Minimum Property Line Building Setbacks	
83 rd and Olive Avenue Property Lines	20 Feet
Commercial (Convenience Store) Property Lines	20 Feet ⁽²⁾
West Property Line with Single Family Residential	20 Feet
North Property Line with Single Family Residential	30 Feet
Minimum Building Separation	10 Feet

- (1) An entry portico shall be allowed at a height up to 40 feet for adequate emergency vehicle ingress and egress as well as appropriate architectural rooflines to match the primary buildings.
- (2) Accessory structures such as parking canopies and trash enclosures shall be allowed up to a minimum of 5 feet from these property lines.

Project Landscape and Open Space Standards

Unless modified within the table information, development of the property shall comply with the landscape provisions of the Peoria Zoning Ordinance for the Multi-Family Residential (RM-1) district and with other provisions of generally applicability to that of a multi-family residential development.

Modified Landscape and Open Space Standards		
Landscape Buffers		
Minimum Landscape Buffer		
	Adjacent to Residential	Zero Feet ⁽¹⁾
	Adjacent to Commercial	5 Feet ⁽²⁾
Open Space		
Minimum Common Usable Open Space		125 sq. ft. per bedroom
Minimum Private Yard/Open Space		200 sq. ft for 1 bd units and 300 sq. ft for 2 bed units. Minimum depth yard shall be 8 feet.

- (1) Minimum 20' deep fenced yards shall be provided along the property line with single family residential and shall consist of a minimum of one tree and inert groundcover in each private yard space to act as buffering.
- (2) Unless a fenced yard is provided per above note.

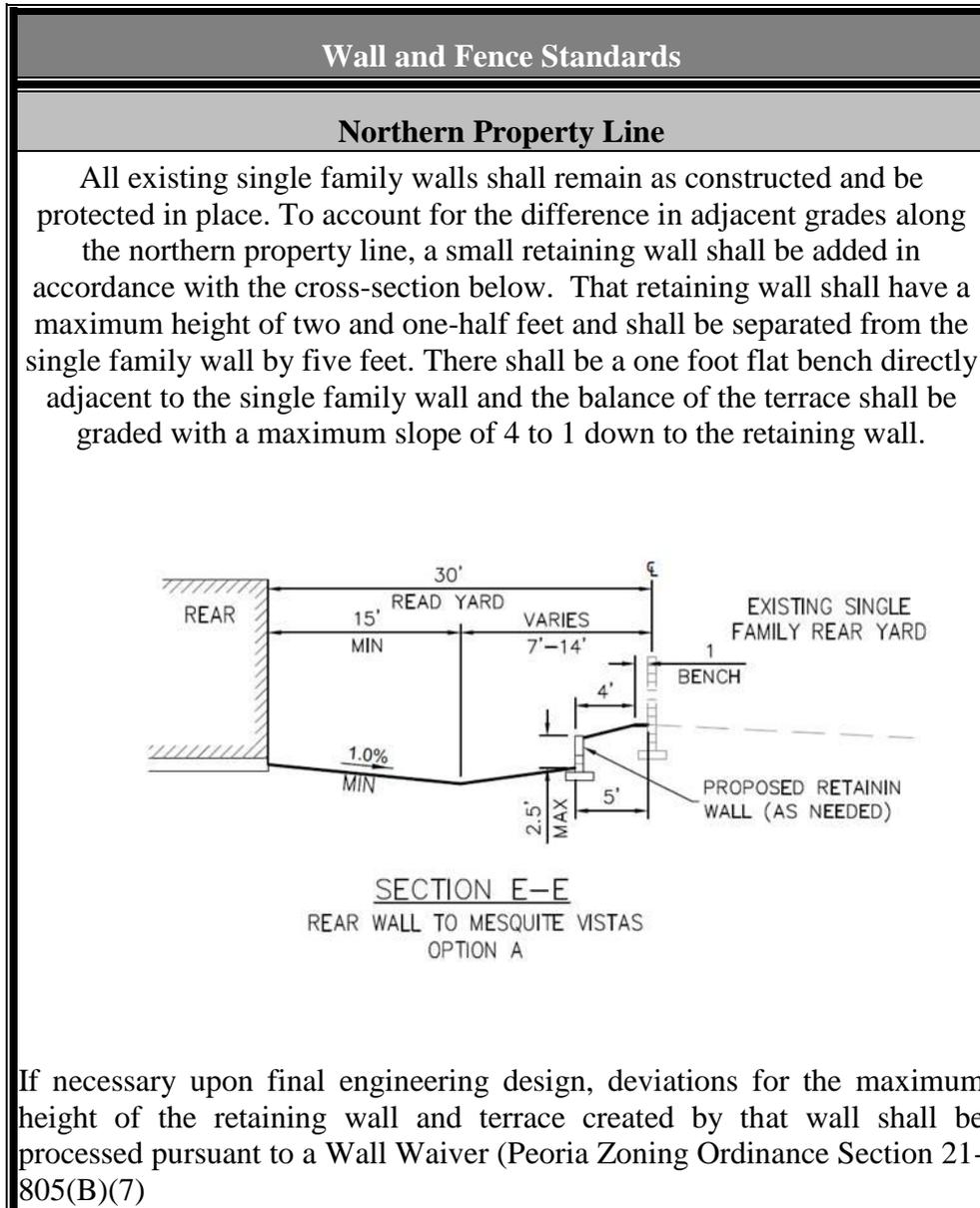
Project Parking Standards

Unless modified within the information below, development of the property shall comply with the parking provisions of the Peoria Zoning Ordinance for the Multi-Family Residential (RM-1) district and with other provisions of generally applicability to that of a multi-family residential development.

Parking Standards	
Vehicle Parking Requirements	
Guest Parking	1 per each 10 units
Bicycle Parking Requirements	
Residential Units	Zero
Leasing Office	1 rack for at least 6 bikes
Parking Stall Sizes	
Standard Stall	9' x 20'

Project Wall and Fence Standards

Unless modified within the information below, development of the property shall comply with the wall and fence provisions of the Peoria Zoning Ordinance for the Multi-Family Residential (RM-1) district and with other provisions of generally applicability to that of a multi-family residential development.



Christopher Todd Communities on 83rd Standards and Guidelines Report

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Design Guidelines

All development within the Christopher Todd Communities on 83rd PAD shall comply with the City of Peoria Design Review Manual, unless modified by this Planned Area Development.

Architecture theme for the community shall be a mix of “craftsman” and “farmhouse” or similar themes that reflect the agrarian history of Old Town Peoria. A minimum of three color schemes shall be used for each theme to add variety and visual interest. Exterior colors and materials will be specific to each color scheme.

Each one-story residence will feature four-sided detailing including but not limited to masonry, shutters, corbels, column details, and gable end detailing, appropriate for the architectural theme. The massing of the structures will include articulated facades, varying roof forms themselves will feature hip and gable concrete tile covered roofs featuring hipped gables, Dutch gables, and dormers typical of the architecture style.

Perimeter walls, constructed of masonry, will be of a design complementing the existing area walls while using materials and colors that are consistent with the on-site architecture. Walls shall undulate or use pilasters to break up long linear expanses along street frontages. Internal walls, creating the private yards of the residential will be made of white vinyl fence panels. This type of fencing provides a more timeless look matching the architectural themes and limits the harshness of additional masonry and/or stucco.

Grading and Drainage

The subject property is relatively flat and generally drains to the southwest. On-site retention basins or underground retention will be reviewed in accordance with City standards. As required by Peoria, drainage will be designed to accommodate 100 year, two-hour storm events.

Public Utilities and Services

Sewer.....	City of Peoria
Water.....	City of Peoria
Electricity	Salt River Project
Telephone.....	Local Provider
Cable TV.....	Local Provider
Gas	Southwest Gas

Christopher Todd Communities on 83rd Standards and Guidelines Report

Northwest Corner of 83rd and Olive Avenues

RefuseCity of Peoria
Fire and EmergencyCity of Peoria
Police.....City of Peoria
Schools.....Peoria Unified School District

Phasing and Development Schedule

Christopher Todd Communities on 83rd is expected to be completed in a single phase, although the construction and release of the individual rental homes will be sequenced following completion of the main infrastructure.

Exhibit A – Legal Description

**LEGAL DESCRIPTION
CITY HALL**

THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 1 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 27, BEING MARKED BY A BRASS CAP IN HAND HOLE, FROM WHICH POINT THE SOUTH QUARTER CORNER OF SAID SECTION 27, BEING MARKED BY A BRASS CAP FLUSH, BEARS SOUTH 89°26'20" WEST, A DISTANCE OF 2639.04 FEET;

THENCE SOUTH 89°26'20" WEST, ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER, A DISTANCE OF 711.96 FEET TO A POINT;

THENCE DEPARTING SAID SOUTH LINE, NORTH 00°33'40" WEST, A DISTANCE OF 33.00 FEET TO THE NORTH LINE OF THE SOUTH 33 FEET OF SAID SOUTHEAST QUARTER, SAID POINT BEING THE **POINT OF BEGINNING**;

THENCE CONTINUING NORTH 00°33'40" WEST, A DISTANCE OF 22.00 FEET;

THENCE NORTH 01°37'52" EAST, A DISTANCE OF 106.50 FEET;

THENCE NORTH 01°45'57" WEST, A DISTANCE OF 373.74 FEET;

THENCE NORTH 89°28'15" EAST, A DISTANCE OF 70.76 FEET;

THENCE NORTH 41°16'21" EAST, A DISTANCE OF 129.68 FEET;

THENCE NORTH 00°21'53" EAST, A DISTANCE OF 547.90 FEET;

THENCE NORTH 34°52'21" WEST, A DISTANCE OF 133.94 FEET;

THENCE NORTH 00°31'45" WEST, A DISTANCE OF 30.00 FEET TO THE NORTH LINE OF SAID SOUTHEAST QUARTER;

THENCE NORTH 89°28'15" EAST, ALONG SAID NORTH LINE, A DISTANCE OF 613.31 FEET TO THE WEST LINE OF THE EAST 33 FEET OF SAID SOUTHEAST QUARTER;

THENCE SOUTH 00°21'32" WEST, ALONG SAID WEST LINE, A DISTANCE OF 1286.94 FEET TO THE NORTH LINE OF THE SOUTH 33 FEET OF SAID SOUTHEAST QUARTER;

THENCE SOUTH 89°26'20" WEST, ALONG SAID NORTH LINE, A DISTANCE OF 679.49 FEET TO THE **POINT OF BEGINNING**;

EXCEPTING THEREFROM THAT PART OF SAID SOUTHEAST QUARTER DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 27, BEING MARKED BY A BRASS CAP IN HAND HOLE, FROM WHICH POINT THE SOUTH QUARTER CORNER OF SAID SECTION 27, BEING MARKED BY A BRASS CAP FLUSH, BEARS SOUTH 89°26'20" WEST, A DISTANCE OF 2639.04 FEET;

THENCE SOUTH 89°26'20" WEST, ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER, A DISTANCE OF 265.50 FEET TO A POINT;

THENCE DEPARTING SAID SOUTH LINE, NORTH 00°33'40" WEST, A DISTANCE OF 65.00 FEET TO THE NORTH LINE OF THE SOUTH 65 FEET OF SAID SOUTHEAST QUARTER, SAID POINT BEING THE **POINT OF BEGINNING**;

NORTH 00°21'32" EAST, A DISTANCE OF 201.54 FEET;

THENCE NORTH 89°26'20" EAST, A DISTANCE OF 211.54 FEET TO THE WEST LINE OF THE EAST 55 FEET OF SAID SOUTHEAST QUARTER;

THENCE SOUTH 00°21'32" WEST, ALONG SAID WEST LINE, A DISTANCE OF 166.54 FEET;

THENCE SOUTH 44°53'56" WEST, A DISTANCE OF 49.89 FEET TO THE NORTH LINE OF THE SOUTH 65 FEET OF SAID SOUTHEAST QUARTER;

THENCE SOUTH 89°26'20" WEST, ALONG SAID NORTH LINE, A DISTANCE OF 176.54 FEET TO THE **POINT OF BEGINNING**.

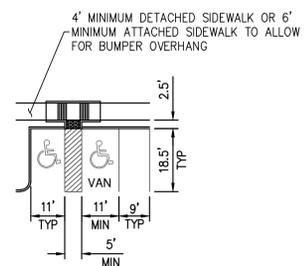
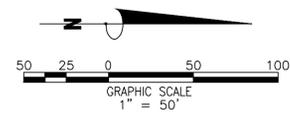
Exhibit B – Existing Zoning Map



Existing Zoning

Exhibit C – Proposed Zoning Map

Exhibit D – Preliminary Site Plan



TYPICAL PARKING DETAIL

- LEGEND**
- HANDICAP PARKING
 - ONE BEDROOM
 - TWO BEDROOM
 - GARAGES

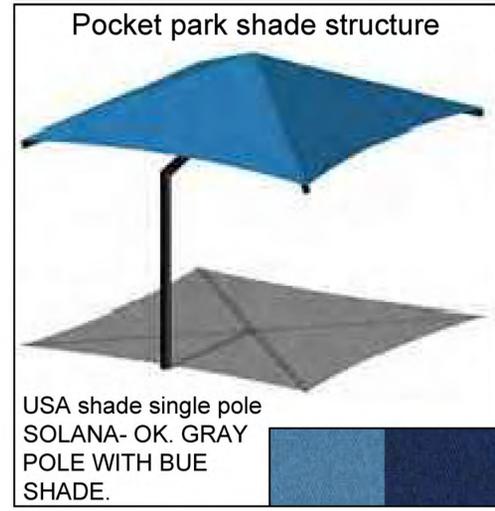
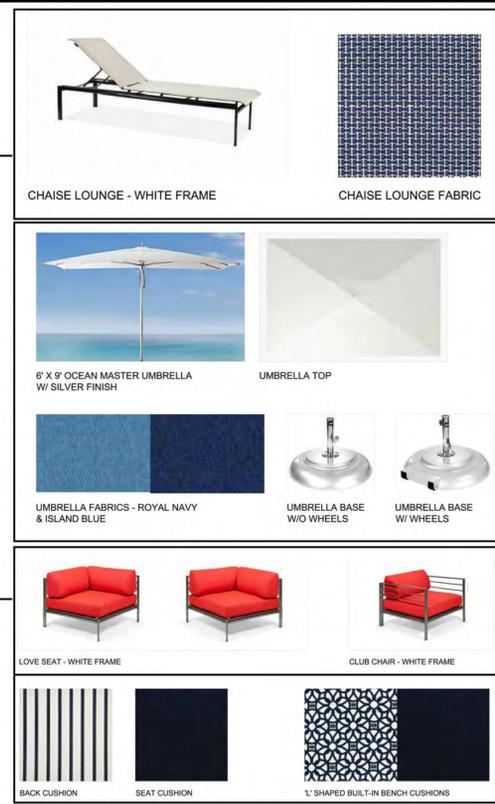
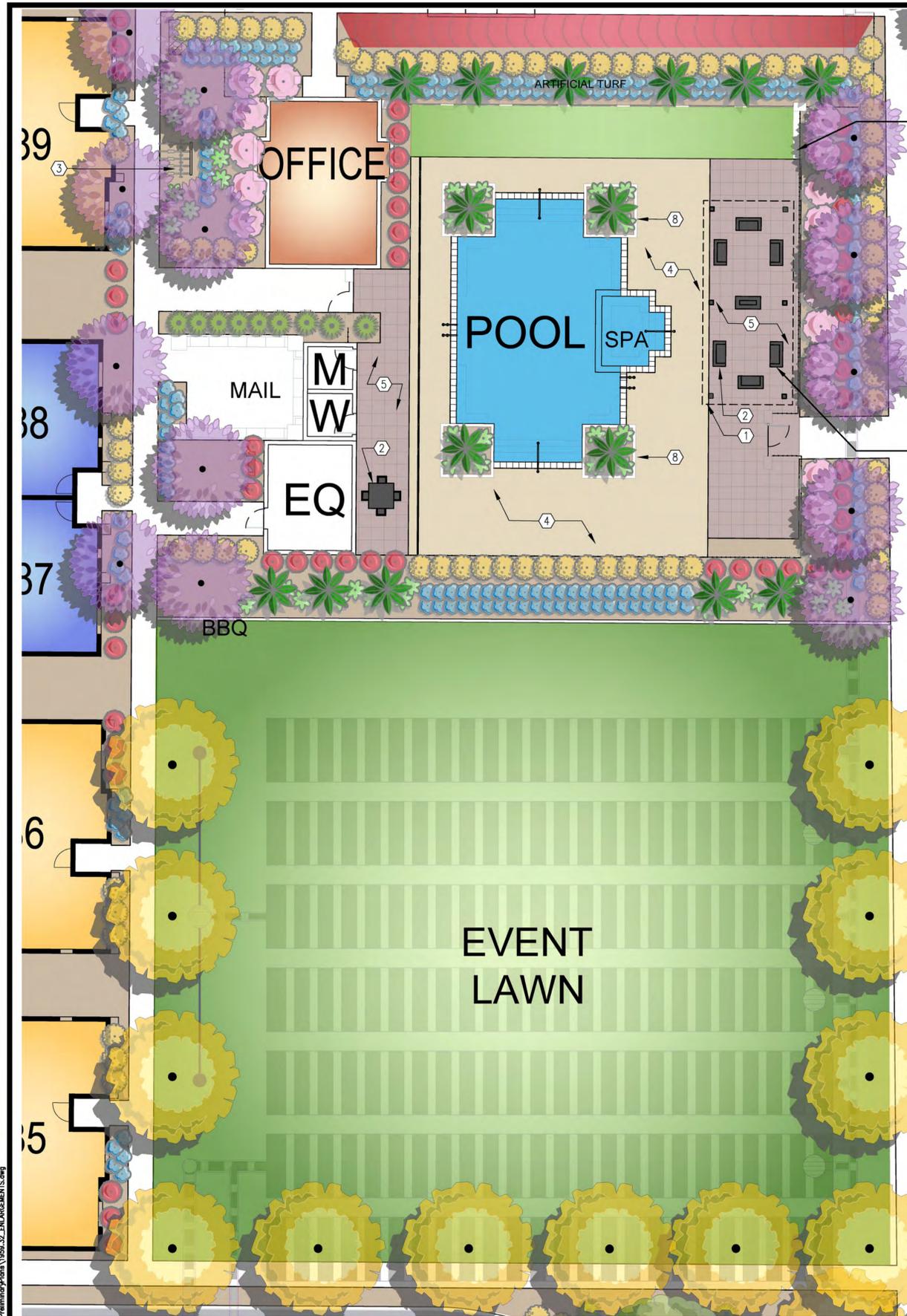
SITE DATA	
GROSS ACRES	17.65
NET ACRES	15.31
GROSS DU/AC	10.71
NET DU/AC	12.35

MULTI-FAMILY UNITS AND PARKING				
	NUMBER OF UNITS	MIX %	PARKING REQUIRED PER UNIT	TOTAL PARKING REQUIRED
1 BEDROOM	82	43%	1.5	123
2 BEDROOM	107	57%	2.0	214
TOTALS	189			337
VISITOR PARKING (1/10)				19
TOTAL PARKING REQUIRED				356
			PARKING PROVIDED	362

NOTE: PARKING PROVIDED INCLUDES GARAGES
BUILDING HEIGHT: 15'

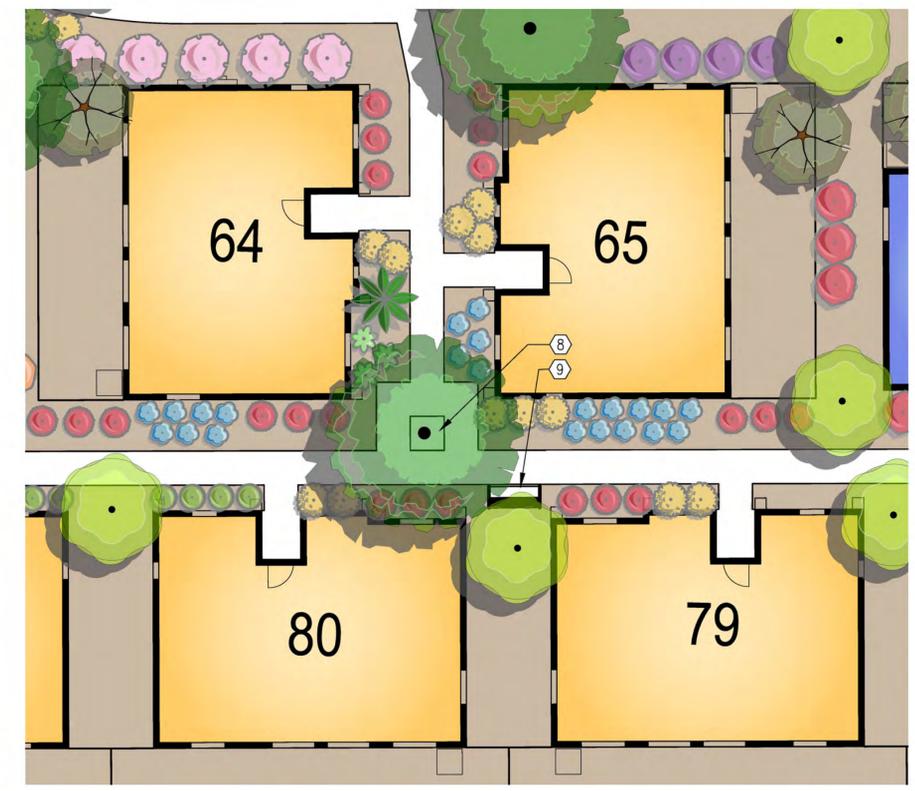
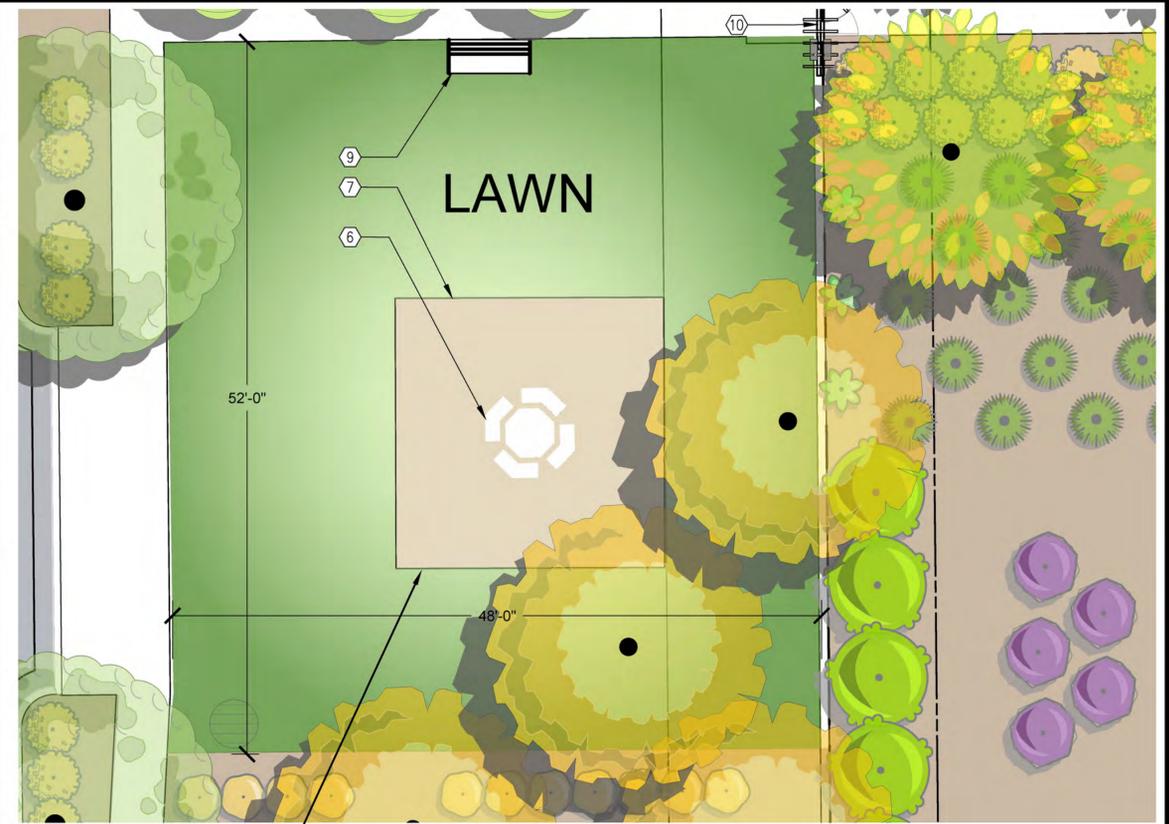
**CHRISTOPHER TODD
COMMUNITITES
ON 83rd
LAYOUT**

Exhibit E – Preliminary Landscape Plan



KEY NOTES #

1. COVERED RAMADA WITH FIRE FEATURE AND TV.
2. SITE FURNISHINGS
3. BIKE RACK
4. COOL DECK
5. ACCENT PAVER DECK
6. PICNIC TABLE
7. POCKET PARK SHADE STRUCTURE
8. TREE PLANTER
9. BENCH SEE SHEET 4
10. PEDESTRIAN GATE W/PERGOLA



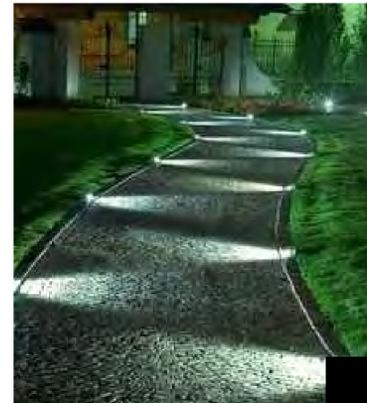
WestLand Resources
 2020 N. Central Avenue
 Suite 695
 Phoenix, Arizona 85004
 (602) 888-7000

CHRISTOPHER TODD ON 83RD

STREETSCAPE - PEDESTRIAN SCALED LIGHTING



TREE WELL LIGHTS - LOW VOLTAGE LED FIXTURE



IN GROUND SIDEWALK LIGHTING - LOW VOLTAGE LED FIXTURE

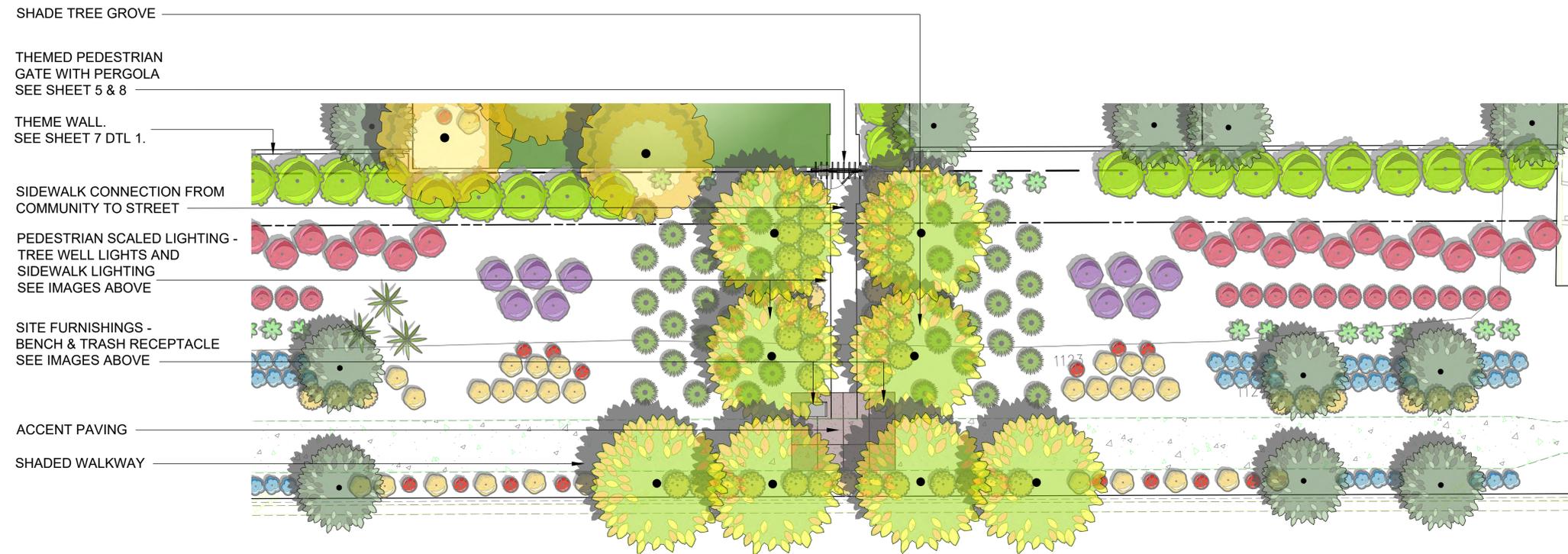


TRASH RECEPTACLE & BENCHES

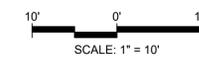


STREETSCAPE - PEDESTRIAN SCALED LIGHTING

STREETSCAPE SITE FURNISHINGS



PEDESTRIAN NODE TYPICAL ENLARGEMENT (SEE SHEET 5 FOR ELEVATION VIEW)



CHRISTOPHER TODD ON 83RD

PEDESTRIAN NODES AT 83RD AVENUE & OLIVE AVENUE ENLARGEMENT PLAN & SITE FURNISHING IMAGES



1 ELEVATION : ENTRY DRIVE VIEW FROM 83RD AVENUE TO POOL AREA

NOTE: TREES ARE SHOWN AT MATURITY



2 ELEVATION : TYPICAL PEDESTRIAN NODE AT 83RD AVENUE AND OLIVE AVENUE (SEE SHEET 4 FOR PLAN VIEW)

NOTE: TREES ARE SHOWN AT MATURITY

CHRISTOPHER TODD ON 83RD
PRELIMINARY LANDSCAPE
ELEVATION VIEWS

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