

# TERRAMAR COVE PAD

## STANDARDS AND GUIDELINE REPORT

Northwest Corner of 68<sup>th</sup> Avenue and Happy Valley Road

**4.99 Acres**  
**16 Lots**

Submitted by:

Cason Tyler Companies  
5108 N. 40<sup>th</sup> Street  
Suite 3  
Phoenix, Arizona 85018

Prepared By:  
Bowman Consulting Group  
14100 N. 83<sup>rd</sup> Avenue, Suite 250  
Peoria, AZ 85381

June 5, 2013

PLANNED AREA DEVELOPMENT  
APPROVAL

P/Z Commission Date 1/9/14  
City Council Approval Date 2/4/14

  
\_\_\_\_\_  
Planner

# TERRAMAR COVE PLANNED AREA DEVELOPMENT



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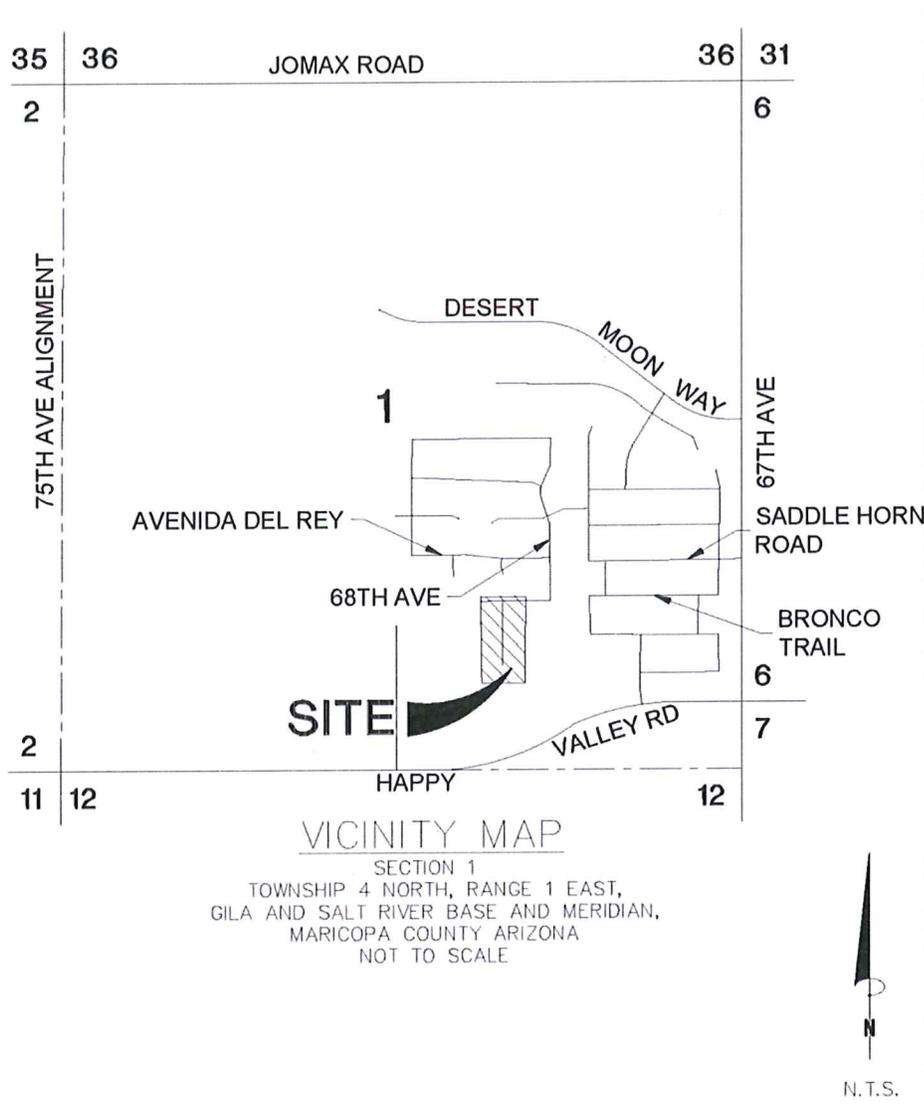
# TERRAMAR COVE PLANNED AREA DEVELOPMENT



## I. INTRODUCTION

Cason Tyler Companies is the proposed homebuilder of a proposed single-family subdivision on approximately 4.99 acres of land located north of Happy Valley Road and west of 68<sup>th</sup> Avenue in the City of Peoria, to be known as Terramar Cove. The property is adjacent to a City Park. This request is for a rezone to a Planned Area Development, that will match closely to the City's R1-8 single-family residential zoning district to allow for the proposed community.

This site is owned by Entrust Arizona (APN 201-09-006F) (Refer to the Vicinity Map Exhibit 1 below).



**EXHIBIT 1: VICINITY MAP**



# TERRAMAR COVE PLANNED AREA DEVELOPMENT



Terramar Cove is a proposed detached single-family residential subdivision that is complimentary, in both density and proposed product, to the goals of the City of Peoria and will enhance the utilization of land according to the established guidelines in Article 14-33 of the City's zoning ordinance. The proposed architectural style for this subdivision will be compatible and complimentary to the existing subdivisions in the northern developing areas of Peoria, including but not limited to Terra Vista Estates and Terramar. *(Refer to the attached Exhibit 4).*

Terramar Cove will be designed to promote the desirability of the residential development by adopting the following design criteria:

- The house plans will meet the City of Peoria's design criteria including but not limited to desert themed exterior colors, use of exterior stone and complimentary hardscape.
- Roof lines will vary from homes on adjacent lots and directly across the street from each other.

## II. CONSISTENCY WITH GENERAL PLAN

The development goal for the Terramar Cove Development is to provide uses and residential densities that are compatible with the long range goals of the City of Peoria's General Plan.

The current zoning designation for this site is Suburban Ranch District (SR-43) and is located within an area designated with Low Density Residential (2-5 du/ac, target of 3.0 du/ac). The Terramar Cove Development is proposing an overall target project density of 3.2 du/ac, which exceeds the required target density. This project is designed with active open space access that will exceed the minimum requirement of 9% for single family residential lots to support this request. *(refer to Exhibit 9 the General Plan Land Use Map and Exhibit 11 the Proposed Zoning Map).*

### Rezoning Request

Currently the property is vacant land zoned SR-43. This Project proposes rezoning the property from the SR-43 to PAD within the City. This change would better fit with the surrounding developed parcels *(refer to the attached Zoning Maps, Exhibits 10 and 11).*

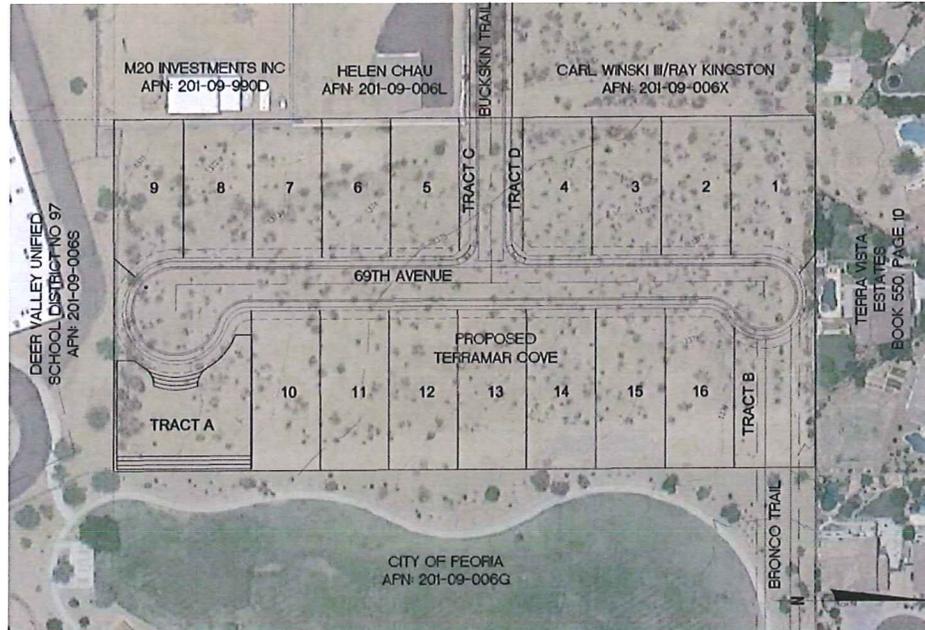
## III. GENERAL SITE INFORMATION AND EXISITING CONDITIONS

The site is a vacant parcel with natural desert terrain and is within the developing areas in northern Peoria. The gross acreage is 4.99 acres. The net acreage will be 4.02 ± acres. The site slopes from the northeast to the southwest corner with an average slope of 1.3% (refer to the Aerial Map: Exhibit 2 below).

# TERRAMAR COVE PLANNED AREA DEVELOPMENT



**AERIAL MAP: EXHIBIT 2**



#### **IV. SURROUNDING LAND USES AND CONDITIONS**

Adjacent to and east of the site is a City Park; to the south is a school. The property to the west is single family residences, and to the north is the Terra Vista Estates subdivision.

Primary transportation corridors in the area include Happy Valley Road running east-west to the south adjacent to the school, and 68<sup>th</sup> Avenue to the north and east. The property currently has no legal or physical access. In 2006, the property owner secured a commitment from the City of Peoria to provide right-of-way for legal and physical access from the stubbed termination of 68<sup>th</sup> Avenue. The City has agreed to a reduced pavement section for this access road, while maintaining the required fire access requirements, and eliminating the sidewalk and PUE on the north side of the road (refer to the Preliminary Development Plan Exhibit 4). Even with the reduced roadway section, it will encroach into the City Park and concrete walkway, which will have to be re-routed to accommodate the new roadway. Regional transportation includes the Interstate 17 (I-17) to the east and Highway 101 and Happy Valley Road to the south.

**Schools:** *Terramar Elementary (K-8)*, located at 7000 W. Happy Valley Road, is adjacent to the project site to the south, *Mountain Ridge High School (9-12)*, located at 22800 North 67<sup>th</sup> Avenue, Glendale, AZ 85310 is approximately 2 miles and *Sandra Day O'Connor High School* located at 25250 North 35<sup>th</sup> Avenue, Phoenix, AZ 85083 is approximately 4.6 miles.

**Shopping Facilities:** *Fry's Food and Drug Store* located at 6625 West Happy Valley Road is approximately 0.40 miles southeast. *Safeway* located at 20205 N 67<sup>th</sup> Avenue is approximately 3.4 miles south. *Target* located at 9947 W Happy Valley Road is approximately 4 miles west. All four corners of Lake Pleasant Parkway and Happy Valley Road (approximately 4 miles to the west) have all been developed as community commercial.

# TERRAMAR COVE PLANNED AREA DEVELOPMENT



**Public Recreation:** *Terramar Park* is adjacent to the project site on the east. *Palo Verde Park* located at 26200 N. 73rd Drive is approximately 0.38 miles northwest. *The Sunrise Mountain Branch Public Library* is located at Lake Pleasant Parkway and 98<sup>th</sup> Avenue, approximately 6.2 miles southwest. *Lake Pleasant Regional Park* - boating, skiing, camping and general lake recreation, located approximately 12.5 miles north.

Aerial photographs of the project area together with several photographs of the site from different directions depicting the site and area conditions are included herewith. (Refer to Exhibit 3)

## V. PRELIMINARY DEVELOPMENT PLAN

Terramar Cove is a new proposed development with a total gross area of 4.99± acres with 16 dwelling units (refer to *The Preliminary Development Plan in Exhibit 4 and the Preliminary Plat as shown in Exhibit 7*).

Terramar Cove will be developed in one phase. The proposed use of the subject site is single-family detached residential. The project is planned for 16 dwelling units with an overall project density of 3.2 du/ac.

The proposed average lot area within Terramar Cove shall be 9,159 sq. ft. with a minimum lot size of 8,437 sq. ft., which exceeds the minimum lot area of 8,000 sq. ft. for the target zoning category. The proposed minimum lot depth is 130' which exceeds the standards for the straight R1-8 zoning of 100'. The only decrease in variance from the straight R1-8 zoning is the typical lot minimum width, as this site will maintain a minimum width of 65 feet instead of 70 feet. This project will conform to the City of Peoria's staggered setback guidelines.

Access to this project is off Happy Valley Road and 71<sup>st</sup> Avenue as indicated on the Preliminary Plat (Exhibit 5). All of the lots within the site will be oriented in an east/west direction.

## VI. LAND USE SUMMARY

The Land Use Summary below reflects the use, the acreage, and the total number of lots. The residential land use as noted within this PAD, which is closely aligned with the City of Peoria's R1-8 single family residence zoning designation, is in character with the neighboring subdivisions to the north.

TABLE 1  
LAND USE SUMMARY

Gross Acres	Net Acres	Zoning	Min Lot Area (SF)	Lots	Min Lot Width	Open Space (Acres)	% Open Space	% Useable Open Space	Du/Ac (Gross)
4.99	4.02	PAD	8,437	16	65'	0.65	13.09	11.98	3.2

# TERRAMAR COVE PLANNED AREA DEVELOPMENT



## VII. PROJECT DEVELOPMENT AND PHASING STANDARDS

Unless otherwise specified herein, all properties within Terramar Cove shall conform to all City of Peoria governing codes, ordinances and regulations for single-family residential districts (refer to Exhibit 4). Table 2 below represents the minimum development standards for single-family residential lots in Terramar Cove.

**TABLE 2  
PROPOSED PAD STANDARDS COMPARISON TABLE**

Development Standard	Existing R1-8 Standards	Proposed PAD Standards
Minimum Lot Area (acreage)	8,000 sf	<b>8,437 sf</b>
Minimum Lot Width (ft)	70'	<b>65'</b>
Minimum Lot Depth (ft)	100'	<b>130'</b>
Maximum Lot Coverage (Percentage)	45%	45%
Maximum Building Height* (ft)	30'	30'
Front Setback(ft) **	Front-Facing 20' (Where front-facing garages are present, a 10' front setback shall apply to the livable portion of the home provided that not more than 60% of total front-facing elevation occurs at the 10' setback.)  Side-Entry 10' (not more than 60% of the total front-facing elevation shall occur at the 10' setback)	Front-Facing 20' (Where front-facing garages are present, a 10' front setback shall apply to the livable portion of the home provided that not more than 60% of total front-facing elevation occurs at the 10' setback.)***  Side-Entry 10' (not more than 60% of the total front-facing elevation shall occur at the 10' setback)
Interior Setback (min/total ft)	5'/15'	5'/15'
Rear Setback (ft)	15'	15'
Corner Setback (ft)	10'	<b>Minimum 10'. If a 10-foot tract is adjacent, the lot shall be considered an interior lot with minimum side setback of 5-feet</b>

\*Ordinance 04-187;

\*\*Side-entry garages shall be prohibited on corner lots.

\*\*\* 20' front setback may be decreased by 10' at cul-de-sac and knuckle lots, while maintaining a driveway that is a minimum of 20' long from back of sidewalk to face of garage.



# TERRAMAR COVE PLANNED AREA DEVELOPMENT



**Open Space:** This project is designed with active open space access that will exceed the minimum requirement of 9% for single family residential lots with useable open spaces at a total of 11.98%. The active open space areas will contain multiuse elements that provide retention basin storage with various bench locations, and a trail providing access to the adjacent park, with an emphasis on vegetative shade, thereby promoting leisurely usage and enjoyment of the passive open spaces. The homeowners association will be responsible for the maintenance of all open space / retention tracts.

**Building Heights:** The project will allow for both one- and two-story homes with a maximum 30' in height.

**Lighting:** Lighting within the project shall conform to the applicable section of the Peoria Zoning Ordinance governing exterior lighting.

**Screening, Fencing and Walls:** The standards for fencing and walls shall be as per the Peoria Zoning Ordinance including wall undulation and noise abatement.

**Roadway Standards:** Streets will be developed consistent with City of Peoria street standards.

**Parking:** Parking requirements for the project shall conform to the parking standards for single-family residential use as per the Peoria Zoning Ordinance.

**Design Review Standards:** We anticipate that houses will be compatible with the surrounding neighborhoods and that they will satisfy the demand of the modern home buyer in this particular submarket. We anticipate designs will have the following:

- 1800sf – 3600 sf size range
- 3, 4, and 5 bedroom floor plans
- Numerous elevation options
- One and two story plans
- Two and three car garages
- Energy efficient designs

Housing product will be submitted to the City of Peoria for review at a later date.

## VIII. CONCEPTUAL LANDSCAPE PLAN/ STANDARDS

The project landscaping will be consistent with the Peoria Zoning Ordinance and the Specific Plan. The Final Landscape Plan will be submitted to the Planning Division. A Planting Data Sheet is a part of the Conceptual Landscape Plan (*The Conceptual Landscape Plan is shown in Exhibit 6*)

**On-Site Landscaped Areas-** all open space areas will be landscaped to meet the City of Peoria's landscaping requirements.

**Street Frontages-** Landscaping will be provided within the ROW per the City of Peoria's Landscaping requirements.



# TERRAMAR COVE PLANNED AREA DEVELOPMENT



**Perimeter Walls/Wall Details-** To comply with the City of Peoria's design specifications. Details will be reviewed with Final Landscape plans.

**Signage-** Project signage will be processed as a separate application and will be consistent with the Peoria Zoning Ordinance.

## IX. INFRASTRUCTURE/ UTILITIES

### 1. Sewer

Sewer service will be provided by the City of Peoria. The sewer line will tie into the existing 8-inch line in Happy Valley Road at approximately the 68<sup>th</sup> Avenue alignment.

### 2. Natural Gas

Natural Gas is provided by Southwest Gas. There are existing services that will be extended from the Terra Vista Estates to the north.

### 3. Water

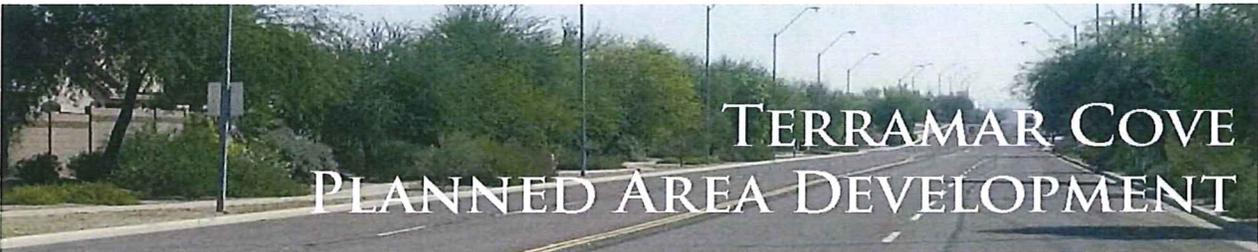
Water service will be provided by the City of Peoria. The water line will tie into the existing 8-inch waterline at the southeast corner of the site and the existing 8-inch waterline in 68<sup>th</sup> Avenue, creating the necessary water loop.

### 4. Telephone

Century Link Communications will be supplying the telephone services to the area.

### 5. Electric Power

Electric power will be supplied by Arizona Public Service



TERRAMAR COVE  
PLANNED AREA DEVELOPMENT



**CONTEXT PLAN AND SITE PHOTOS**

**EXHIBIT 3**

**TERRAMAR COVE**  
 PEORIA, ARIZONA  
 EXHIBIT 3: CONTEXT PLAN & SITE PHOTOS

3010 South Priest Drive Ste 103  
 Tempe, Arizona 85282  
 Phone: (480) 629-8830  
 www.bowmanconsulting.com

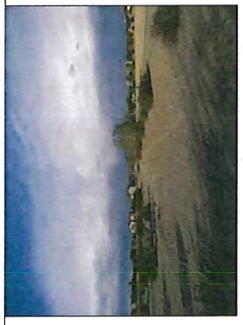
**Bowman CONSULTING**

JOB #9723-01-001  
 DATE 05/31/13  
 SCALE 1"=100'  
 DRAWN CRS  
 SHT 1 OF 2

CAD FILE NAME: P:\9723 - 68th Ave and Happy Valley\9723-01-001 (ENG)\Engineering\Exhibits\9723-CP01.dwg 05/31/2013



5



4



3



2



1



10



9



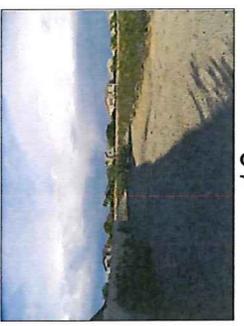
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7



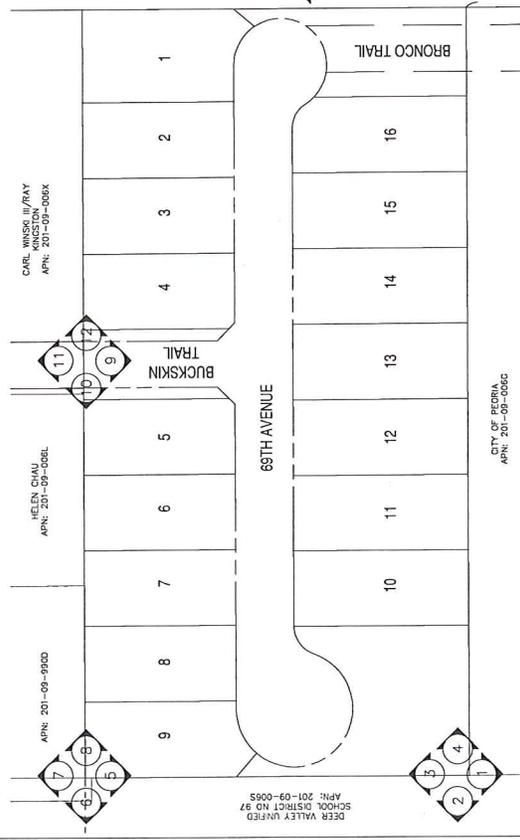
6



12



11







TERRAMAR COVE  
PLANNED AREA DEVELOPMENT



**PRELIMINARY DEVELOPMENT PLAN**

**EXHIBIT 4**

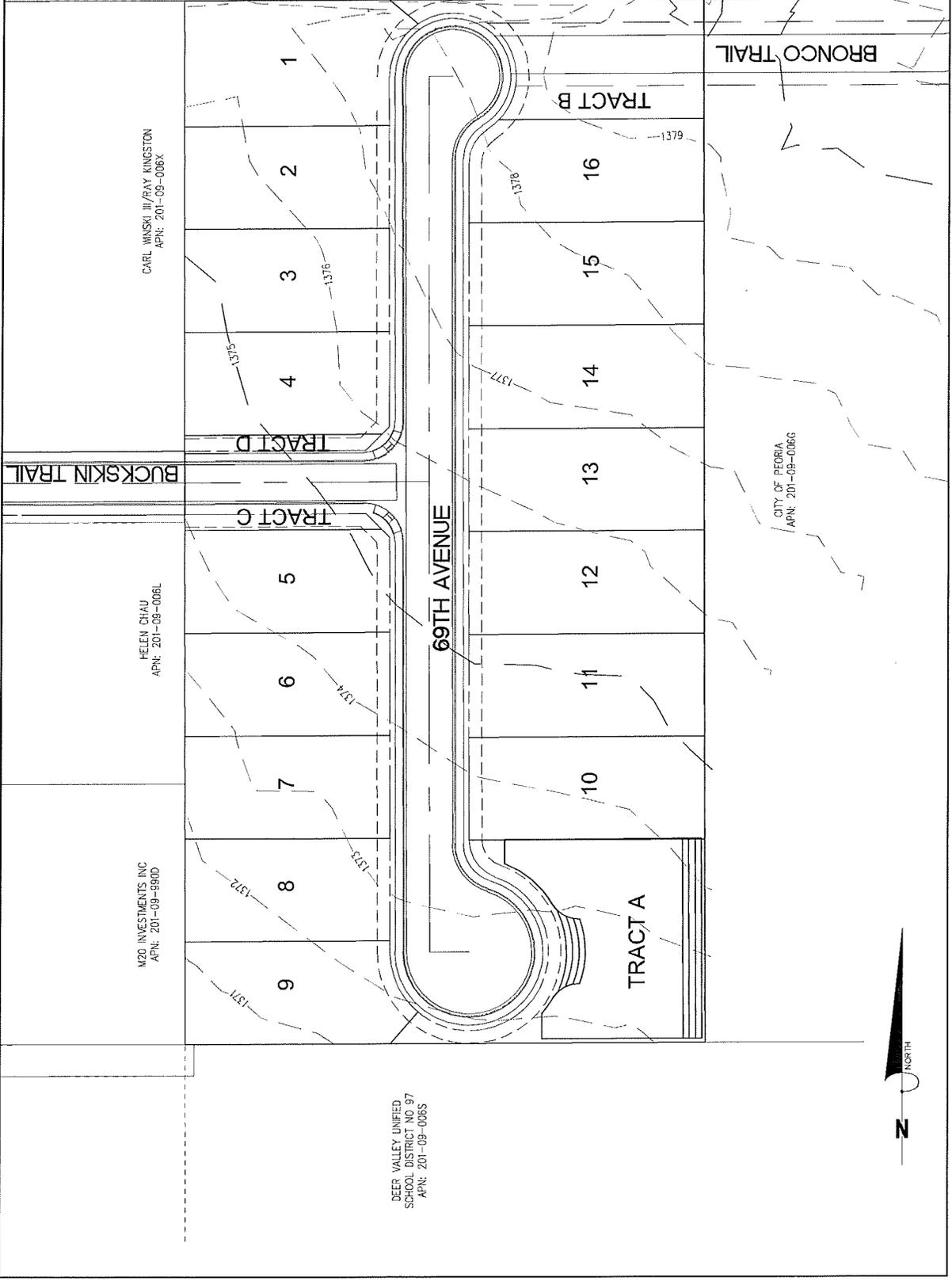
**TERRAMAR COVE**  
 PEORIA, ARIZONA  
 EXHIBIT 4: PRELIMINARY DEVELOPMENT PLAN

3010 South Prest Drive Ste 103  
 Tempe, Arizona 85282  
 Phone: (480) 629-8330  
 www.bowmanconsulting.com



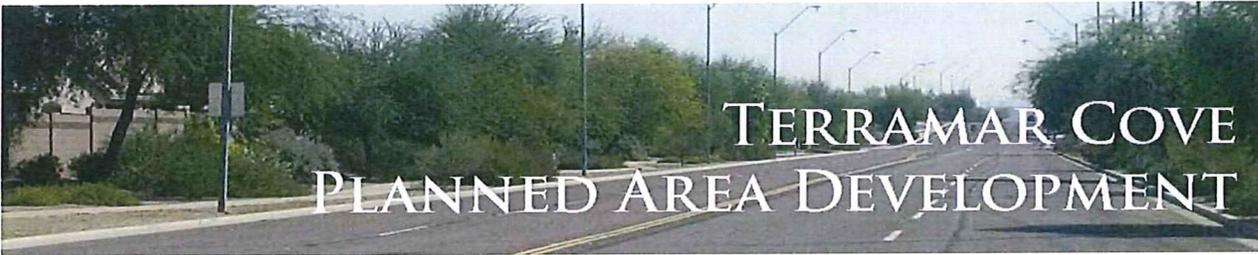
JOB #9723-00-001  
 DATE 08/31/13  
 SCALE N.T.S.  
 DRAWN ORS  
 SHT 1 OF 1

CAD FILE NAME: P:\9723 - 88th Ave and Happy Valley\9723-01-001 (EKG)\Engineering\Exhibits\9723-01-001-Preliminary Development Plan.dwg 08/05/2013



DEER VALLEY UNIFIED  
 SCHOOL DISTRICT NO 97  
 APN: 201-09-006S





TERRAMAR COVE  
PLANNED AREA DEVELOPMENT



**A.L.T.A. SURVEY AND  
LEGAL DESCRIPTION**

**EXHIBIT 5**





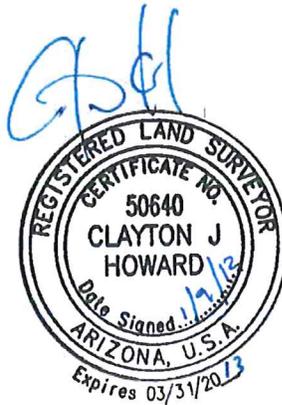
JANUARY 9, 2013  
PROJECT # 9723-01-001

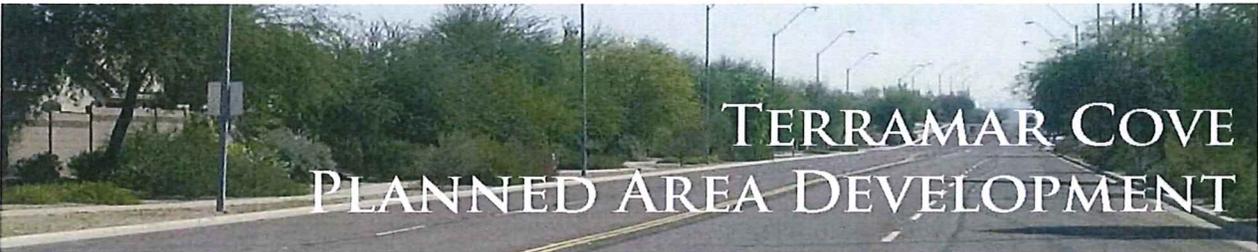
**LEGAL DESCRIPTION  
TERRAMAR COVE  
BOUNDARY**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

THE WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 4 NORTH, RANGE 1 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.;

SAID PARCEL CONTAINS 217,481 SQUARE FEET, OR 4.9927 ACRES, MORE OR LESS.



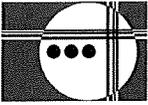


# TERRAMAR COVE PLANNED AREA DEVELOPMENT



## CONCEPTUAL LANDSCAPE PLAN/STANDARDS & WALL DETAILS

### EXHIBIT 6



**GILMORE**  
PLANNING & LANDSCAPE ARCHITECTURE

271 N. 29th Street  
Phoenix, AZ 85016  
P: 602.242.0207  
F: 602.242.0207  
www.gilmorepa.com

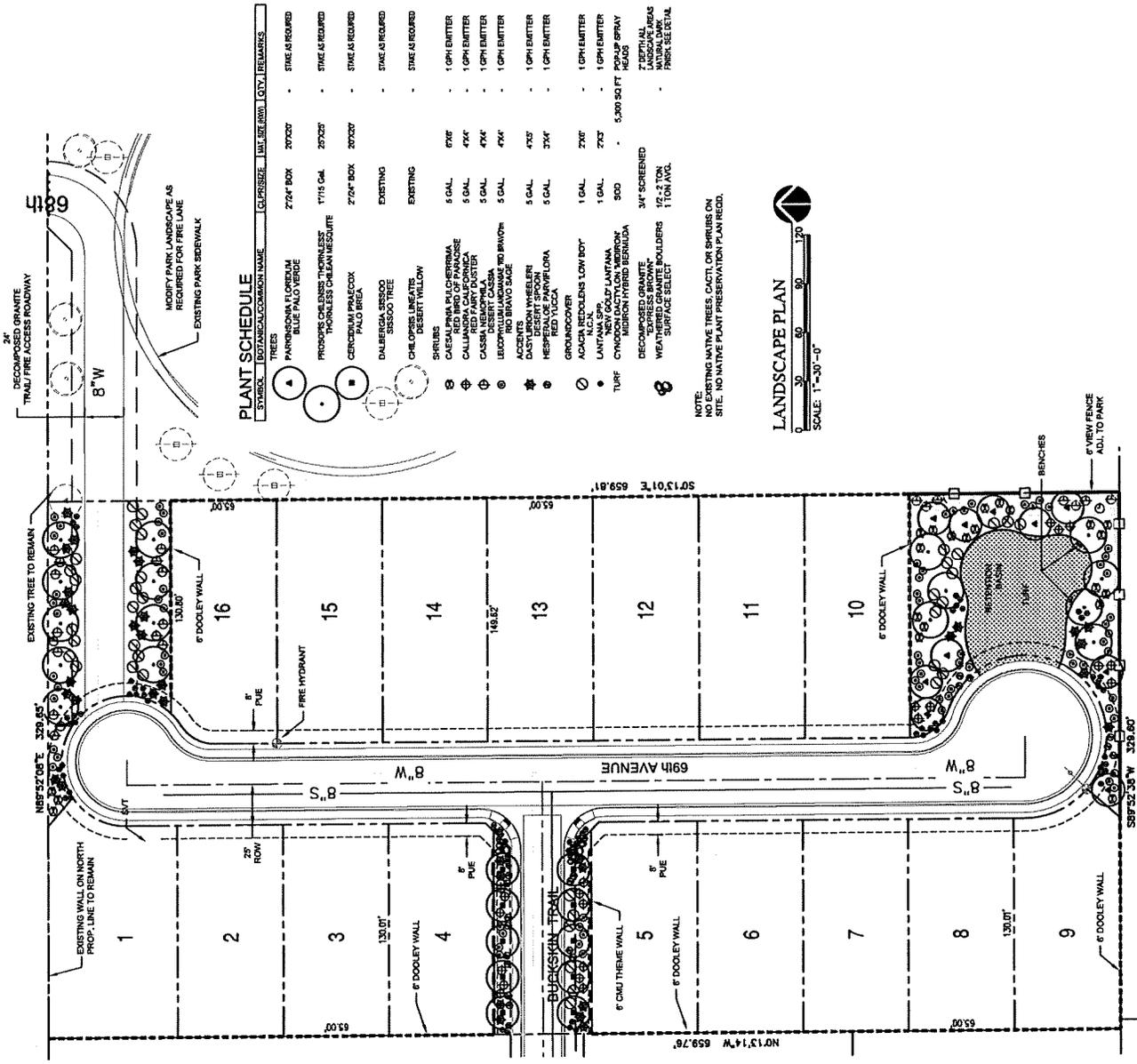
TERRAMAR COVE  
68TH AVE & HAPPY VALLEY ROAD  
PEORIA, AZ  
PREPARED FOR: CASON TYLER

DATE: 11.26.13  
APPROVED BY: JAC  
DRAWN BY: TCI  
JOB NO: 13020



REVISIONS:  
1.  
2.  
3.  
4.

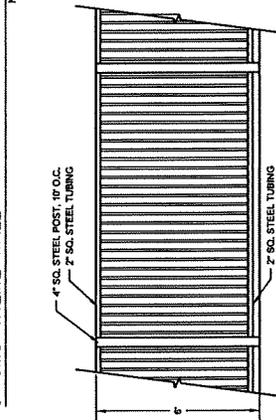
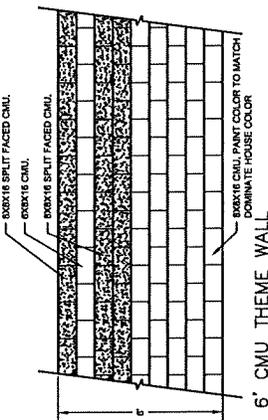
SCALE: 1"=30'-0"  
DATE: 11.26.13



**PLANT SCHEDULE**

SYMBOL	BOTANICAL/COMMON NAME	CULTURE	SIZE	QUANTITY	REMARKS
▲	PANICUM TALL OCHRODUM ELEPHANT GRASS	2704" BOX	207200		STAKE AS REQUIRED
●	PRODRIPS CHLORIS THORNLESS THORNLESS CHELAN MESQUITE	1715 GAL	207200		STAKE AS REQUIRED
○	CECIDIUM PRAECOX PALO BREA	2704" BOX	207200		STAKE AS REQUIRED
□	DALBERGIA SIKOO SISSOO TREE	EXISTING			STAKE AS REQUIRED
◇	CHALCOPHYS LAMINATE DESERT WILLOW	EXISTING			STAKE AS REQUIRED
⊕	SHRUBS				1 GPH EMITTER
⊗	CAESALPINIA PULCHERRIMA RED BLOSSOMED CASAHuate	5 GAL	4760		1 GPH EMITTER
⊙	CALLISANDRA CALIFORNICA RED PARY DUSTER	5 GAL	4760		1 GPH EMITTER
⊚	CASSIA DESERT CASIA RED BLOSSOMED CASAHuate	5 GAL	4760		1 GPH EMITTER
⊛	LEUCODENDRON BROWN RED BLOSSOMED CASAHuate	5 GAL	4760		1 GPH EMITTER
⊜	ACCENTS	5 GAL	4760		1 GPH EMITTER
⊝	DASYLIRION WHEELER HEPITALOGE PARVIFLORA	5 GAL	3740		1 GPH EMITTER
⊞	HEPITALOGE PARVIFLORA RED TUCCA	5 GAL	3740		1 GPH EMITTER
⊟	GROUNDCOVER	1 GAL	7260		1 GPH EMITTER
⊠	ADAPTA COLDS LOW BUD N.C.C.N.	1 GAL	7260		1 GPH EMITTER
⊡	LANTANA SP. BY LANTANA TURF	1 GAL	7260		1 GPH EMITTER
⊢	CYNDON DACTYLON MERRILLIA MERRILLIA HYBRID MERRILLIA	300	5,300 SQ FT		POPLAR SPRAY MIGUS
⊣	DECORATIVE GRANITE WEATHERED GRANITE BOULDERS	3/4" SCREENED 17-22 TON			1 TON AVO.
⊤	SURFACE SELECT				

NOTE: EXISTING NATIVE TREES, CACTI OR SHRUBS ON SITE. NO NATIVE PLANT PRESERVATION PLAN REQD.



**SINGLE-FAMILY PRELIMINARY PLANTING DATA SHEET**

LANDSCAPE AREA	Planting	Quantity	Notes
A. Street Edge Area (14'-0" x 4.1')	1. 6" S	10,000	
	2. 2" SO. STEEL TUBING	2,000	
	3. 6" S	10,000	
B. Street Edge Area (14'-0" x 4.1')	1. 6" S	10,000	
	2. 2" SO. STEEL TUBING	2,000	
	3. 6" S	10,000	
C. Street Edge Area (14'-0" x 4.1')	1. 6" S	10,000	
	2. 2" SO. STEEL TUBING	2,000	
	3. 6" S	10,000	
D. Street Edge Area (14'-0" x 4.1')	1. 6" S	10,000	
	2. 2" SO. STEEL TUBING	2,000	
	3. 6" S	10,000	
E. Street Edge Area (14'-0" x 4.1')	1. 6" S	10,000	
	2. 2" SO. STEEL TUBING	2,000	
	3. 6" S	10,000	
F. Street Edge Area (14'-0" x 4.1')	1. 6" S	10,000	
	2. 2" SO. STEEL TUBING	2,000	
	3. 6" S	10,000	
G. Street Edge Area (14'-0" x 4.1')	1. 6" S	10,000	
	2. 2" SO. STEEL TUBING	2,000	
	3. 6" S	10,000	

**GENERAL NOTES:**  
1. All plantings shall be installed in accordance with the specifications and quantities shown on this sheet.  
2. A minimum of 20% of the plantings shall be installed in the first year of construction.  
3. All plantings shall be installed in the first year of construction.  
4. All plantings shall be installed in the first year of construction.  
5. All plantings shall be installed in the first year of construction.  
6. All plantings shall be installed in the first year of construction.



TERRAMAR COVE  
PLANNED AREA DEVELOPMENT



**PRELIMINARY PLAT**

**EXHIBIT 7**







TERRAMAR COVE  
PLANNED AREA DEVELOPMENT



**SCHOOL DISTRICT CONTACT COORDINATION**

**EXHIBIT 8**

# Bowman

CONSULTING

February 5, 2013

Deer Valley Unified School District  
Attn: Jim Migliorino  
20402 N. 15<sup>th</sup> Ave.  
Phoenix, Az 85027

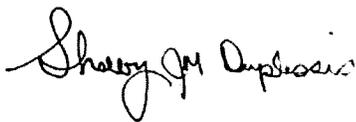
Dear Mr. Migliorino:

This letter is being sent to you pursuant to the City of Peoria Planning Division School District Notification Policy for General Plan designation and zoning classification changes. Please be advised that we are applying for a zoning change that changes the zoning designation of a 4.99 acre site located on the northwest corner of 68<sup>th</sup> Avenue and Happy Valley Road, just west of Terramar Park. The change will be from Suburban Ranch District (SR-43) to R1-8 resulting in greater residential densities on the subject property. The property will currently allow approximately 5 residential units; and our application(s) will result in a total of 16 units, an increase of 320%.

We have attached a site plan for your reference. You are requested to respond to the City of Peoria Planning Division at 9875 N. 85<sup>th</sup> Ave, Peoria and reference Zoning Application #Z13-0002 if you have any information you feel is necessary for their review.

If you would like to discuss the proposal, I would be happy to answer any questions or hear any concerns that you may have regarding this proposal. I can be reached at **602.679.4438**.

Sincerely,



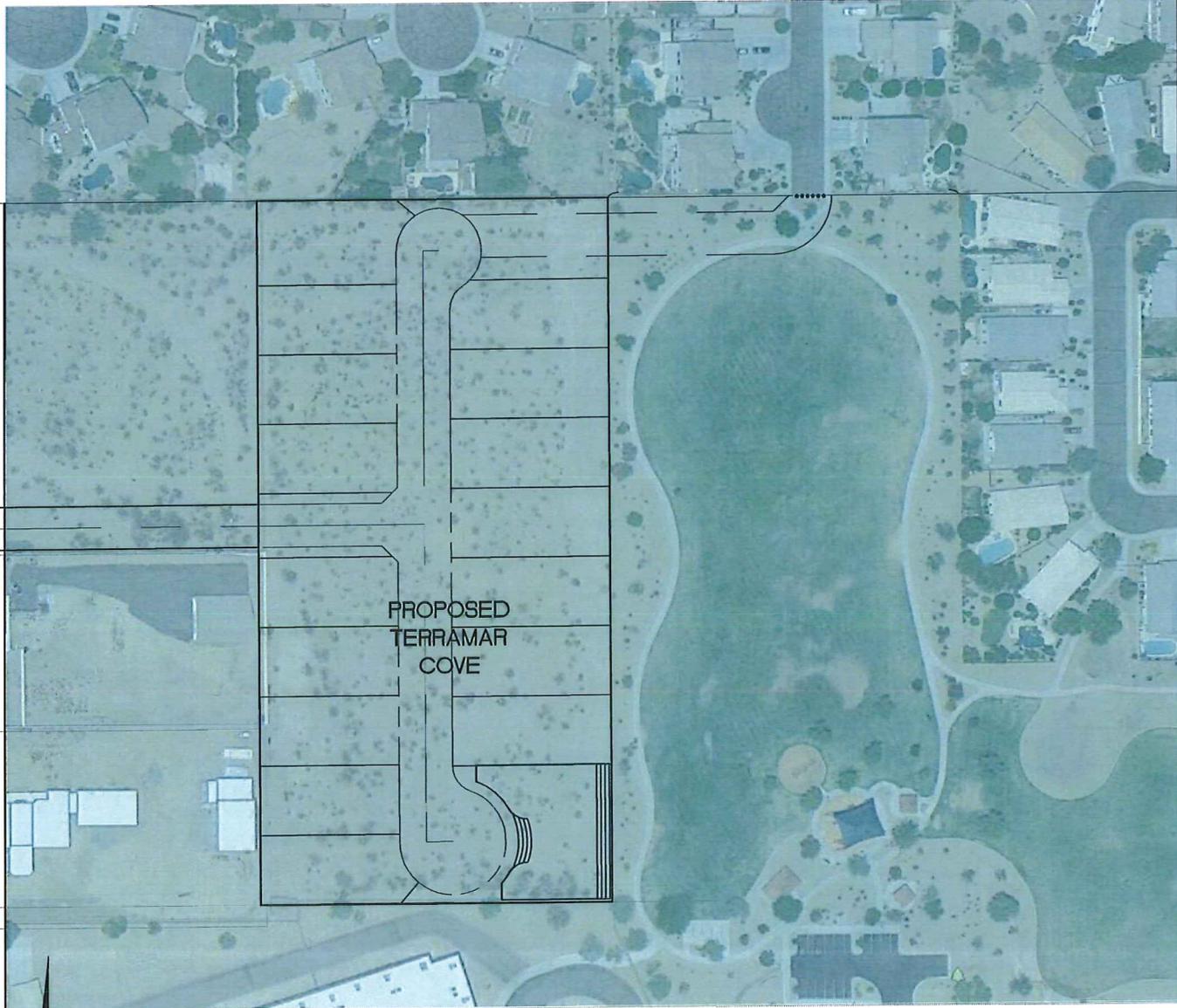
**ShelbyJM Duplessis, PE, LEED AP**  
**Senior Project Manager**



# TERRAMAR COVE PLANNED AREA DEVELOPMENT



## GENERAL LAND USE MAP EXHIBIT 9



**LEGEND**

 RESIDENTIAL/LOW (2-5 du/ac)

**Bowman**  
CONSULTING

3010 South Priest Drive Ste 103 Phone: (480) 629-8830  
Tempe, Arizona 85282 www.bowmanconsulting.com

**TERRAMAR COVE**

PEORIA, ARIZONA

**EXHIBIT 9: GENERAL LAND USE**

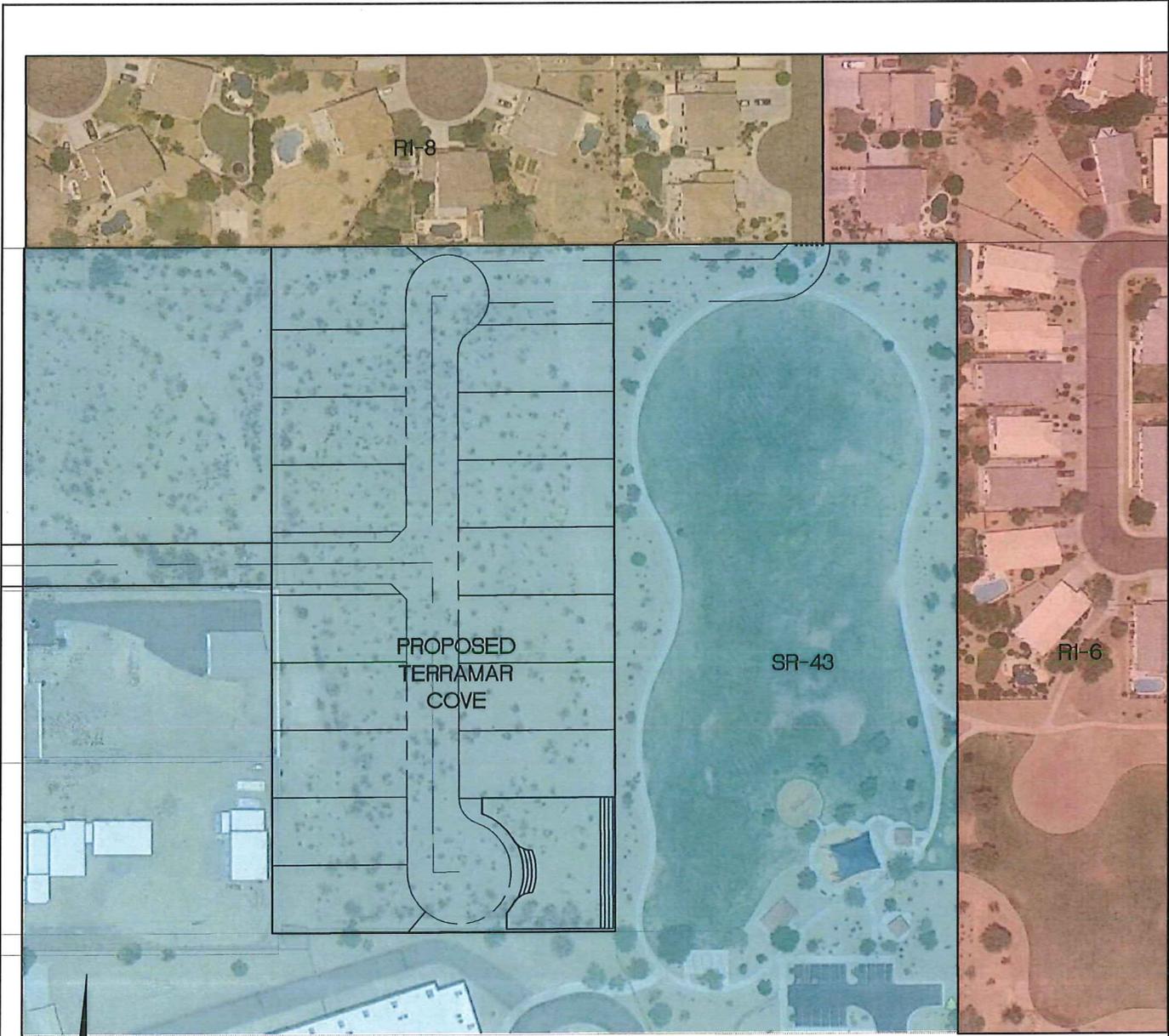
JOB #	9723-01-001
DATE	01/01/13
SCALE	N.T.S.
DRAWN	CRS
SHT 1 OF 1	



TERRAMAR COVE  
PLANNED AREA DEVELOPMENT



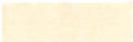
**EXISTING ZONING MAP  
EXHIBIT 10**



**LEGEND**



SR-43



R1-8



R1-6

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**TERRAMAR COVE**

PEORIA, ARIZONA

**EXHIBIT 10: EXISTING ZONING**

JOB # 9723-01-001

DATE 01/01/13

SCALE N.T.S.

DRAWN CRS

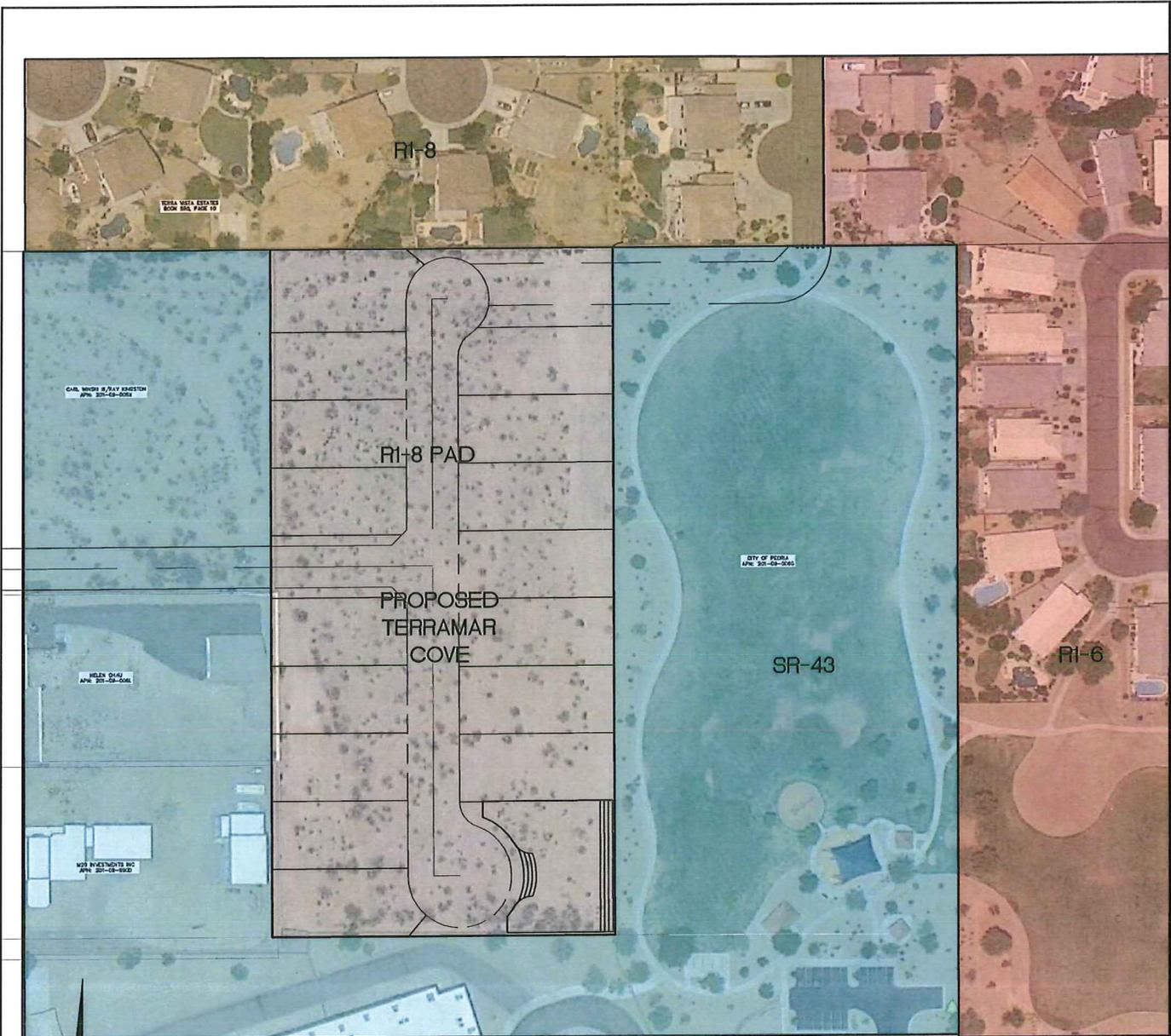
SHT 1 OF 1



TERRAMAR COVE  
PLANNED AREA DEVELOPMENT



**PROPOSED ZONING MAP  
EXHIBIT 11**



**LEGEND**



SR-43



R1-8 PAD



R1-6

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**TERRAMAR COVE**

PEORIA, ARIZONA

**EXHIBIT 11: PROPOSED ZONING**

JOB # 9723-01-001

DATE 01/01/13

SCALE N.T.S.

DRAWN CRS

SHT 1 OF 1