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463-4C

Arrowhead Lexus

Planned Area Development Standards and Guidelines Report



PLANNED AREA DEVELOPMENT APPROVAL

P/Z Commission Date 4/15/07
City Council Approval Date _____

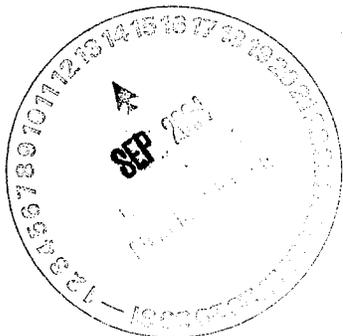

Planner

NWC 92nd Avenue & Bell Road

Peoria, AZ

Revised 7/12/04

Revised 9/28/04



PLANNED AREA DEVELOPMENT APPROVAL

P/Z Commission Date Oct 7 '04
City Council Approval Date Oct 19 '04


Planner

TABLE OF CONTENTS

I. INTRODUCTION.....1
II. LEGAL DESCRIPTION.....1
III. CONSISTENCY WITH THE GENERAL PLAN.....1
IV. GENERAL SITE INFORMATION.....1-2
V. SURROUNDING LAND USES.....2
VI. PRELIMINARY DEVELOPMENT PLAN.....2-3
VII. TABLE OF PERMITTED USES.....3-5
VIII. PROJECT PHASING.....5
IX. PROJECT DEVELOPMENT STANDARDS
 A. Lot Coverage.....6
 B. Setbacks.....6
 C. Minimum Lot Size.....6
 D. Building Heights.....6
 E. Accessory Use Standards.....6
 F. Open Space.....6
 G. Lighting.....7
 H. Screening, Fencing, Walls.....7
 I. Roadway Standards.....7
 J. Parking.....8
 K. Architectural Style.....8-9
X. PROJECT SIGNAGE STANDARDS.....9-10
XI. PROJECT LANDSCAPING STANDARDS.....10
XII. INFRASTRUCTURE/UTILITIES.....11
XIII. APPENDIX
 Appendix Item 1 – Aerial Location Map
 Appendix Item 2 – Legal Description
 Appendix Item 3 – Preliminary Development Plan
 Appendix Item 4 – Project Phasing Plan
 Appendix Item 5 – Conceptual Landscape Plan
 Appendix Item 6 – Character Elevations
 Appendix Item 7 – Utility Maps
 Appendix Item 8 – Site Photos

I. Introduction

This "Development Guide" provides a project overview of the Arrowhead Lexus Planned Area Development (P.A.D.) proposed for General Commercial uses. The intent of this P.A.D. is to establish a common theme for the development. These parcels are located north of Bell Road, west of the future location of 92nd Avenue, in the City of Peoria, Arizona. In addition, this guide is intended to provide the City of Peoria with the information necessary to review and approve the requested P.A.D. zoning for this property. The request for the P.A.D. rezoning is necessary to allow a mix of uses including auto dealerships as well as retail or services. By establishing a Planned Area Development, we can specifically exclude uses that may be detrimental the area that may otherwise be permitted in the C-4 zoning district. This will help provide a stable mix of uses that is compatible with the surrounding area. Please refer to *Appendix Item 1, Aerial Location Map*.

II. Legal Description

The P.A.D. consists of approximately 30 acres located at the northwest corner of Bell Road and the future intersection of 92nd Avenue. Please refer to *Appendix Item 2, Legal Description*.

III. Consistency with the General Plan

The site is currently zoned C-2 and is designated "Community Commercial" under the City of Peoria General Plan and the North Peoria Redevelopment Area Plan. This land use designation allows for all types and intensities of commercial development and provides for a wider variety of goods and services. The Community Commercial land use designation is intended for areas that offer adequate, controlled access to arterial streets.

The proposed uses are appropriate for the land use designation and compliment the uses in the surrounding area. Additionally, the site is located along a major arterial road, as suggested in the General Plan. There are numerous existing and planned auto dealerships in this area and along Bell Road which makes this a compatible use for the area.

IV. General Site Information

The parcel is currently vacant and undeveloped. The entire P.A.D. consists of two parcels, Parcel 200-41-002S and Parcel 200-41-002-U, which totals approximately 29.36 gross/28.39 net acres. A plat will be needed in order to assemble the parcels. There are shrubs and desert plants sparsely located throughout the site. There is vacant C-2 property to the north and there is a vacant parcel within the Grand Canyon Autopark P.A.D property to the east which is designated for a future auto

dealership. The Ford Auto Dealership sits just east of the vacant property within the Grand Canyon Autopark P.A.D. There is a Nissan Auto Dealership located within the Culiver Auto Center P.A.D. south of the property across Bell Road.

V. Surrounding Land Uses and Conditions

Bell Road is currently a six lane major arterial with a raised median. The sewer line in Bell Road will need to be extended for the length of the property from the intersection of 91st Avenue. In addition, a new waterline will be installed along 92nd Avenue. 92nd Avenue will be constructed during Phase I of development and the right-of-way will be dedicated as required for the half-street improvements and will connect into 91st Avenue. A traffic signal will be installed at the intersection of Bell Road and 92nd Avenue. There are no existing curb cuts into the site.

The vacant property to the east of the site is currently planned for an Auto Dealership. The property to the north is vacant and undeveloped. Just north is a residential neighborhood within the City of Peoria. The P.A.D abuts residential property on the west located within the Sun City jurisdiction.

VI. Preliminary Development Plan

The main focus and first area of this project is the development of luxury Lexus Auto Dealership. Two display pads will sit at each corner and will be improved with decorative paving and landscaping to be approved by the City of Peoria. Pedestrians may enter the site from Bell Road via a tree lined five (5) foot concrete sidewalk leading to the covered display area in front of the Lexus building. This area provides shade as the customers enter the site. The customer parking area will be improved with decorative concrete, including a brick like pattern bordering the parking area. For security purposes, gates will be installed to close off the customer parking from the rest of the site. The Lexus Auto Dealership will provide three main components: an outdoor/indoor display area, an office area, and a service area as designated on the Preliminary Development Plan. See *Appendix Item 3, Preliminary Development Plan*.

The second area of the P.A.D. consists of the two (2) 30,000 square foot buildings along the northern boundary of the P.A.D. The east, west and south building frontages will be improved with landscaping for an appealing and pedestrian friendly atmosphere. A three (3) foot CMU screen wall shall be provided along the private roadway and 92nd Avenue.

The third area of the P.A.D. is designated for a future auto dealership. This parcel shall only use materials and plants listed in this P.A.D. The look and design of the future dealership shall be compatible with the

Lexus Dealership and Buildings A & B in order to provide a cohesive, attractive development.

The impact on surrounding neighbors will be minimal since there is an existing six (6) foot CMU block wall along the western property line. Additionally, there is a significant grade drop between the residents to the west and this parcel. Added landscaping including trees and shrubs will also isolate the entire development, further buffering the adjacent area. In addition to these mitigating factors, loudspeakers will not be permitted within this P.A.D.

VII. Table of Permitted Uses

Land Uses (Parcel 1)

Principal uses for Parcel 1 shall include one or more new and used motor vehicle dealerships for the sale, lease or rental of new and used vehicles to allow the development of a new Lexus Auto Dealership. Related services are also permitted such as paint and body repair facilities, tire sales, tire repair and mounting, auto sound system installation, auto glass tinting and repair, and other complimentary uses. Please refer to *Table 1, Land Uses*.

Land Uses (Parcel 2A & 2B)

Parcels 2A & 2B shall incorporate land uses that compliment not only the existing dealerships but the proposed dealerships as well. This will ensure a cohesive development. Please refer to *Table 1, Land Uses*.

Land Uses (Parcel 3)

Parcel 3 is designated for a future auto dealership. Principal uses for Parcel 3 shall include one or more new and used motor vehicle dealerships for the sale, lease or rental of new and used vehicles. Related services are also permitted such as paint and body repair facilities, tire sales, tire repair and mounting, auto sound system installation, auto glass tinting and repair, and other complimentary uses. Please refer to *Table 1, Land Uses*.

In order to create an environment appealing to the surrounding neighborhoods, the following uses are specifically selected in the P.A.D.:

TABLE 1 – TABLE OF PERMITTED USES

Permitted Uses	Parcel 1 (Lexus)	Parcel 2 (PAD Buildings)	Parcel 3 (Future Dealership)
New Auto Dealership	P	---	P
Used Auto Dealership	A	---	A
Car Wash	A	---	A
Auto Parts and Accessory Store	A	P	A
Auto Sound System Installation, Auto Glass Tinting and similar uses	A	P	A
Autobody Repair and Painting Facilities	A	P	A
Automobile, Boat, RV, or Motorcycle Outdoor Sales and Rental	P	---	P
Automotive Diagnostic and/or Service Establishment (including engine & transmission overhaul, repair facilities and similar services.	A	P	A
Tire Sales, Repair, and Mounting	A	P	A
Automatic Teller Machine	---	P	---
Banks and Financial Institutions	---	P	---
Medical, dental, or Health Offices	---	P	---
Professional, Administrative, or Business Offices	A	P	A
Coffee Shop	---	P	---
Restaurant, fast food	---	P	---
Mini-Storage Warehouse	---	P	---
Antiques Sales	---		---
Book & Stationary Sales	---	P	---
Candy & Ice Cream Store	---	P	---
Carpet & Floor Covering Store	---	P	---
Copy Center	---	P	---
Florist	---	P	---
Gift, novelty, and souvenir shop	---	P	---
Hobby, stamp and Coin shop	---	P	---

These dates have been established in the Development Agreement between the City of Peoria and DIB Investment Group, LLC. Phase II shall consist of the development of Parcel 2A & 2B. Phase 3 of development shall include a second luxury auto dealership. Construction of phases 2A, 2B, and 3 will begin in conjunction with the market demand. Please see Appendix item 4, Project Phasing Plan.

IX. Project Development Standards

A. Lot Coverage

The lot coverage shall not exceed 30%.

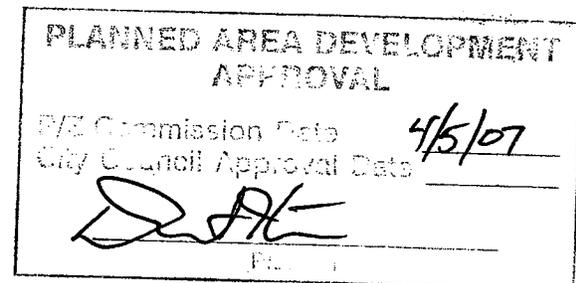
B. Setbacks

The landscape setbacks shall be a minimum of:

Front Setback: 25'
Rear Setback: 20'
Side Setback: 10'
Residential Buffer: 30'

The building setbacks shall be a minimum of:

Front Setback: 50'
Rear Setback: 20'
Side Setback: 20'
Internal Setback: 0'
Residential Buffer: 30'



C. Minimum Lot Size

There shall be no required minimum lot size as long as each parcel meets or exceeds all City design and code requirements.

D. Building Heights

Building heights shall not exceed thirty-five feet (35) in height, excluding parapets, *stair & elevator shafts*, or architectural embellishments which shall not be higher than *a maximum of 40' (stair & elevator shafts) and 45' (solar panels)*. (strike out "5' above the roof line") Building height shall be as defined in the Peoria Zoning Ordinance.

E. Accessory Use Standards

Accessory uses are defined in Table 1 of this report. These uses shall be permitted in addition to the new auto dealership and shall be designed to mitigate the impact on the surrounding properties.

F. Open Space Requirements/Landscape Planting and Maintenance

Per City of Peoria Ordinance No. 96-99, there shall be a minimum of 5% open space for non-residential uses. Each parcel shall provide 5% open space which shall include perimeter landscaping but not include the vehicle display areas and planter islands within the parking and vehicular display areas. Once development plans

are underway, it is likely that they will exceed this requirement. Once the future dealership is built, it shall also meet or exceed the 5% open space requirement. Additionally, a thirty foot landscape buffer will be provided on the western boundary of Parcel 3 in order to mitigate the impact on the abutting residential development. All perimeter landscaping shall be provided with Phase I of this development. Please refer to *Appendix Item 5, Conceptual Landscape Plan*.

G. Lighting

All site lighting shall conform to the City of Peoria standards and shall be shielded and directed away from neighboring streets and residential areas. In order to mitigate the impact on the abutting residential development, site lighting on Parcel 2B and Parcel 3 shall be restricted to a height of 16 feet within 150 feet from the residential neighborhood and shall be metal halide fixtures. Site lighting for Parcel 1 and Parcel 2A shall be metal halide fixtures mounted on poles, placed on a three (3) foot concrete base with a total height not to exceed twenty-five (25) feet. All lighting fixtures shall be located to avoid conflict with parking spaces and vehicular circulation.

H. Screening, Fencing and Walls

There shall be no screen walls provided along the Bell Road frontage as long as this area is designated for the dealership's car display area. Screen walls no taller than three (3) feet will be provided internally around Buildings A & B. A six (6) foot CMU wall shall be provided around the northern boundary of the P.A.D. and there is an existing six (6) foot wall bordering the western boundary of the P.A.D. for the Sun City residents. The Lexus dealership shall install a six (6) foot CMU screen/security wall around the back perimeter of Parcel 1, excluding the customer and display areas. Screen walls shall be undulated at 100' intervals and shall use materials to match the buildings. All screen walls shall be reviewed and approved by the City of Peoria during the design review process.

I. Roadway Standards

Streets, utilities and services will be installed as needed per the City of Peoria's typical standards and specifications. Per the attached Traffic Study, 92nd Avenue shall be installed in accord with the City of Peoria Standard Detail 296, as an industrial/commercial/multi-family collector. A traffic signal allowing full access will be installed at this location with approval from the City of Peoria. The private roadway shall provide one lane in each direction and will allow lefts in, no lefts out, rights in and out. Both

the private driveway and 92nd Avenue will be installed during the first phase of construction. Once development plans are underway, the required ROW necessary for the installation of 92nd Avenue will be dedicated per the City of Peoria's requirements. All improvements including the traffic signal, turn lanes, and any related off-site improvements will be constructed during the first phase of construction.

J. Parking

Parking within the Arrowhead Lexus P.A.D. shall conform to the City of Peoria parking and loading requirements in Article 14-23, Parking and Loading Requirements, of the City of Peoria Zoning Ordinance.

K. Architectural Style and Enhanced Design Review Standards

The building material of any development within the Arrowhead Lexus P.A.D. should be consistent with, and drawn from, the regional vernacular. Appropriate materials should include, but not be limited to:

1. Exterior

- Cement Plaster or EIFS (Drivit) both smooth and fluted
- Concrete Masonry Block such as a split-faced, slump-faced, or sandblasted finish.
- Brick
- Stone Veneer
- Ceramic or Clay Tile
- Glass/Aluminum — storefronts or curtain walls
- Concrete — precast, cast-in place, or tilt panel

2. Roofs

- Clay tile
- Concrete tile
- Architectural metal
- Wood shingles

3. Accents

- Wood
- Glass Block
- Architectural Metal — grilles or trim

Materials that are specifically excluded are colonial siding, Bermuda shake, Victorian shingle, or any other metal panel system which is embossed to imitate wood, tile, or any other material. The use of corrugated metal panels is strictly prohibited.

Screen walls shall incorporate colors and materials that match or compliment those approved by the City for the Lexus building through the design review process. No screen wall shall be required along the Bell Road frontage as long as that area is designated for display only. A six (6) foot CMU screen wall shall be provided after the first driveway entrances and continue around the perimeter of the dealership. Please refer to *Appendix Item 6, Character Elevations*.

X. Project Signage Standards

Free-standing Signs

Parcel 1 – Lexus Dealership

Signage on the Lexus parcel shall consist of one freestanding monument sign on Bell Road and shall use materials that match the building. The height of this sign shall not exceed fourteen (14) feet in height and shall not exceed seventy-two (72) square feet in area. An additional free-standing sign shall be provided along the 92nd Avenue frontage and shall identify the Lexus Dealership. This sign shall not exceed forty-eight (48) feet in area and eight (8) feet in height. Directional signs shall not be counted in the sign calculations.

Parcel 2A & 2B – Pad Buildings A and B

One (1) monument sign shall be permitted along 92nd Avenue to identify multiple tenants for buildings A and B. This sign shall not exceed forty-eight (48) feet in area and eight (8) feet in height.

Parcel 3 – Future Auto Dealership

An additional free standing monument sign on Bell Road will be permitted for the future auto dealership on Parcel 3. The height of this sign shall not exceed fourteen (14) feet in height and shall not exceed seventy-two (72) square feet in area. This free-standing monument sign shall not be placed closer than thirty (30) feet to the residential district abutting the western boundary and shall be placed a minimum of sixty (60) feet away from any other free-standing monument or wall signs. All signs will require review and approval from the City of Peoria.

Wall Mounted Signs

Parcels 1 and 3 - Dealerships

Maximum sign area shall not exceed 2.0 square feet per linear foot of business front foot, with no individual sign exceeding 225 square feet in area. Signs shall be permitted on more than one side of the building. Total allowable sign area shall be allocated between primary and secondary signs. Signs shall be neon, reverse channel neon or individual, internally illuminated, metal channel letters with plexi-glass faces; maximum height of individual letters for primary signs is six (6) feet and maximum of secondary signs is three (3) feet.

Parcels 2A and 2B - Buildings A & B

Maximum sign area shall not exceed 2.0 square feet per linear foot of business front foot. The length of any shop tenant sign shall not exceed 80% of that tenant's storefront width. Signs shall be mounted on the wall or fascia above the shop and shall be neon, reverse channel neon, individually or internally illuminated, metal channel letters with plexi-glass faces.

XI. Project Landscaping Standards

Landscaping shall be provided in the setback areas. Any right-of-way planting shall use plants listed in the Arizona Department of Water Resources Low Water-Using Plant List. Right-of-way plantings shall be provided and maintained by the owner/possessor. Landscaping or pedestrian oriented hardscape shall be provided at a minimum depth of twenty-five (25) feet along Bell Road and (10) feet on 92nd Avenue. On-site landscaping shall comply with Article 14-35 landscaping requirements of the City of Peoria Zoning Ordinance and all developments are subject to review and approval by the City of Peoria.

The P.A.D. shall provide the minimum 5% open space as required in the City of Peoria Zoning Ordinance. The perimeter landscaping shall be included in the open space requirements per article 14-33 of the City of Peoria Zoning Ordinance. Please refer to *Appendix Item 5, Conceptual Landscape Plan*.

The landscape theme for this P.A.D. shall include trees, shrubs, and ground cover to make an inviting and uniform theme. The following plant palette is permitted within the P.A.D. (or similar substitutions as approved by the City of Peoria):

TABLE 2 – LANDSCAPE MATERIALS

Trees	Shrubs		Ground Cover
Date Palm	"Lynn's Legacy" Sage	Feathery Cassia	"New Gold" Lantana
Evergreen Elm	"Thunder Cloud" Sage	"Green Cloud" Sage	Wedelia
"Desert Museum" Palo Verde	"Valentine" Eromophila	Octopus Agave	"Desert Carpet" Trailing Acacia
Desert Willow	Baja Ruellia	Regal Mist	Bush Morning Glory
Dalberga	Toothless D. Spoon	Octopus Agave	Turf
	Mexican Bird of Paradise		

All planting areas shall have a top dressing of decomposed granite. The color shall be limited to "Express Brown", ¾" screened, 2" thick or similar substitutions as approved by the City of Peoria.

XII. Infrastructure/Utilities

- A. Grading/Drainage/Retention
The site will retain for the 100 year 2 hour event for the site. Calculations will be provided with the first submittal of construction documents. Site drainage shall be as generally shown on the attached conceptual Preliminary Development Plan.
- B. Water
Water is available to the site via a 12" PVC water main located within the Bell Road right-of-way. Water is also available from the 12" PVC main located in the 91st Avenue right-of-way. Initial discussions with the City of Peoria indicate that a new 8" line will be constructed in the 92nd Avenue right of way. See *Appendix Item 7, Utility Maps*.
- C. Wastewater
Sewer is available to the site via a 12" VCP gravity main located in the Bell Road right-of way where it intersects with 91st Avenue. The sewer main shall be extended across this property's frontage at the time it is developed, once reviewed and approved by the City of Peoria Engineering Department. Maricopa County Department of Transportation (MCDOT) review and approval will also be needed. See *Appendix Item 7, Utility Maps*.

- D. **Electric Power/ Natural Gas**
Arizona Public Service (APS) will provide electric power to the site. Overhead and underground facilities are available in the immediate area and will supply electric power to the site. Natural Gas will be supplied by Southwest Gas Corporation. See *Appendix Item 7, Utility Maps.*

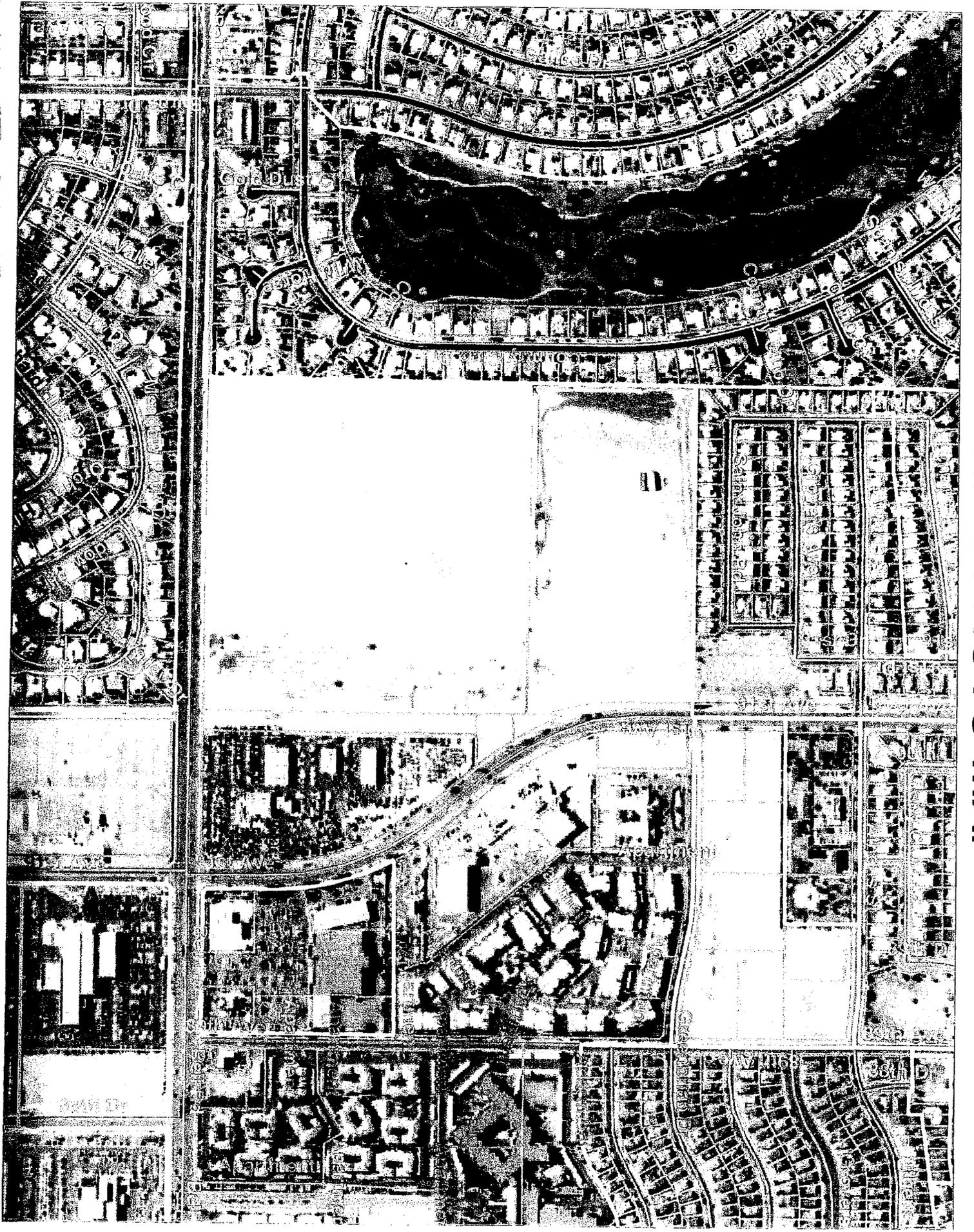
- E. **Telephone Service**
Telephone service is provided by Qwest Communications and is available to the site. See *Appendix Item 7, Utility Maps.*

XIII. Appendix

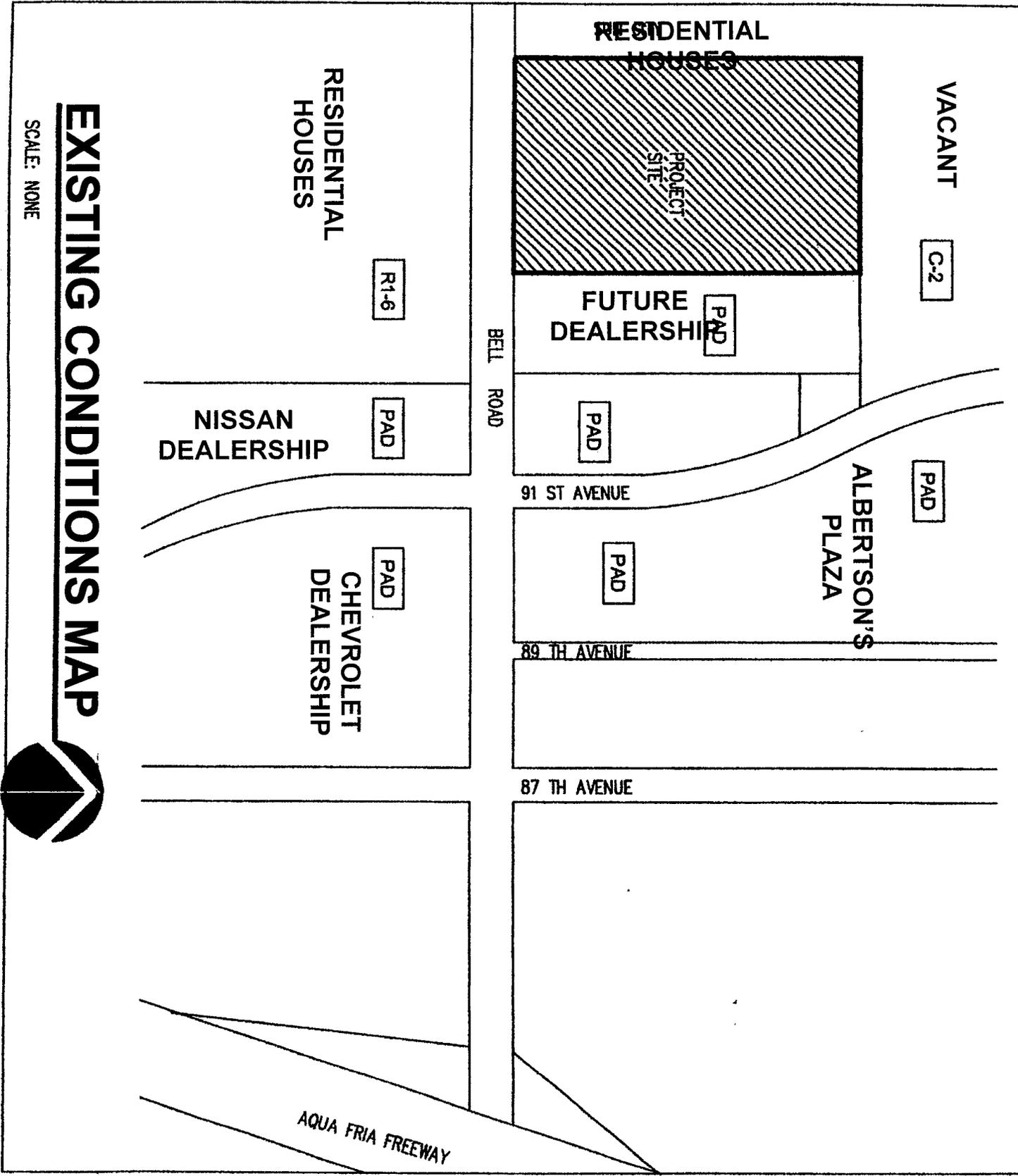
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Appendix Item 1

Aerial Location Map



AERIAL PHOTO MAP



EXISTING CONDITIONS MAP

SCALE: NONE



Appendix Item 2

Legal Description

PARCEL NO. 1:

THE WEST HALF OF THE FOLLOWING DESCRIBED PARCEL:

THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 4 NORTH, RANGE 1 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 33;

THENCE SOUTH 89 DEGREES 20 MINUTES 08 SECONDS WEST, ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER, 1323.38 FEET TO THE SOUTHWEST CORNER OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER;

THENCE NORTH 00 DEGREES 24 MINUTES 40 SECONDS WEST, ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER, 1321.52 FEET TO THE NORTHWEST CORNER OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER;

THENCE NORTH 89 DEGREES 23 MINUTES 09 SECONDS EAST, ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER, 1323.95 FEET TO THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER;

THENCE SOUTH 00 DEGREES 23 MINUTES 11 SECONDS EAST, ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER, 1320.36 FEET TO THE **POINT OF BEGINNING**.

PARCEL NO. 2:

THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 4 NORTH, RANGE 1 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH LINE OF SAID SECTION 33 THAT LIES SOUTH 89 DEGREES 20 MINUTES 45 SECONDS WEST 320.43 FEET FROM THE SOUTHEAST CORNER OF SAID SECTION 33;

THENCE CONTINUING SOUTH 89 DEGREES 20 MINUTES 45 SECONDS WEST ALONG SAID SOUTH LINE 341.21 FEET TO THE SOUTHWEST CORNER OF SAID EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER;

THENCE NORTH 00 DEGREES 23 MINUTES 50 SECONDS WEST ALONG THE WEST LINE OF SAID EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER, 1320.87 FEET TO THE NORTHWEST CORNER OF SAID EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER;

THENCE NORTH 89 DEGREES 23 MINUTES 46 SECONDS EAST ALONG THE NORTH LINE OF SAID EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER, 341.46 FEET TO A POINT ON THE WEST LINE OF THE EAST 320.43 FEET OF SAID EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER;

THENCE SOUTH 00 DEGREES 23 MINUTES 11 SECONDS EAST PARALLEL TO AND 320.43 FEET WEST OF THE EAST LINE OF SAID EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER, 1320.59 FEET TO THE **POINT OF BEGINNING**.

**Appendix Item 3
Preliminary
Development Plan**

Appendix Item 4 Project Phasing Plan

PRELIMINARY PHASING PLAN

BELL ROAD

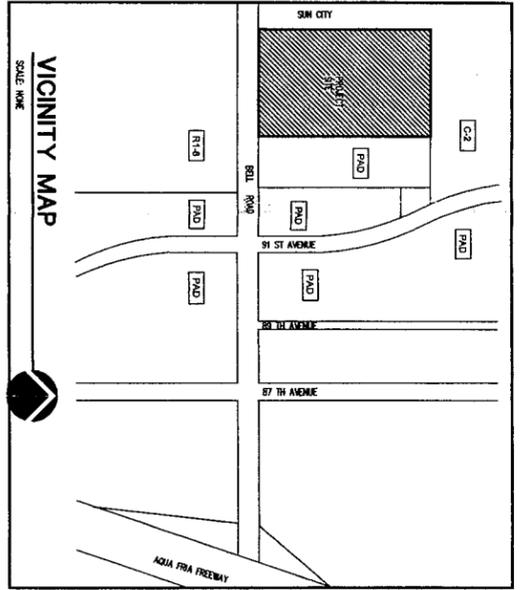
92nd AVENUE

FUTURE DEALERSHIP - PHASE 3

LEXUS DEALERSHIP - PHASE 1

BUILDING B - PHASE 2B

BUILDING A - PHASE 2A



PRELIMINARY PHASING PLAN

PROJECT NO. 0308
 ISSUE DATE: 6/28/04

JOHN MAHONEY
 ARCHITECT



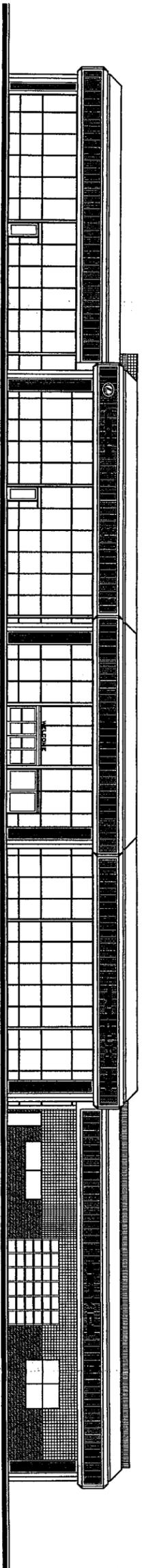
1819 w. drake dr., suite 101 tempe, arizona 85283-4311
 tel. . 480 . 345 . 8457 tel. 480 . 345 . 8457



**Appendix Item 5
Conceptual
Landscape Plan**

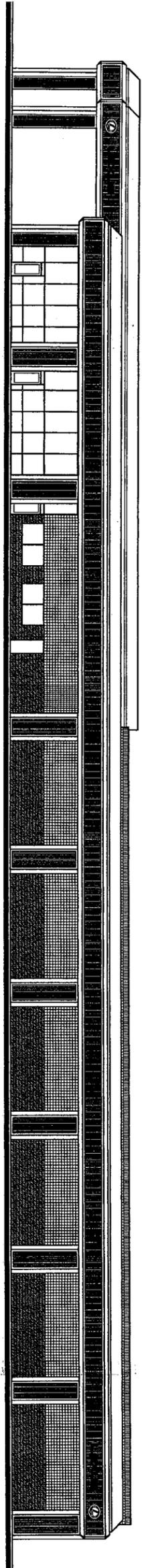
Appendix Item 6

Character Elevations



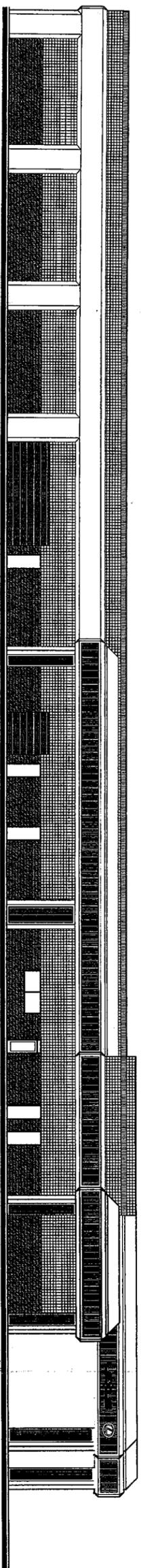
SOUTH ELEVATION - LEXUS DEALERSHIP

SCALE 3/8" = 1'-0"



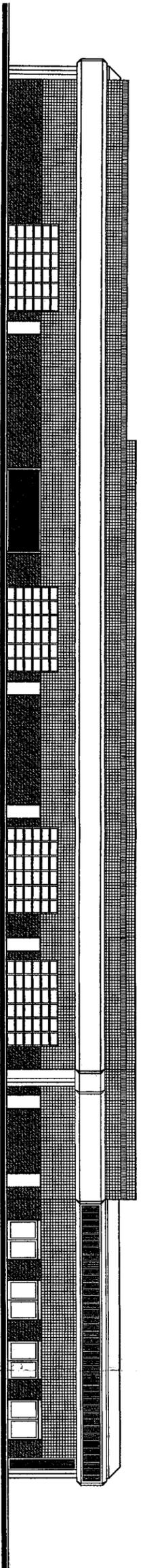
EAST ELEVATION - LEXUS DEALERSHIP

SCALE 3/8" = 1'-0"



WEST ELEVATION - LEXUS DEALERSHIP

SCALE 3/8" = 1'-0"



NORTH ELEVATION - LEXUS DEALERSHIP

SCALE 3/8" = 1'-0"

ARROWHEAD

JOHN MAHONEY
A R C H I T E C T



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CONCEPTUAL
ELEVATIONS

PROJECT NO. 0300
 ISSUE DATE: 6/28/04

LEXUS DEALERSHIP
 BUILDING ELEVATIONS
A3.1

PRELIMINARY DEVELOPMENT PLAN

BELL ROAD

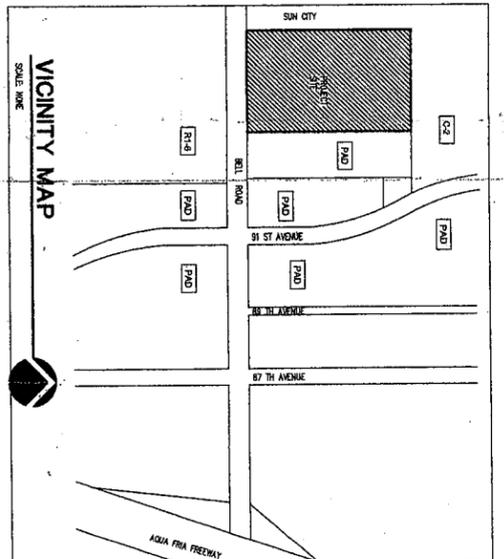
92nd AVENUE

FUTURE DEALERSHIP

LEXUS

BUILDING B

BUILDING A



SCALE: 1" = 30'-0"

PRELIMINARY DEVELOPMENT PLAN

A1.0

PROJECT NO. 0908
 ISSUE DATE: 6/28/04

THIS PLAN IS THE PROPERTY OF JOHN MAHONEY ARCHITECTS AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JOHN MAHONEY ARCHITECTS.

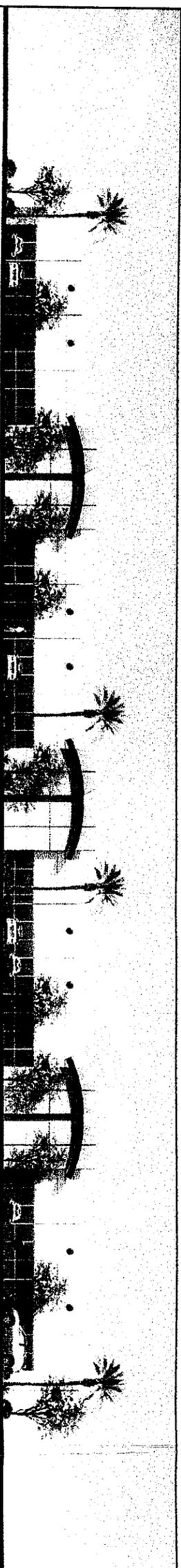
JOHN MAHONEY ARCHITECT

1819 W. DRAKE DR., SUITE 101 TEMPE, ARIZONA 85283-4311
 TEL. 480.345.8457

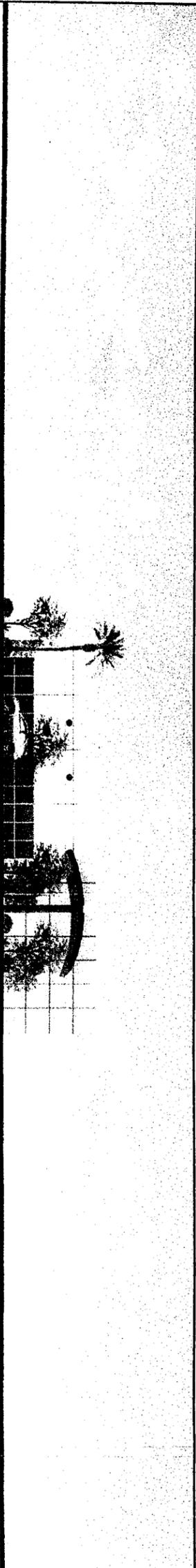
13728
 JOHN H.
 ARCHITECT
 ARIZONA, U.S.A.

NOT FOR CONSTRUCTION

ARROWHEAD LEXUS



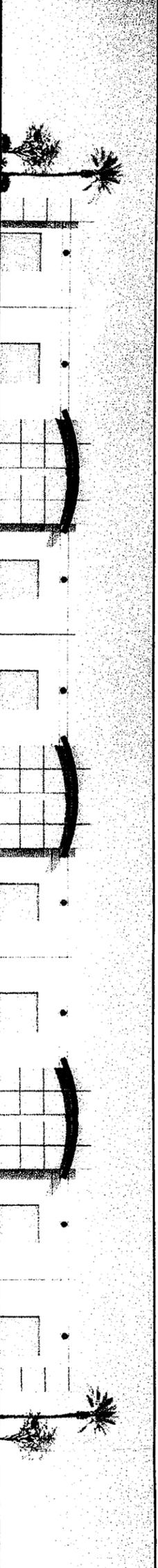
SOUTH ELEVATION - BUILDINGS A AND B



EAST ELEVATION - BUILDINGS A AND B

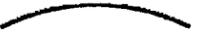


WEST ELEVATION - BUILDINGS A AND B



NORTH ELEVATION - BUILDINGS A AND B

 EXUS
ARROMHEAD


JOHN MAHONEY
ARCHITECT

CONCEPTUAL
ELEVATIONS

A3.2

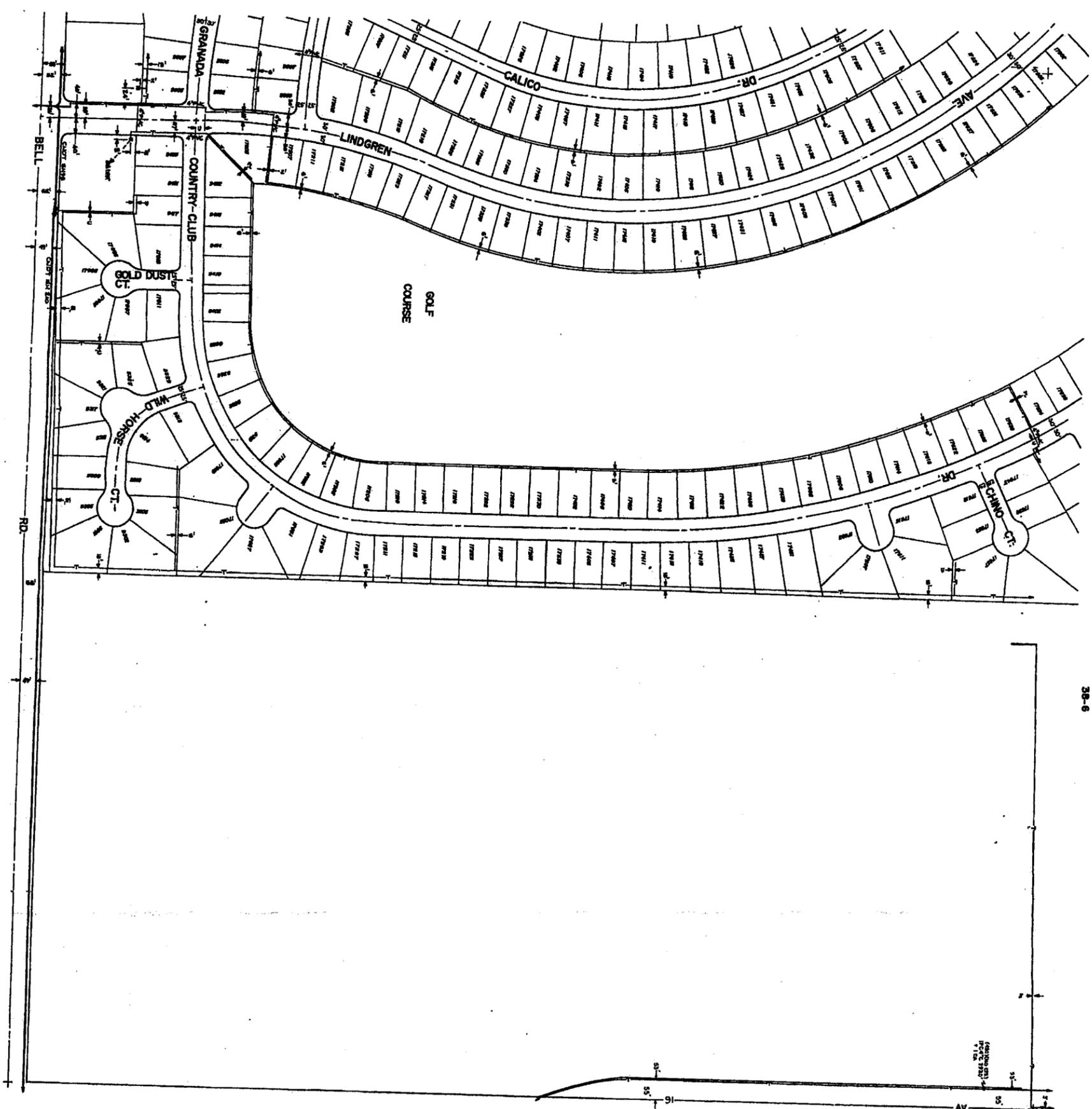
BUILDINGS A AND B
BUILDING ELEVATIONS

Appendix Item 7

Utility Maps

INSTALLATION RECORDS ARE FOR THE INTERNAL USE OF THE FACILITY OWNER IN LOCATING ITS UNDERGROUND FACILITIES AND ARE NOT INTENDED TO BE RELIED ON BY OTHERS. FOR UNDERGROUND FACILITIES LOCATIONS OUTSIDE OF MARICOPA COUNTY, CALL BLUE STAKE (602) 263-1100 IN MARICOPA COUNTY, CALL 1-800-STAKEIT

37-5



CONFIDENTIAL: DISCLOSE AND DISTRIBUTE SOLELY TO US WEST EMPLOYEES HAVING A NEED TO KNOW

38-6

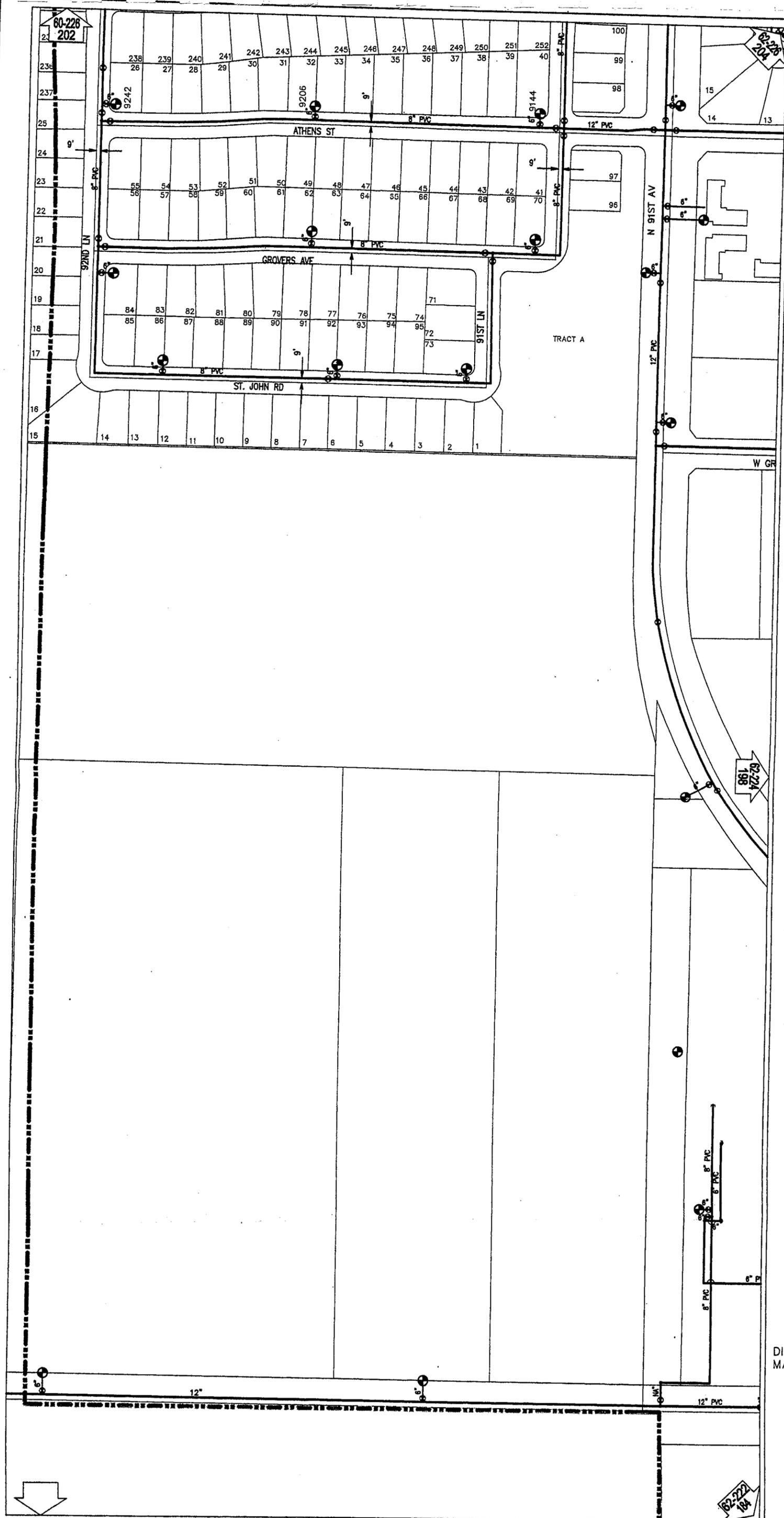
36-6

37-7



LEGEND	
PROPOSED PLANT	○
EXISTING PLANT	●
CONCRETE	▣
ASPHALT	▨
GRAVEL	▧
PAVEMENT	▩
ROAD	—
RAIL	—
UTILITY	—
BOUNDARY	—
SCALE 1"=200'	
DATE 08/14/00	
BY [Signature]	
CHECKED [Signature]	
APPROVED [Signature]	

DATE	08/14/00
BY	[Signature]
CHECKED	[Signature]
APPROVED	[Signature]



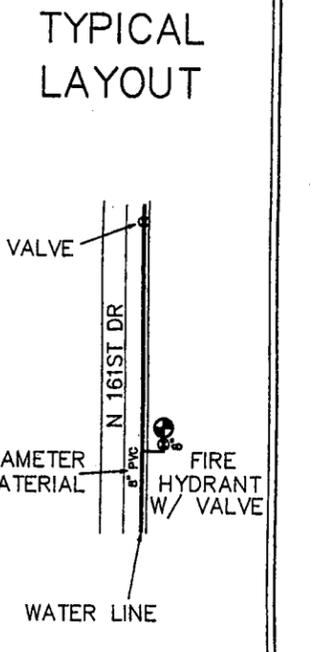
N

SCALE
0 100' 200'
FEET

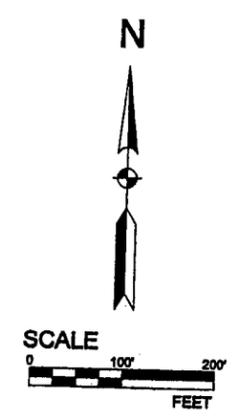
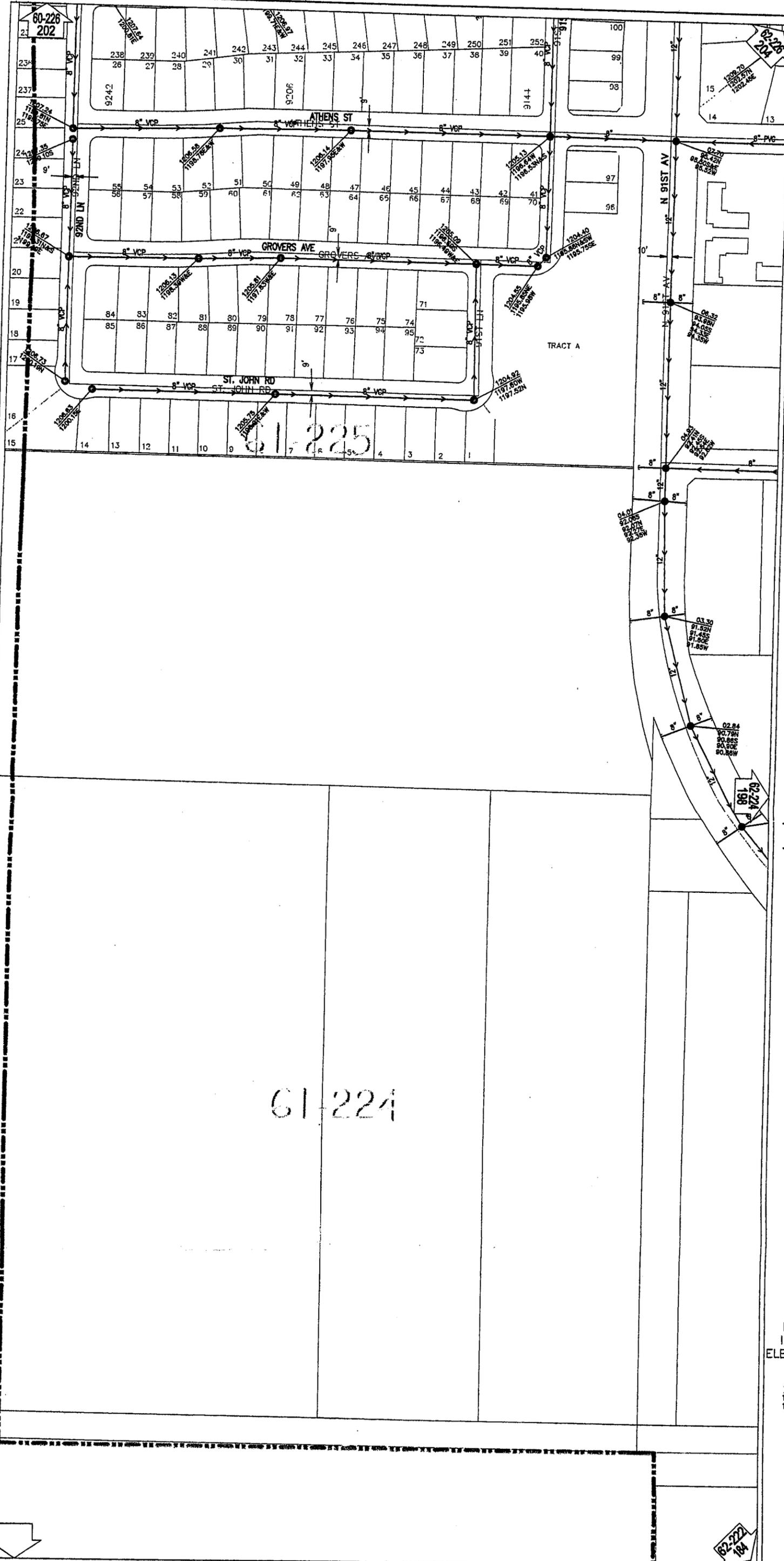
WATER FEATURES

- AIR RELEASE
- BACKFLOW
- ▣ BLOWOFF
- ▲ BOOSTER PUMP STATION
- CONNECTION
- ⊔ CAP
- ⊙ FIRE HYDRANT
- ⊞ METER VAULT
- MANHOLE
- ⋈ PRESSURE REDUCER
- ▽ PUMP STATION
- ▲ REDUCER
- RESV RESERVOIR
- ⊙ VALVE
- WELL WELL

— WATER LINE



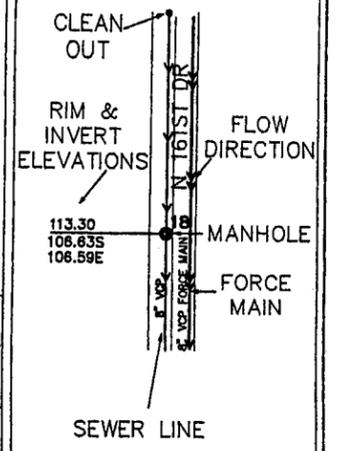
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WASTEWATER FEATURES

- CLEAN OUT
- ⊙ MANHOLE
- [] PLUG
- LS LIFT STATION
- RIM ELEV1
ELEV2
ELEV3 RIM & INVERT ELEVATIONS
- SEWER LINE
- ⇐ FORCE MAIN

TYPICAL LAYOUT

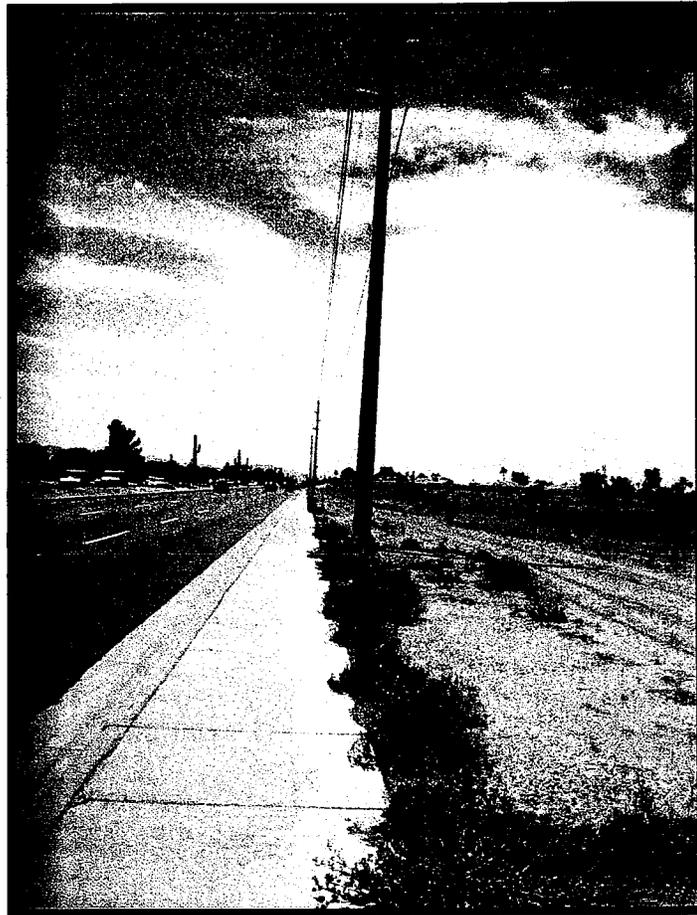


61-224

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RESULTING FROM THE USE OF THE INFORMATION HEREON.

Appendix Item 8

Site Photos



Photos 1 & 2 - View west of existing improvements and power poles along Bell.



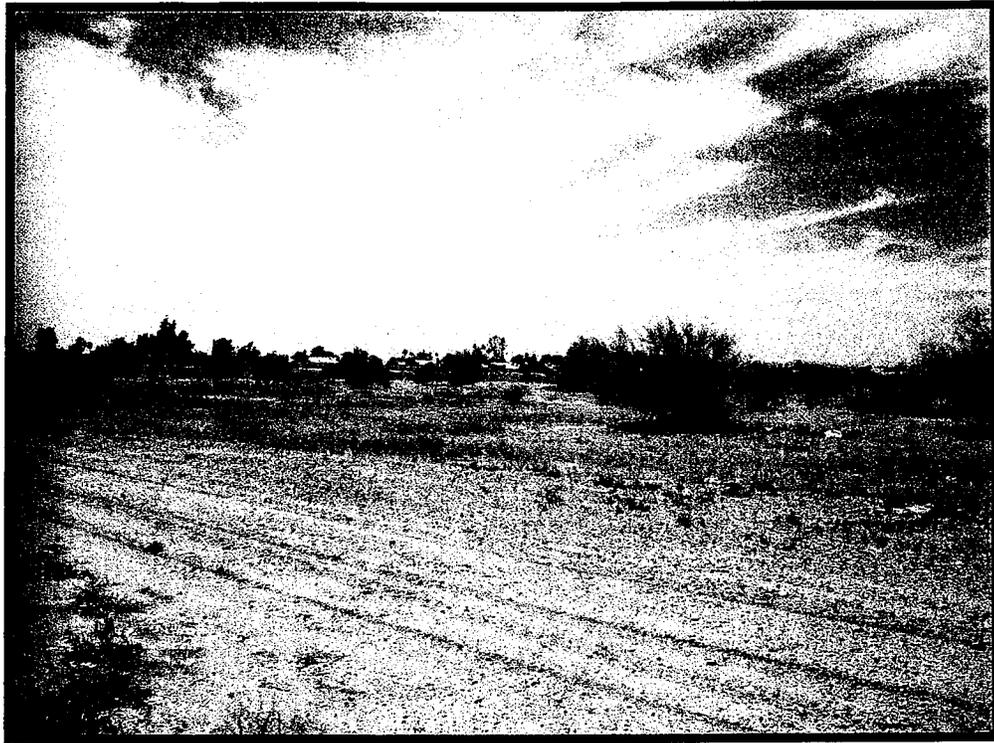


Photo 3 – View northwesterly towards Sun City into the interior of the site.



Photo 4 – View northeasterly into the interior of the site.



Photo 5 – View east towards the existing Ford Auto dealership from the vicinity of the southeast corner of the site. The vacant piece to the east is planned for an Acura Dealership.



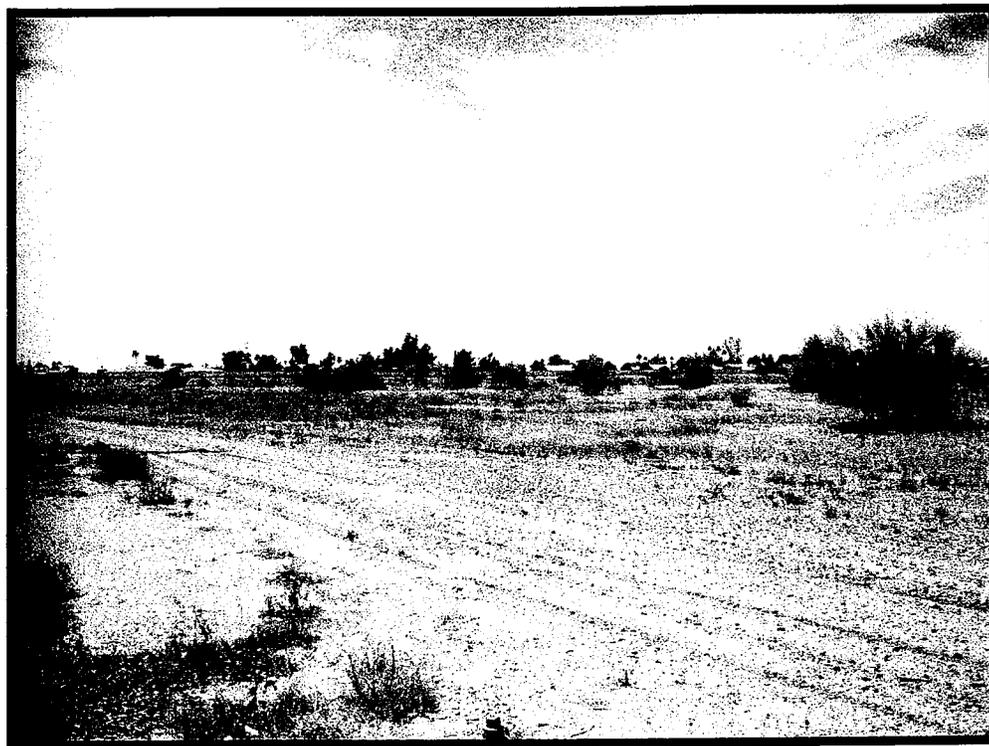


Photo 7 – View northwesterly into the interior of the site.

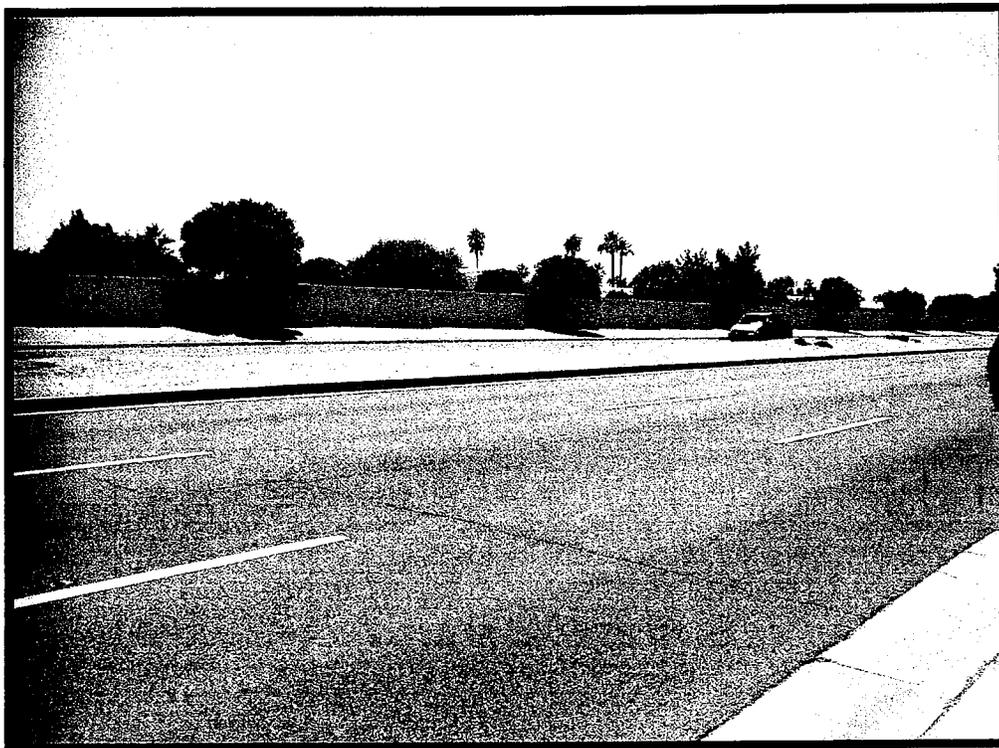


Photo 8 – View southerly across Bell Road.



Photo 9 –View of the Ford Dealership at NWC of 91st Ave & Bell Rd.

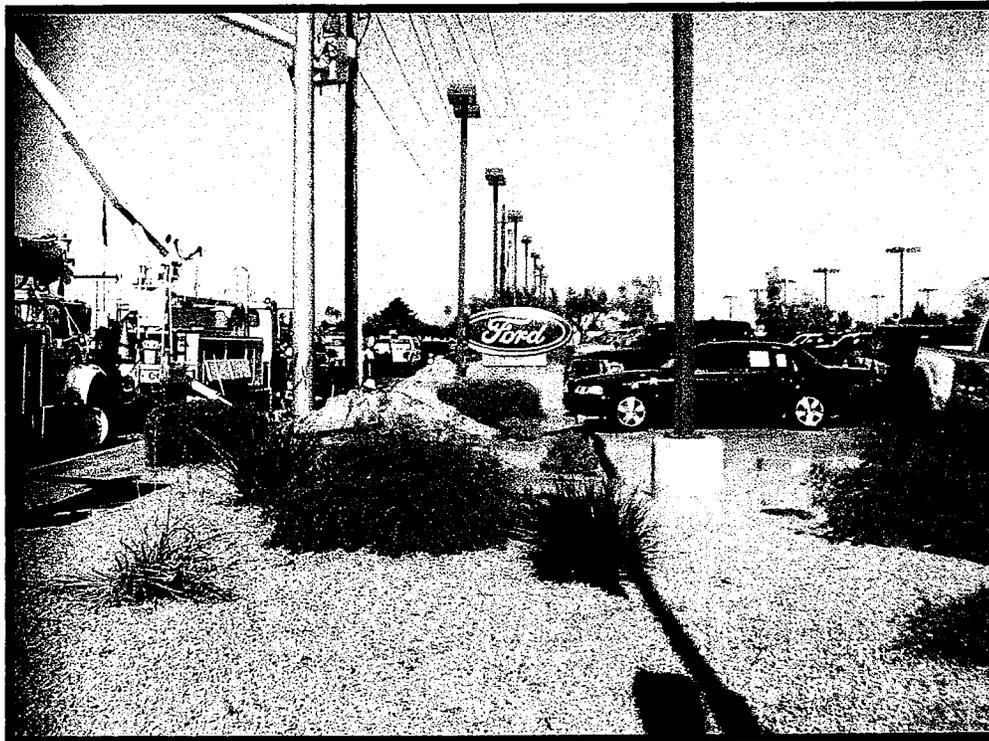


Photo 10 – View of the Ford Auto dealership monument sign.



Photo 11 – View of the Chevrolet Dealership at the
SWC of 91st Ave & Bell Rd.



Photo 12- View of the Chevrolet monument sign.

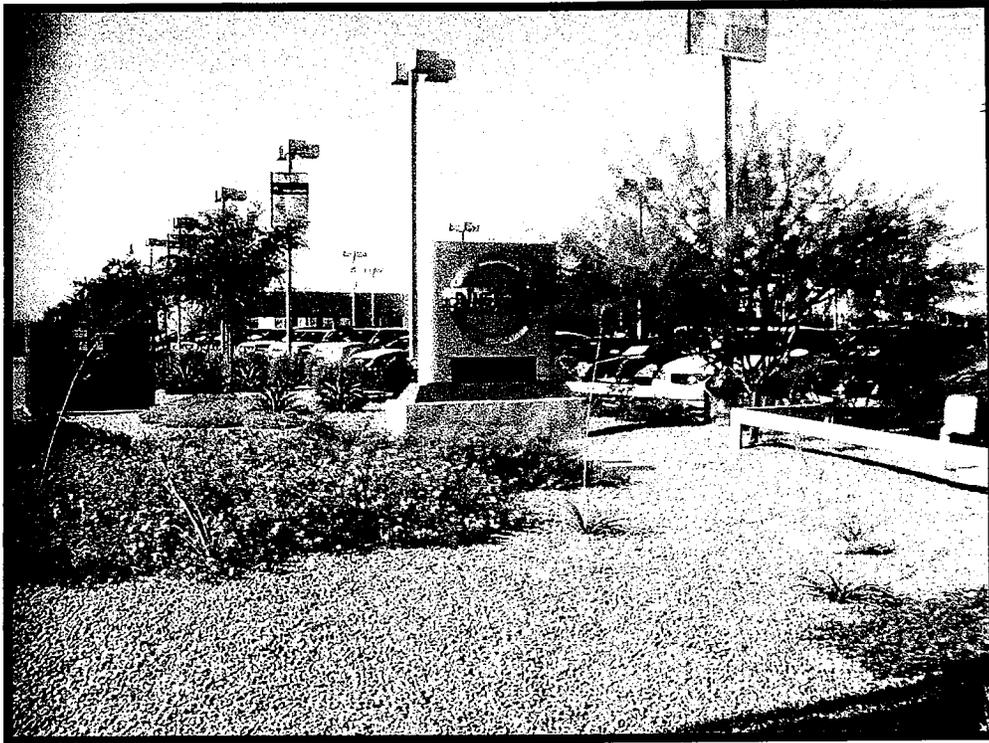


Photo 13 – View of Nissan monument sign 1.



Photo 14 – View of Nissan monument sign 2.

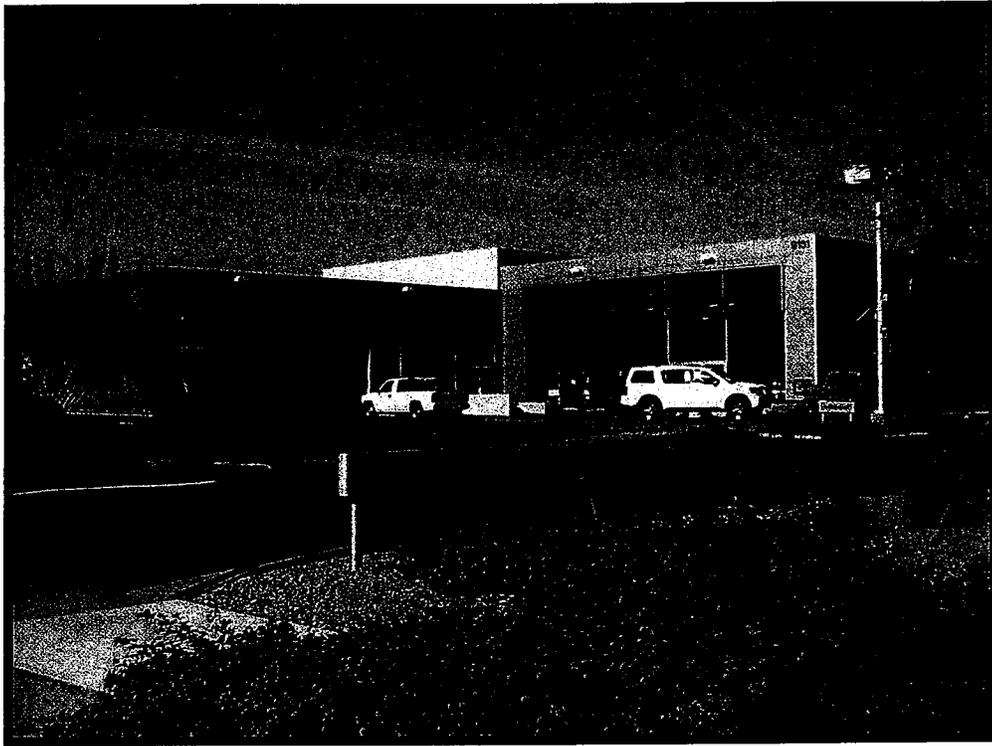


Photo 15 – View of the Nissan Dealership at the southwest corner of 91st Ave and Bell Road.