

QUERENCIA

Planned Area Development Minor Amendment

Standards and Guidelines Report

North of the Northeast Corner | Lake Pleasant Pkwy and Happy Valley Rd

Case: Z05-08A.3

SUBMITTED TO:

CITY OF PEORIA PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT

Peoria, Arizona

PLANNED AREA DEVELOPMENT

APPROVAL 3/26/15

P/Z Commission Date N/A

City Council Approval Date N/A

APPLICANT:

IPLAN CONSULTING
Prepared: September 2013
Revised: November 2013
Revised: April 2014
Revised: March 2015

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Planner



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INTRODUCTION

Querencia is a 44-acre site that runs parallel to Lake Pleasant Parkway on the west, and is located one-quarter mile north of Happy Valley Road and one-half mile south of Jomax Road. The initial rezoning approval established PAD zoning on the property with a modified R1-12 zoning district (Z05-08, Jan. 17, 2006). The property received both its zoning and preliminary plat (P05-26) approvals for a 54 lot subdivision in 2006 and 2007, respectively. The housing market downturn impacted development of the project and it was never built as originally approved. In September 2013, Iplan Consulting, on behalf of Meritage Homes, filed an amendment to increase the lot count of the subdivision to 72 and revamped the amenity package with several changes to the land plan. This was approved by Peoria City Council on February 4, 2014. The new Preliminary Plat was subsequently approved on March 4, 2014 under case number P13-033. There are currently no improvements on the property and the natural topography includes a combination of landforms that range from Desert Floor, Bajada, and Hillside.

The concept and theme of the design were based on the definition of the name chosen for the development “Querencia”. When translated, Querencia means: “that very special place you call home.” The theme is enhanced by the natural setting of the land that is the foundation upon which the character of the neighborhood has been established. Querencia is a proposed private gated community that will feature a variety of homes that have been developed specifically for this property by Meritage Homes of Arizona, Inc.

Our design effort took the original Querencia concept envisioned in cases Z05-08 and P05-26 by maintaining the overall street network and relationship to undisturbed hillside and adjacent development, but modified the minimum lot widths to provide additional homes in the development to achieve a total of 72 lots. Active and passive open space areas are nearly identical to the original approval with modifications made to the entry of the project which has been enhanced by adding an uninterrupted view corridor directly up the hillside slope. The underlying R1-12 PAD zoning and approved development standards were updated to include provisions for reduced front yard setbacks for side-entry garages. A new R1-9 PAD zoning district was added to capture the minimum 9,000 sf lot size for the majority of the development.

The 72 lot development features lot sizes averaging 9,479 sf and results in a density of 1.63 DU/acre. The unique character of the development is achieved by integrating the design of the gated enclave into the natural topography and offering a series of unique home designs that will compliment a range of lifestyles. Meritage Homes is committed to developing quality, executive housing that blend the needs of prospective homeowners with the anticipated high-end neighborhood desired by the surrounding community. Meritage Homes has developed a reputation as a strong, community-minded homebuilder that develops industry leading homes in their “home market”.



The first minor PAD amendment, Z05-08A.2 made six general changes to the development plan that was approved by Peoria City Council on February 4, 2014. The changes were more or less items that surfaced during the Improvement Plan development process and are explained in more detail in later sections of this report. The recap of those six PAD amendment components were as follows:

- 1) Revise the Master Conservation Plan with new disturbance boundaries that are also reflected on the Grading and Drainage Plan sheet of the Preliminary Plat.
- 2) Revise Wall Details to allow deviations to typical retaining wall details.
- 3) Revise the Entry Monument signage and layout.
- 4) Revise the Trails Plan.
- 5) Revise the Theme Wall column/pilaster locations and eliminate wall jogs along Lake Pleasant Parkway.
- 6) Establish a Phasing Plan that divides the development into two phases.

The proposed minor PAD amendment, filed under case number Z05-08A.3, proposes two general changes to the development plan that was approved by City Staff in March 2015. The recap of these proposed PAD amendment components are as follows:

- 1) Revise the development standards pertaining to rear yard setback requirements for accessory structures over 9' tall on specified lots (See Appendix G - Accessory Structure Lot Map) This will apply to lots 10-17, 21-26, 33-35, 40-42, 46-52, 54-58 and 66-72.
 - a. Allow optional accessory structures to reduce the rear setback to 6' for an accessory structure up to 13' tall for Lots 10-17, 21-21, 33-35, 46-52, 54-58, and 66-72 as indicated in blue on Appendix G.
 - b. Allow optional accessory structures to reduce the rear setback to 7' for an accessory structure up to 15' tall on Lots 40-42 as identified in green on Appendix G.

EXISTING CONDITIONS

The 44 acre property is characterized by the following: 1) hillside slopes, 2) natural desert vegetation on the majority of the site, 3) an area of disturbance in the southwest corner, 4) two low hilltop peaks (SWC and traversing the site from SW to NE), 5) a 30' El Paso gas line easement bisecting the property, and 5) natural wash in the SEC of the property

Per the aerial located below, the surrounding land uses are:

N: Large lot residential – both vacant lots and homes

E: Large lot residential – both vacant lots and homes

S: Vacant State Land, designated Residential 2-5 du/acre

W: Lake Pleasant Parkway, then School, Office, and future Hospital Uses



LEGAL DESCRIPTION OF PROPERTY AND PARCELS

Per the A.L.T.A. survey (See Appendix A - A.L.T.A.), the following description applies to this parcel. That portion of the South Half of the Northwest Quarter of Section 4, lying Easterly of the East rights-of-way line of Lake Pleasant Parkway as established by Book 2 of Maps, Page 43A, Maricopa County Records: and that part of Lot 4 lying Easterly of the East Rights-of-way line of Lake Pleasant Parkway and established by Book 2 of Maps, Page 43A, Maricopa County Records, Township 4 North, Range 1 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.

PRELIMINARY DEVELOPMENT PLAN

Currently there are no improvements on the land. The 72 lot single-family detached gated community that was approved in the prior PAD amendment/preliminary plat will blend both visually and physically into the surrounding neighborhood, and looks nearly identical to the original approval in case P05-26 (See Appendix C – Preliminary Plat)

Querencia will improve the surrounding infrastructure related to the project and provide lots that will enhance the property values in the area. The project is proud to have preserved the hillside area and the open space provided exceeds the minimum standards required by the City of Peoria (9.2% usable provided). Amenities, such as trails, seating, and ramadas will be provided within pocket parks and a centralized view corridor that takes advantage of the natural topography. Residents entering their community will see the view corridor up the most significant hillside portion of the development.



CONSISTENCY WITH THE GENERAL PLAN

Prior to the General Plan Amendment approval this property received in February 2014, approximately 31 acres of the project was located in the Estate Density Residential land use category of (0-2 du/acre, target of 1 du/ac) and approximately 13 acres of the site was located in the Low Density Residential category of (2-5 du/acre, target of 3 du/ac). With a blended calculated target density of 1.59 du/ac, the proposed 1.63 DU/acre, as was reflected on the Preliminary Plat application (P13-0033), maintained conformance with these designations while providing for an appropriate mix of densities for the project considering adjacent land uses. However, due to the 9,000SF minimum lot size not meeting the overall intent of the Residential Estate category, a concurrent minor General Plan Amendment application (GPA13-0007) was submitted and subsequently approved along with the major PAD amendment. That approval re-designated the entire project to the Residential Low (2-5 du/ac, target of 3 du/ac) category. Although the overall density of 1.63 du/ac was under the Residential Low target density of 3 du/ac, the large amount of open space (both undisturbed hillside and landscaped areas) depressed the density far below what would be typical for both this lot size and GP land use designation.

PROJECT PHASING AND DEVELOPMENT SCHEDULE

This proposed amendment seeks to break the project down into two phases (See Appendix F – Phasing Plan). The first phase will include offsite improvements, primary retention area, gated entry, and centralized open space. Development will generally start from the north and work towards the south. Phase 2 will include the southern half of the subdivision. Onsite grading and construction is tentatively anticipated to begin around the end of Spring 2014.

LIST OF PERMITTED, CONDITIONAL AND ACCESSORY USES

This amendment has no proposed use changes or limitations from the Single-Family Residential districts as outlined in Article 14-5 of the City of Peoria Zoning Ordinance. The following language applies to the principal, conditional, and accessory uses:

- One single-family detached dwelling unit per lot.
Other Permitted Principal Uses shall conform to the standards set forth in Article 14-5-2 of the City of Peoria Zoning Ordinance.
- Conditional Uses shall conform to the standards set forth in Article 14-5-3 and Article 14-5-7 of the City of Peoria Zoning Ordinance.
- Accessory Uses shall conform to the standards set forth in Article 14-5-4 and Article 14-5-8 of the City of Peoria Zoning Ordinance.

PROJECT DEVELOPMENT STANDARDS

The table below sets forth the development standards for Querencia which identify the criteria related to minimum lot area, width, depth, maximum building height, setbacks, and lot coverage. Six R1-12 PAD lots are located adjacent to existing development in an effort to buffer those



large lot properties. The remaining 66 lots are R1-9 PAD and are mostly concentrated on the interior of the development (See Appendix B – Zoning Exhibit).

Property Development Standards	R1-12 PAD	R1-9 PAD
Minimum Lot Area (acreage)	12,000 SF	9,000 SF
Minimum Lot Width (ft)	70'	70'
Minimum Lot Depth (ft)	100'	100'
Maximum Lot Coverage (percentage)	45%	45%
Maximum Building Height (ft)	30'	30'
Front Setback (ft) – <i>Side-entry garage</i>	10' [*]	10' [*]
Front Setback (ft) – <i>Front-facing garage</i>	20' ^{**}	20' ^{**}
Interior Setback (min/total ft)	5' min/15' total	5' min/15' total
Rear Setback (ft)	15'	15'
Corner Setback (ft)	10'	10'
Accessory Structures	See below	See below

* Not more than 60% of the total front-facing elevation shall occur at the 10-foot setback.

** Where front-facing garages are present, a 10-foot front setback shall apply to the livable portion of the home provided that not more than 60% of the total front-facing elevation occurs at the 10-foot setback.

Accessory Structures

Development standards for accessory structures shall comply with Section 14-5-8 of the City of Peoria Zoning Ordinance except as modified below.

Rear yard setback requirements for accessory structures over nine (9) feet tall and under three hundred (300) square feet on lots 10-17, 21-26, 33-35, 46-52, 54-58 and 66-72 shall be six (6) feet when the structure does not exceed thirteen (13) feet in height. Accessory structures on these lots in excess of thirteen (13) feet in height shall meet principal building setbacks.

Rear yard setback requirements for accessory structures over nine (9) feet tall and under three hundred (300) square feet on lots 40-42 shall be seven (7) feet when the structure does not exceed fifteen (15) feet in height. Accessory structures on these lots in excess of fifteen (15) feet in height shall meet principal building setbacks.

See Appendix G - Accessory Structure Lot Map

PROJECT SIGNAGE STANDARDS

Project signage shall conform to the requirements set forth in Article 14-34 of the City of Peoria Zoning Ordinance. The approval of this proposed amendment includes conceptual entry monument sign elevations, but all final approvals shall be subject to a separate review and



permitting process. Both sides of the entry drive include 26 square feet of sign area (See Appendix D – Landscape Plans).

PROJECT LANDSCAPING STANDARDS

Project landscaping shall conform to the requirements set forth in Article 14-35 of the City of Peoria Zoning Ordinance.

A Preliminary Landscape Plan for the entire development has been submitted with this application (See Appendix D – Landscape Plans), along with a Native Plant Inventory. Please note that a Trails Plan is included with those plans, along with an exhibit depicting the areas intended for “usable” open space. The proposed landscape plan features an amenity package that includes multiple nodes of shade seating, exercise equipment, trails, and view corridors.

As part of the PAD amendment request Z05-08A.1, Meritage Homes sought to enhance the gated entry with a larger tower element and pedestrian pass-through building. The entry monument and sign area have been revised and now include a water feature and flower beds for additional color. The trail locations were modified to provide a connection on the east end of the development around the large hill. (See Appendix D – Landscape Plans).

Another request related to PAD amendment Z05-08A.1 related to the wall design at both the gated entry and along Lake Pleasant Parkway (LPP). Subdivision walls that align with a collector or arterial are required to provide jogs to provide undulation and variation (Article 14-3-5). Since our subdivision design provides significant buffering with a taper of increasing distance away from LPP that ultimately terminates into a hill, we find that the intent of this section is met by this design. Meritage Homes has provided additional stone pilasters at regular intervals in lieu of wall undulations to further meet this intent (See Appendix D – Landscape Plans).

HILLSIDE DEVELOPMENT

The Hillside Development Overlay (HDO) District-Article 14-22A applies to all properties that contain natural mountainous terrain with a slope of ten percent (10%) or greater in some areas; therefore, the Hillside Development Overlay District regulations will apply to this project.

A slope analysis was completed for this site under the original application and Cardno Engineering provided a Slope Analysis Validation Report as part of the major PAD amendment application. The approved Preliminary Plat (P13-0033) was similar to the original approval in terms of hillside disturbance.

As part PAD amendment request Z05-08A.1 for Querencia, we requested three deviations from Article 14-3 of the General Provisions in regards to wall heights. Specifically, the City of Peoria has three wall height qualifications that cannot be met in some circumstances on the proposed project site. The maximum vertical difference from the top of wall to the pad elevation of a lot



on the low side of the wall is 8-feet without terraces (14-3-5.B-3), each terraced retaining wall above the first retaining wall at grade shall not retain more than 4-feet of earth (14-3-5.B-5) and walls adjacent to natural retention areas, waterways or similar features shall not exceed 8-feet on the retention side as measured to the required 2-foot shelf at the base of the wall (14-3-5. B-6). For graphical reference of the request, please see Appendix E - Wall Waiver Exhibit.

Below is a list of three different circumstances regarding the criteria required by the City and the reasons why the deviations were requested:

1. The maximum wall height allowed between residential lots, without terracing, is 8-feet from the lower lot to the top of the wall. This means that if the wall height is 6-feet on the high lot side, there is only 2-feet of retaining wall allowed between the lots. There are some lots in Querencia that require a 4-foot retaining wall between the sides of the lots due to hillside grading restrictions and lot configuration. Terracing the walls between side yards in these areas is not possible due to the size of the lots. Cardno is requesting a waiver for the maximum wall height requirement for residential to residential lots side yards. A request is being made to change this requirement from 8-foot maximum to 11-foot maximum so a 4-foot retaining wall can be utilized. There are also some cases where a retaining wall is not used and there is a 3:1 slope from the side of the high lot to the side of the low lot. A request is being made to change the requirement from 8-foot maximum to 11-foot maximum in these cases as well. There are also lots in Querencia between abutting lots along low side streets and high side streets that have up to 12-feet of elevation difference between backyards due to existing conditions, grading restrictions and lot configuration. Meritage Homes is requesting a deviation for the maximum wall height requirement for residential to residential lots back yards. A request is being made to change this requirement from 8-foot maximum to 19-foot maximum so a 12-foot terraced retaining wall can be utilized.
2. The maximum retaining wall height allowed for each terraced retaining wall above the first retaining wall at grade is 4-feet. There are lots in Querencia between abutting lots along low side streets and high side streets that have up to 12-feet of elevation difference due to existing conditions, grading restrictions and lot configuration. There are also lots in Querencia abutting the State Land south of the site and the open space at the southeast corner of the site, where an existing wash cuts across, that have up to 30-feet of elevation difference between the lot pads and the existing grade. Meritage Homes is requesting a deviation for the maximum wall height requirement for terraced retaining walls above the first retaining wall at grade. A request is also being made to change this requirement from 4-feet to 6-feet so the elevation difference can be made up within a shorter horizontal distance to minimize the reduction of usable space in the backyards of these lots.
3. The maximum wall height allowed between residential lots and retention areas, without terracing, is 8-feet from the lower 2-foot shelf at the base of the wall. This means that if



the wall height is 6-feet on the high lot side, there is only 2-feet of retaining wall allowed between the lots and the 2-foot shelf on the retention side. There are some lots in Querencia that require a 6-foot retaining wall between the sides of the lots and the open space where the retention basins are located due to grading restrictions and lot configuration. Terracing the walls between side yards in these areas is not possible due to the size of the lots, and retention requirements. Meritage Homes is requesting a deviation for the maximum wall height requirement for residential lots to retention area. A request is being made to change this requirement from 8-foot maximum to 13-foot maximum so a 6-foot retaining wall can be utilized.

DESERT LANDS CONSERVATION OVERLAY

Querencia is located north of Pinnacle Peak Road and is therefore subject to the Desert Lands Conservation Overlay (DLCO) District (Article 14-22B). The intent of the DLCO is to:

- A. Identify sensitive desert conservation features and resources.
- B. Protect and preserve Peoria's distinctive desert landscapes and wildlife habitats for the enjoyment of current and future generations.
- C. Protect people and property from hazardous conditions characteristic of environmentally sensitive lands and their development.
- D. Integrate conservation design into the development of sensitive desert lands and employ development standards and guidelines that equitably balance conservation and development objectives.

Since the project exceeds 10 acres, a Desert Lands Conservation Report was prepared and submitted along with the prior major PAD amendment. This document includes all of the required components of the report and illustrates our intent to not only meet the intent of the DLCO District, but to follow the ordinance requirements pertaining to Natural Open Space (NOS) preservation percentages based upon slope and landform type. The project has been specifically designed to concentrate development and redistribute density in an effort to protect hillside NOS and the natural wash corridor in the southeast corner of the property.

As described in the slope analysis memo provided with last zoning application, the existing topography of the site puts the project in the Hillside Development Overlay district. From the table on page 12 of Article 14-22B, Querencia is located within the "Hillside, 15%-20%" category and therefore the NOS requirements are 15% - 55%. We are providing 24.6% NOS and therefore in conformance with the requirement.

Since Peoria City Council's approval of the last major PAD amendment, the new Master Conservation Plan reflects the difficulty in providing sufficient lot grading with the topography of the site. After an in-depth grading analysis, the project needs to grade somewhat further into the hillside to manage on-lot retaining wall heights. As proposed, significant retaining walls will



still be necessary but to an extent less severe than without the additional grading. Meritage Homes will re-vegetate all disturbed areas to a natural desert state.

INFRASTRUCTURE / UTILITIES

a. Grading / Drainage / Retention

The current drainage flows from the hilltop knolls naturally towards the southwest corner of the site (See document on file with the City). The drainage design for Querencia includes a series of swales along the rear retaining walls, street flows and, if necessary, underground drainage pipes that will concentrate flows to the on-site retention basins and discharge at the southwest corner of the site, as is historic. The Preliminary Grading and Drainage plans have been completed and submitted with the Preliminary Plat. All designs will be submitted to the City of Peoria for review and approval.

b. Water / Wastewater

Water: Querencia has been planned and engineered to be in compliance with City of Peoria Design Guidelines. Querencia is a development that will take advantage of the existing services, utilities and facilities in the community. Through the prior zoning case and pre-plat approvals, verification was made that the project can connect with the 16" waterline in Lake Pleasant Parkway. The 8" waterline just north of Querencia and designed for the La Strada Del Lago development, will be a secondary connection for Querencia. The waterline will be designed to connect through the Querencia north property boundary through a tract just west of the existing gas line.

The project engineer has reviewed the existing and approved master water and wastewater plans for infrastructure available on Lake Pleasant Parkway as a means for providing services to the residents of Querencia. Per prior meetings with the City of Peoria staff, it has been determined that there are adequate sewer and water facilities located in Lake Pleasant Parkway to serve this site. A preliminary analysis was provided with the major PAD amendment application in 2013. (See document on file with the City).

Wastewater: Querencia has been planned and engineered to be in compliance with City of Peoria Design Guidelines. Querencia is a development that will take advantage of the existing services, utilities and facilities in the community. Through the prior zoning case and pre-plat approvals, verification was made that there are adequate wastewater facilities located in Lake Pleasant Parkway to serve this site through the existing 21-inch sewer line. The Wastewater Analysis Report will be submitted under separate cover with the first Improvement Plan submittal. A preliminary analysis was provided with the major PAD amendment application in 2013 (See document on file with the City).



c. Electric Power / Natural Gas / Telephone Service

Electric Power will be provided by APS. Southwest Gas can provide natural gas services. Century Link will provide telephone services.

The following table lists the updated utilities and associated service providers for Querencia since its prior approval:

Utility	Service Provider
Water	City of Peoria
Sewer, Refuse, Fire & Police	City of Peoria
Gas	Southwest Gas
Electric	APS
Police	City of Peoria
Telephone	Century Link
Cable	Cox Communications



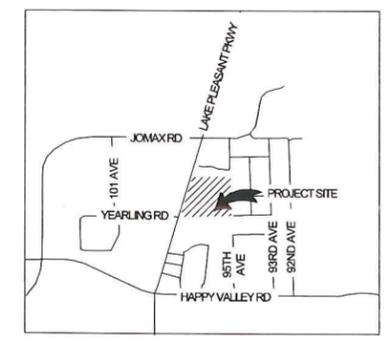
- LEGEND**
- RETENTION BASIN
 - NATURAL OPEN SPACE (NOS) UNDISTURBED
 - NATURAL OPEN SPACE (NOS) REVEGETATED
 - 10' CONCRETE SIDEWALK
 - 5' CONCRETE SIDEWALK
 - 4' DECOMPOSED GRANITE TRAIL
 - 4' NATURAL GROUND TRAIL
 - 8' MULTI-USE DECOMPOSED GRANITE TRAIL
 - POSSIBLE JURISDICTIONAL DELINEATED WASH

NOS TABLE

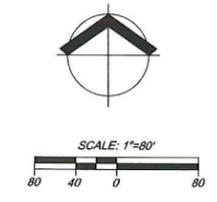
	AREA (SF)	AREA (AC)	% OF SITE AREA
NOS UNDISTURBED	408,023	9.4	21.01%
NOS REVEGETATED	70,214	1.6	3.62%
NOS TOTAL	478,237	11.0	24.62%

SITE AREA = 1,942,264 SF (44.6 AC)

- TREES**
- NOT SALVAGEABLE
 - SALVAGEABLE
 - PROTECT IN PLACE
- CACTI**
- NOT SALVAGEABLE
 - SALVAGEABLE
 - PROTECT IN PLACE



NOTES:
 1. NATIVE PRESERVATION PLAN PROVIDED BY ARBOR CARE EXPERTS, NOVEMBER 2013.
 2. AERIAL MAP PROVIDED BY AEROTECH MAPPING, FLOWN OCTOBER 2013.
 3. THIS EXHIBIT IS BASED ON PRELIMINARY PLAT PLAN.



**MASTER CONSERVATION PLAN
 QUERENCIA
 MERITAGE HOMES
 PEORIA, ARIZONA**

PRELIMINARY

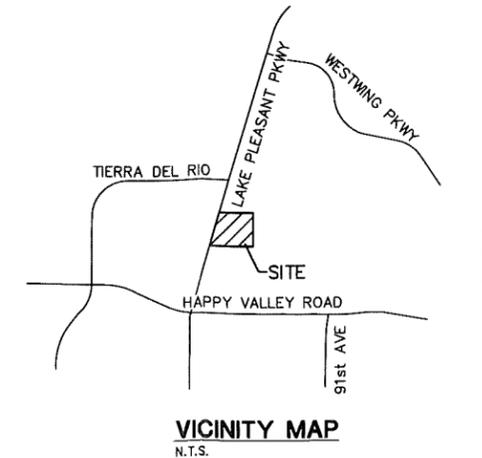
PROJECT NO: 4130462000
 DATE: 09/20/2014
 DESIGNED BY: TEAM
 DRAWN BY: MWJ
 CHECKED BY: PLM



Appendix A
A.L.T.A

ALTA/ACSM LAND TITLE SURVEY OF QUERENCIA PEORIA, ARIZONA

**BEING A PORTION OF THE S 1/2 OF NORTHWEST QUARTER OF
SECTION 4, TOWNSHIP 4 N, RANGE 1 E OF THE GILA & SALT
RIVER BASE & MERIDIAN,
MARICOPA COUNTY, ARIZONA**



LEGAL DESCRIPTION

ALL BEING THAT PART OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 4 LYING EASTERLY OF THE EAST RIGHT-OF-WAY LINE OF LAKE PLEASANT ROAD AS ESTABLISHED BY BOOK 2 OF MAPS, PAGE 43A, MARICOPA COUNTY RECORDS; AND THAT PART OF LOT 4 LYING EASTERLY OF THE EAST RIGHT-OF-WAY LINE OF LAKE PLEASANT ROAD AND ESTABLISHED BY BOOK 2 OF MAPS, PAGE 43A, MARICOPA COUNTY RECORDS, SECTION 4, TOWNSHIP 4 NORTH; RANGE 1 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL NO. 1:

BEGINNING AT THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER; THENCE NORTH 01 DEGREE 51 MINUTES 21 SECONDS WEST AND ALONG THE EAST LINE OF SAID NORTHWEST QUARTER, 830.31 FEET TO THE TRUE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL AND THE SOUTHEAST CORNER THEREOF; THENCE SOUTH 89 DEGREES 32 MINUTES 10 SECONDS WEST AND PARALLEL WITH THE NORTH LINE OF THE SOUTH HALF OF SAID NORTHWEST QUARTER, 1,488.97 FEET TO A POINT ON SAID EASTERLY RIGHT-OF-WAY LINE OF LAKE PLEASANT ROAD; THENCE NORTH 16 DEGREES 54 MINUTES 57 SECONDS EAST AND ALONG SAID EAST RIGHT-OF-WAY LINE, 485.28 FEET TO THE INTERSECTION WITH THE NORTH LINE OF THE SOUTH HALF OF SAID NORTHWEST QUARTER; THENCE NORTH 89 DEGREES 32 MINUTES 10 SECONDS EAST AND ALONG SAID NORTH LINE, 1,332.76 FEET TO THE NORTHEAST CORNER OF THE SOUTH HALF OF SAID NORTHWEST QUARTER; THENCE SOUTH 01 DEGREE 51 MINUTES 21 SECONDS EAST AND ALONG THE EAST LINE OF SAID NORTHWEST QUARTER, 463.26 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL NO. 2:

BEGINNING AT THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER; THENCE SOUTH 89 DEGREES 22 MINUTES 04 SECONDS WEST AND ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER, 846.00 FEET; THENCE NORTH 01 DEGREE 51 MINUTES 21 SECONDS WEST, PARALLEL WITH THE EAST LINE OF SAID NORTHWEST QUARTER, 832.80 FEET; THENCE NORTH 89 DEGREES 32 MINUTES 10 SECONDS EAST, PARALLEL WITH THE NORTH LINE OF THE SOUTH HALF OF SAID NORTHWEST QUARTER, 846.06 FEET TO A POINT ON THE EAST LINE OF SAID NORTHWEST QUARTER; THENCE SOUTH 01 DEGREE 51 MINUTES 21 SECONDS EAST AND ALONG SAID EAST LINE 830.31 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL NO. 3:

BEGINNING AT THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER; THENCE SOUTH 89 DEGREES 22 MINUTES 04 SECONDS WEST AND ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER, 846.00 FEET TO THE TRUE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL AND THE SOUTHEAST CORNER THEREOF; THENCE CONTINUING SOUTH 89 DEGREES 22 MINUTES 04 SECONDS WEST AND ALONG SAID SOUTH LINE, 924.58 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF LAKE PLEASANT ROAD; THENCE NORTH 16 DEGREES 54 MINUTES 57 SECONDS EAST AND ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 875.23 FEET; THENCE NORTH 89 DEGREES 32 MINUTES 10 SECONDS EAST AND PARALLEL WITH THE NORTH LINE OF THE SOUTH HALF OF SAID NORTHWEST QUARTER, 642.91 FEET; THENCE SOUTH 01 DEGREE 51 MINUTES 21 SECONDS EAST AND PARALLEL WITH THE EAST LINE OF SAID NORTHWEST QUARTER, 832.80 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT AS TO ALL THREE PARCELS LISTED ABOVE, AN UNDIVIDED ONE-HALF INTEREST IN AND TO ALL THE OIL, GAS, MINERALS AND ALL MATERIALS WHICH ARE, OR MAY BE DETERMINED TO BE, PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS AS RESERVED TO FRANCIS M. BARD, ALSO KNOWN AS F. N. BARD, AND PHOEBE M. BARD, HIS WIFE, BY DEED RECORDED APRIL 26, 1956, IN DOCKET 1887, PAGE 549;

EXCEPT AS TO PARCEL NO. 1 AND PARCEL NO. 3 LISTED ABOVE THAT PORTION CONDEMNED BY FINAL ORDER OF CONDEMNATION RECORDED SEPTEMBER 16, 2004 AS 2004-1086343 OF OFFICIAL RECORDS.

SCHEDULE 'B' - EXCEPTIONS

- | | | |
|----|------------------------------------------------------------------------------------------------|--------------------|
| 5 | TERMS AND CONDITIONS - DEVELOPER ASSISTANCE AGREEMENT (BLANKET IN NATURE - COVERS ENTIRE SITE) | DKT 2005-1269184 |
| 6 | TERMS AND CONDITIONS - TEMPORARY RIGHT OF ENTRY AND TEMPORARY CONSTRUCTION EASEMENT AGREEMENT | DKT 2005-1591263 |
| 7 | EASEMENT FOR GAS LINES (COVERS ENTIRE SITE) | DKT 2020, PAGE 564 |
| 8 | EASEMENT FOR CITY OF PEORIA ROADWAY, STREETS AND OPEN SPACE | DKT 2004-1086343 |
| 9 | TERMS AND CONDITIONS PER RESOLUTION NO. 05-211 (NON-PLOTTABLE) | DKT 2005-1770359 |
| 10 | TERMS AND CONDITIONS PER RESOLUTION NO. 05.212 (NON PLOTTABLE) | DKT 2005-1771426 |

NOTES

- SITE AREA:

PARCEL 1	653,404 sq.ft. - 15.0000 ac.
PARCEL 2	703,337 sq.ft. - 16.1464 ac.
PARCEL 3	635,411 sq.ft. - 15.0002 ac.
- THIS SURVEY REFLECTS ABOVE GROUND INDICATIONS OF UTILITIES. THE SURVEYOR MAKES NO GUARANTEE THAT ALL OF THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION PROVIDED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES.
- DECLARATION IS MADE TO THE ORIGINAL PURCHASE OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS WITHOUT WRITTEN PERMISSION OF THE SURVEYOR.
- THIS SURVEY IS VALID ONLY WHEN BEARING THE SEAL AND SIGNATURE OF THE SURVEYOR.
- THIS SURVEY IS BASED UPON FIELD WORK PERFORMED BY RICHARD E. JONES DURING DECEMBER 2010. SITE CONDITIONS THAT MAY HAVE CHANGED SUBSEQUENT TO FIELD WORK WILL NOT BE REFLECTED HEREON.

TITLE REFERENCE

INFORMATION ON THIS SURVEY IS BASED UPON THE REPORT OF TITLE ISSUED BY STEWART TITLE GUARANTY COMPANY, ORDER NO. 10150206, AMEND. NO 2, DATED OCTOBER 15, 2010.

VANTAGE RESOURCES LLC HAS RELIED SOLELY UPON THE INFORMATION CONTAINED WITHIN THE REPORT OF TITLE AND SCHEDULE B DOCUMENTS PROVIDED BY STEWART TITLE GUARANTY COMPANY AS LISTED HEREON. VANTAGE RESOURCES, LLC AND RICHARD E. JONES (RLS) MAKE NO STATEMENT AS TO THE ACCURACY OR COMPLETENESS OF THE SUBJECT REPORT.

BASIS OF BEARING

THE BASIS OF BEARING SOUTH 01 DEGREES 51 MINUTES 21 SECONDS EAST - THE NORTH/SOUTH MID-SECTION LINE OF SECTION 4, TOWNSHIP 4 NORTH, RANGE 1 EAST GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

ZONING INFORMATION

PAD

FLOOD INFORMATION

SUBJECT PARCEL LIES WITHIN ZONE "X" AND HAS BEEN DETERMINED TO BE AREAS OF 500-YEAR FLOOD; AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREA OF LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FORM 1 % ANNUAL CHANCE FLOOD ACCORDING TO CURRENT FLOOD INSURANCE RATE MAP NO. 04013C1160H, DATED SEPTEMBER 30, 2005, PANEL 1160 OF 4350.

SURVEYOR'S CERTIFICATION

TO:

- LAKE PLEASANT PARTNERS, LLC, A DELAWARE LIMITED LIABILITY COMPANY
- AGRO-IRON INC., A DELEWARE CORPORATION
- BANK OF THE WEST, A CALIFORNIA BANKING CORPORATION
- STEWART TITLE GUARANTY COMPANY, A TEXAS CORPORATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7a, 8, 9, 10, 11a, 11b AND 13 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF ARIZONA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

RICHARD E. JONES
RLS# 27742
D. JONES LAND SURVEYING & MAPPING
2119 E CEDAR PLACE
CHANDLER, ARIZONA 85249
PH: (480) 242-3937

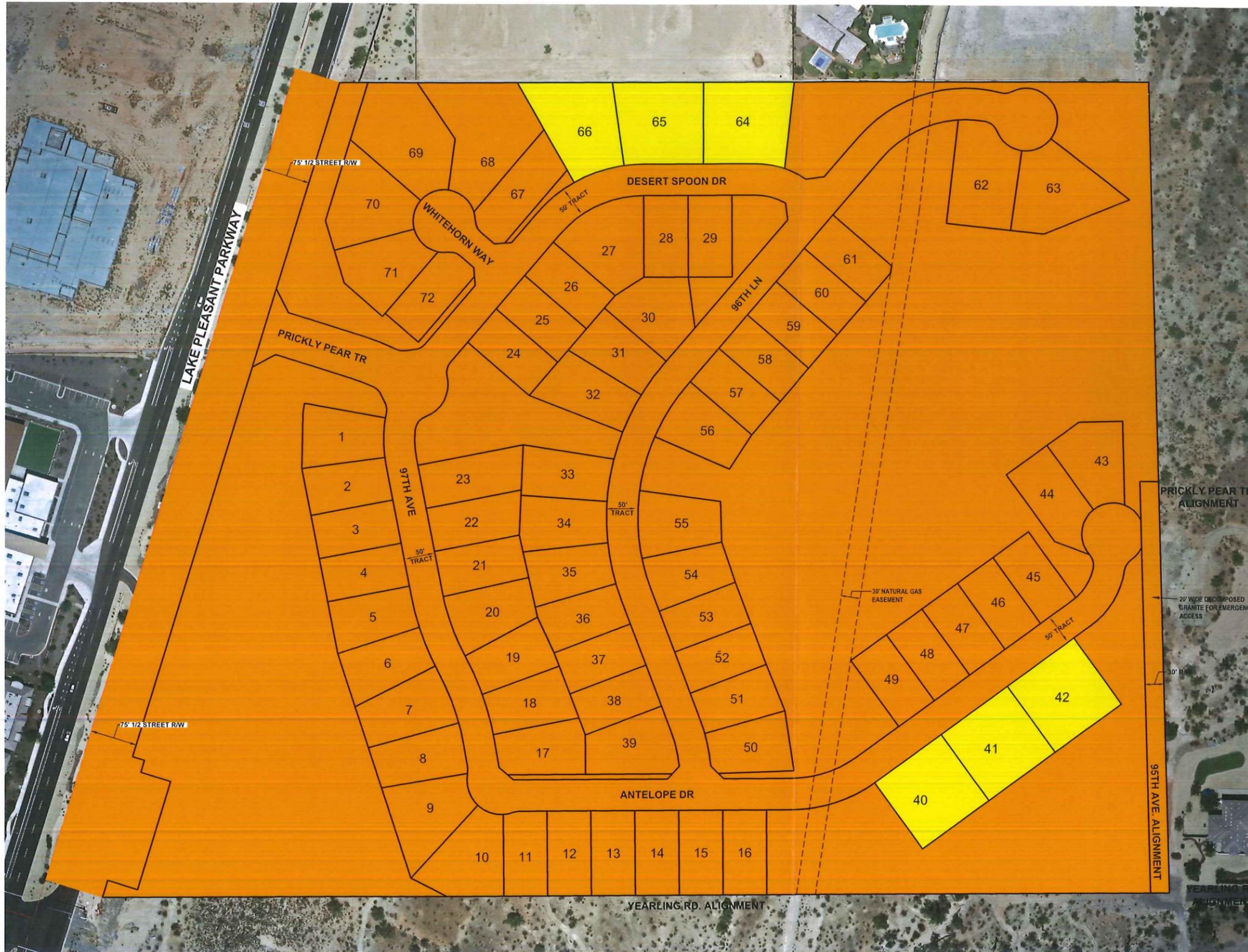
NOTE:
A.R.S. 32-151 STATES THAT THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A PERSON OR FIRM THAT IS REGISTERED OR CERTIFIED BY THE BOARD IS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING FACTS OR FINDINGS THAT ARE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE.

DATE		REVISION		REV.	
QUERENCIA					
LAKE PLEASANT PARKWAY PEORIA, ARIZONA					
ALTA/ACSM LAND TITLE SURVEY					
3010 SOUTH PRIEST DR. STE 102 TEMPE, ARIZONA 85282 PH (480) 629-8630					
CIVIL ENGINEERING, WATER RESOURCES, PLANNING CONSTRUCTION MANAGEMENT SURVEY					
PROJ NO: 2076					
SCALE: AS NOTED					
DRAWN: SKF					
DATE: JAN 2011					
DWG. NO.					
SV-1					
SHT. 1 OF 2					

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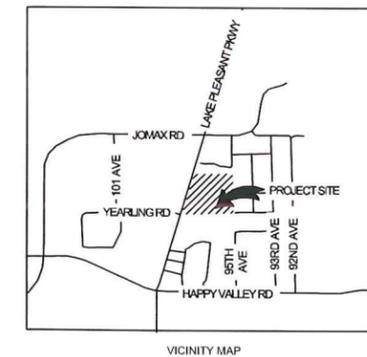


Appendix B
Zoning Exhibit

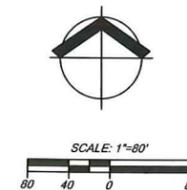


LEGEND

- ZONING DISTRICT R1-9 PAD
- ZONING DISTRICT R1-12 PAD



NOTES:
1. THIS EXHIBIT IS BASED ON PRELIMINARY PLAT PLAN.



ZONING MAP
QUERENCIA
MERITAGE HOMES
PEORIA, ARIZONA

PRELIMINARY

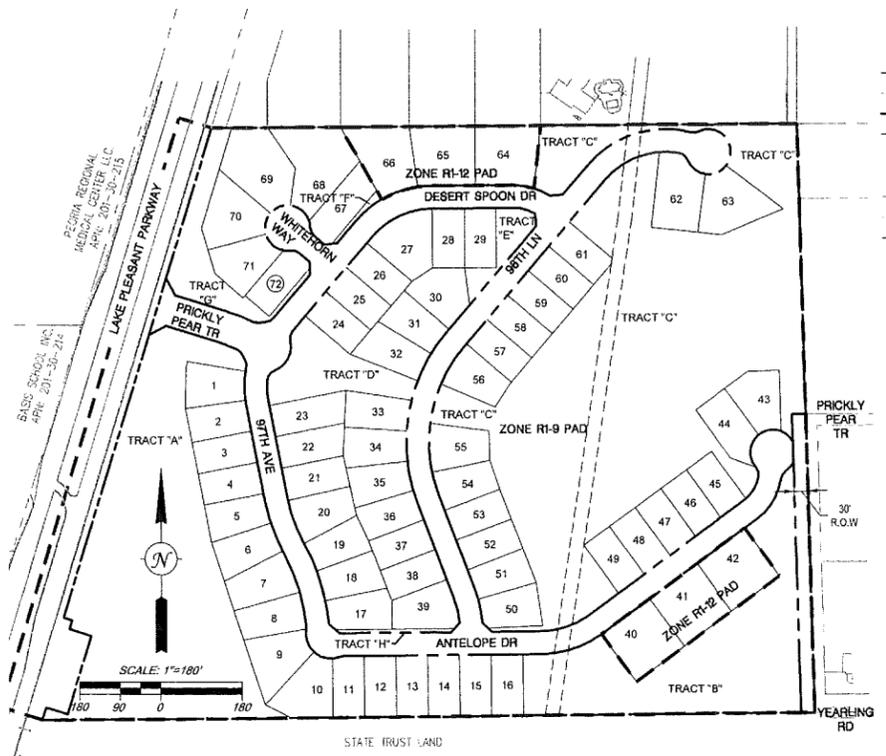
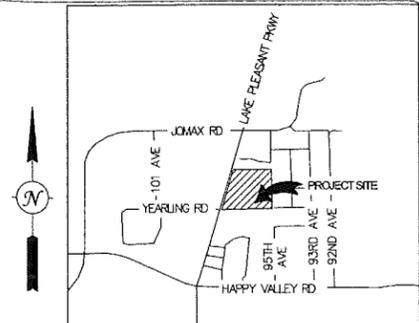
PROJECT NO. 4130462000
DATE 12/02/2013
DESIGNED BY TEAM
DRAWN BY MVLJ
CHECKED BY PLH



Appendix C
Preliminary Plat

PRELIMINARY PLAT QUERENCIA

A PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 4,
TOWNSHIP 4 NORTH, RANGE 1 EAST, OF THE GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA.



EXISTING		LEGEND		PROPOSED	
---	PROJECT BOUNDARY	---	PUBLIC UTILITY EASEMENT	---	RIGHT-OF-WAY
---	ROADWAY CENTERLINE	---	ZONING BOUNDARY	---	SS
---	EX SS	---	SANITARY SEWER PIPE & FLOW DIRECTION	---	W
---	EX W	---	WATER LINE	---	981
---	981	---	1' CONTOUR	---	980
---	980	---	5' CONTOUR	---	980
---	STORM DRAIN INLET	---	FIRE HYDRANT	---	WATER VALVE
---	WATER VALVE	---	STREET LIGHT	---	SEWER MANHOLE
---	STREET LIGHT	---	BRASS CAP	---	SURVEY MONUMENT
---	SEWER MANHOLE	---	SLOPE GRADE AND FLOW DIRECTION	---	SLOPE LINES
---	BRASS CAP	---	EXISTING STORMDRAIN STRUCTURES	---	PROPOSED STORMDRAIN STRUCTURES
---	SURVEY MONUMENT	---	CURVE NUMBER SEE CURVE TABLE	---	LINE NUMBER SEE LINE TABLE
---	SLOPE GRADE AND FLOW DIRECTION	---	PAVEMENT HIGH POINT	---	PAVEMENT LOW POINT
---	SLOPE LINES	---	DRIVEWAY LOCATION	---	FEG
---	EXISTING STORMDRAIN STRUCTURES	---	PROPOSED STORMDRAIN STRUCTURES	---	SEG
---	CURVE NUMBER SEE CURVE TABLE	---	LINE NUMBER SEE LINE TABLE	---	PROP. S.D.
---	PAVEMENT HIGH POINT	---	PAVEMENT LOW POINT	---	Cg
---	DRIVEWAY LOCATION	---	FEG	---	Lg
---	FEG	---	SEG	---	D/W
---	SEG	---	FRONT ENTRANCE GARAGE	---	SIDE ENTRANCE GARAGE

OWNER/DEVELOPER
MERITAGE HOMES OF ARIZONA, INC.
17851 NORTH 85TH STREET, SUITE 300
SCOTTSDALE, ARIZONA 85255
PHONE: (480) 515-8110
FAX: (480) 515-7921
CONTACT: CYNTHIA PADDOCK

ENGINEER
CARDNO, INC.
9977 NORTH 90TH STREET, SUITE 350
SCOTTSDALE, ARIZONA 85258
PHONE: (602) 977-8000
FAX: (602) 977-8099
PROJECT MANAGER: PAUL HAAS, P.E.

BENCHMARK
A 3" CITY OF PEORIA BRASS CAP MARKING
THE NORTHWEST CORNER OF SECTION 4,
TOWNSHIP 4 NORTH, RANGE 1 EAST.
ELEVATION: 1377.19 (NAVD 88 DATUM).

BASIS OF BEARING
NORTH 01°39'18" WEST, ASSUMED, SHOWN AS THE
EAST LINE OF THE NORTHWEST QUARTER OF SECTION
4, TOWNSHIP 4 NORTH, RANGE 1 EAST, OF THE GILA
AND SALT RIVER MERIDIAN, MARICOPA COUNTY,
ARIZONA.

FLOOD PLAIN DATA
FLOOD ZONE: X
FIRM MAP: 04013C1160H
DATE OF FIRM: 09/30/2005

PUBLIC UTILITIES
WATER: CITY OF PEORIA
SEWER: CITY OF PEORIA
ELECTRIC: ARIZONA PUBLIC SERVICE
TELEPHONE: CENTURY LINK
GAS: SOUTHWEST GAS
CABLE: COX COMMUNICATIONS
WASTE DISPOSAL: CITY OF PEORIA
FIRE: CITY OF PEORIA

SHEET INDEX
1 COVER SHEET
2 PRELIMINARY PLAT
3 PRELIMINARY UTILITY PLAN
4 PRELIMINARY GRADING
AND DRAINAGE PLAN

PARCEL LOT AREA TABLE

Lot #	Area (SF)						
1	10981	21	9946	41	17030	61	9069
2	9696	22	10304	42	17030	62	16259
3	9348	23	11509	43	12058	63	16740
4	9348	24	9100	44	11647	64	18026
5	10188	25	9100	45	9099	65	17690
6	10870	26	9100	46	9100	66	17799
7	12405	27	14851	47	9100	67	12142
8	10876	28	9188	48	9100	68	22874
9	13871	29	9100	49	9100	69	20916
10	14101	30	12183	50	10497	70	15579
11	9387	31	10196	51	9680	71	12565
12	9450	32	11644	52	9100	72	10119
13	9450	33	10463	53	9100	TOTAL	826,409
14	9450	34	10834	54	10223		
15	9450	35	10451	55	11422		
16	9450	36	9783	56	11203		
17	10911	37	9100	57	9100		
18	10345	38	9100	58	9100		
19	9978	39	12237	59	9100		
20	11366	40	17030	60	9100		

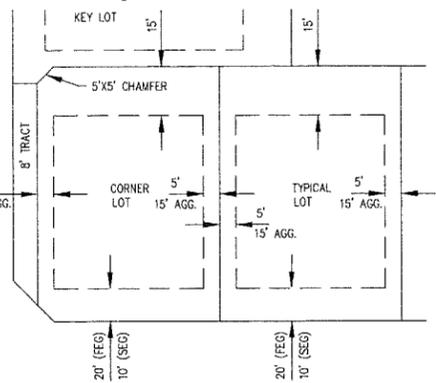
PARCEL TRACT & ROW AREA TABLE

TRACT	USE	AREA (SQFT)	USEABLE	AREA (SQFT)
A	OPEN SPACE, DRAINAGE	228,058	USEABLE	228,058
B	OPEN SPACE, DRAINAGE, TRAIL, UTILITIES	121,317	USEABLE	121,317
C	OPEN SPACE, DRAINAGE, TRAIL, UTILITIES	424,636	USEABLE	419,903
D	OPEN SPACE, DRAINAGE, HOA PARK	31,233	USEABLE	29,000
E	OPEN SPACE, DRAINAGE	10,888	USEABLE	10,888
F	OPEN SPACE	1,537	USEABLE	-
G	OPEN SPACE, DRAINAGE	30,347	USEABLE	30,347
H	OPEN SPACE	2,030	USEABLE	-
I	PRIVATE STREETS, UTILITIES	246,123	USEABLE	-
R.O.W.	EMERGENCY ACCESS ROAD, UTILITIES	19,689	USEABLE	-
TOTAL		1,115,958	USEABLE	839,813

NOTE:
THE TERM "USEABLE" AS SHOWN ON THIS PLAN REFERS TO THE AREA WITHIN THE TRACT/ R.O.W THAT HAS ENOUGH WIDTH (> 15 FT) TO HOUSE SIGNIFICANT OPEN SPACE AMENITIES SUCH AS PARKS & RETENTION BASINS.

GENERAL NOTES

- THE INTENT OF THIS PRELIMINARY PLAT IS TO MEET THE REQUIREMENTS OF THE ADOPTED ZONING FOR QUERENCIA PLANNED AREA DEVELOPMENT (P.A.D.) CITY OF PEORIA CASE # Z-05-08A.1, AND THE PROVISIONS OF THE CITY OF PEORIA ZONING ORDINANCE.
- A ONE FOOT NON-VEHICULAR ACCESS EASEMENT AND FENCE EASEMENT SHALL BE CREATED WHERE REQUIRED BY THE SUBDIVISION CODE.
- ALL SIGNING SHALL BE UNDER SEPARATE PERMIT.
- DEVELOPMENT WITHIN THE PROJECT AREA SHALL CONFORM TO THE CITY OF PEORIA DESIGN REVIEW MANUAL, SUBJECT TO QUERENCIA P.A.D.
- ALL COMMON OPEN SPACE AND ADJACENT ROW LANDSCAPE AREAS WILL BE MAINTAINED BY AN ESTABLISHED HOME OWNERS ASSOCIATION.
- LOTS AT T-INTERSECTIONS WILL REQUIRE DRIVEWAYS SET IN LINE WITH ONCOMING TRAFFIC.
- ALL PARCEL ENTRANCES TO HAVE DECORATIVE PAVEMENT PER LANDSCAPE PLANS AND ENTRANCE ISLANDS AS SHOWN ON PLANS.
- DWELLINGS IN THIS SUBDIVISION WILL BE REQUIRED TO HAVE A RESIDENTIAL FIRE SPRINKLER SYSTEM INSTALLED IF THEY MEET ANY OF THE FOLLOWING CONDITIONS.
 - GROUP R, DIVISION 3 OCCUPANCIES WITH A FIRE AREA (LIVABLE PLUS GARAGE) OF FIVE THOUSAND (5,000) SQUARE FEET OR GREATER (REF: IFC - 2006 AMENDED, SECTION 903.2.7.1).
 - WHERE THE HOSE LAY DISTANCE FROM A FIRE HYDRANT TO ANY STRUCTURE ON THE PROPERTY EXCEEDS FOUR HUNDRED (400) FEET (IFC - 2006 AMENDED, SECTION 508.5.2.1).
 - WHERE THE FIRE FLOW REQUIREMENTS CANNOT BE MET FROM THE AREA FIRE HYDRANTS (REF: IFC-2006 AMENDED, SECTION 3.2.7.2.1.1).
 - THE FIRE SPRINKLER SYSTEM IS REQUIRED TO BE OFFERED AS AN OPTION TO THE HOME BUYER (REF: IFC-2006 AMENDED, SECTION 903.2.7.2.1.4).



KEY LOT & CORNER LOT LAYOUT
TYPICAL BUILDING SETBACKS
N.T.S.

ZONING DISTRICT	MIN LOT SIZE	MIN LOT WIDTH	MIN LOT DEPTH	MAX BLDG. HEIGHT	MINIMUM YARD SETBACKS				MAX LOT COVERAGE	NUMBER OF LOTS	
					FRONT-SIDE ENTRY GARAGE	FRONT-FRONT ENTRY GARAGE	REAR	SIDE			
R1-12 PAD	12,000 SF	70'	100'	30'	10*	20**	15	5/15	10	45%	6
R1-9 PAD	9,000 SF	70'	100'	30'	10*	20**	15	5/15	10	45%	66

NOTES
* NOT MORE THAN 60% OF THE TOTAL FRONT FACING ELEVATION SHALL OCCUR AT THE 10-FT SETBACK.
** WHERE FRONT-FACING GARAGES ARE PRESENT, A 10-FOOT FRONT SETBACK SHALL APPLY TO THE LIVABLE PORTION OF THE HOME PROVIDED THAT NOT MORE THAN 60% OF THE TOTAL FRONT-FACING ELEVATION OCCURS AT THE 10-FOOT SETBACK.

THE PLANS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT'S ACCESSIBILITY GUIDELINES, AS PUBLISHED IN FEDERAL REGISTER ON JULY 26, 1991, AS PERTAINS TO CURB AND RAMP, RAMP, CROSS WALK, SLOPE AND CROSS SLOPE OF SIDEWALK, AND PARKING REQUIREMENTS.

LAND USE SUMMARY TABLE FOR QUERENCIA			
TOTAL			
TOTAL NUMBER OF LOTS	72		
TOTAL GROSS AREA*	2,057,347	SQFT	47.23 AC
TOTAL NET AREA	1,842,264	SQFT	44.59 AC
AREA OF LOTS	826,409	SQFT	18.97 AC
AREA OF OPEN SPACE	850,146	SQFT	19.52 AC
AREA OF USEABLE OPEN SPACE	839,613	SQFT	19.27 AC
AREA OF ROW **	19,689	SQFT	0.45 AC
PERCENT OF AREA OF LOTS (BASED ON GROSS ACREAGE)	40.2%		
PERCENT AREA OF OPEN SPACE (BASED ON GROSS ACREAGE)	41.3%		
DENSITY	1.61	DU/ACRE	
MINIMUM LOT SIZE ALLOWABLE	9,000	SQFT	0.21 AC
AVERAGE LOT SIZE	11,478	SQFT	0.26 AC
MINIMUM LOT SIZE	9,069	SQFT	0.21 AC
R1-12 PAD 70 X 100			
R1-12 PAD GROSS AREA	104,105	SQFT	2.39 AC
R1-12 PAD LOT COUNT	6		
M/D DENSITY	2.51	DU/R1-12 PAD GROSS AREA(AC)	
M/R R1-12 PAD LOT SIZE	12,000	SQFT	0.28 AC
R1-9 PAD 70 X 100			
R1-9 PAD GROSS AREA	722,304	SQFT	16.58 AC
R1-9 PAD LOT COUNT	66		
M/D DENSITY	3.98	DU/R1-9 PAD GROSS AREA(AC)	
MIN R1-12 LOT SIZE	9,000	SQFT	0.21 AC

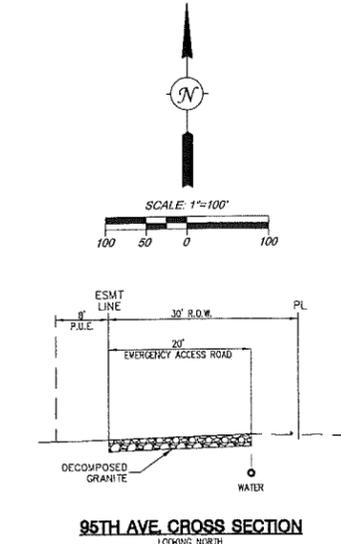
*CALCULATED TO THE CENTERLINE OF THE ADJUTING STREETS
**STREET RIGHT OF WAY CONTAINED WITHIN PARCEL BOUNDARY



PRELIMINARY PLAT - COVER SHEET
QUERENCIA
MERITAGE HOMES OF ARIZONA, INC.
PEORIA, ARIZONA

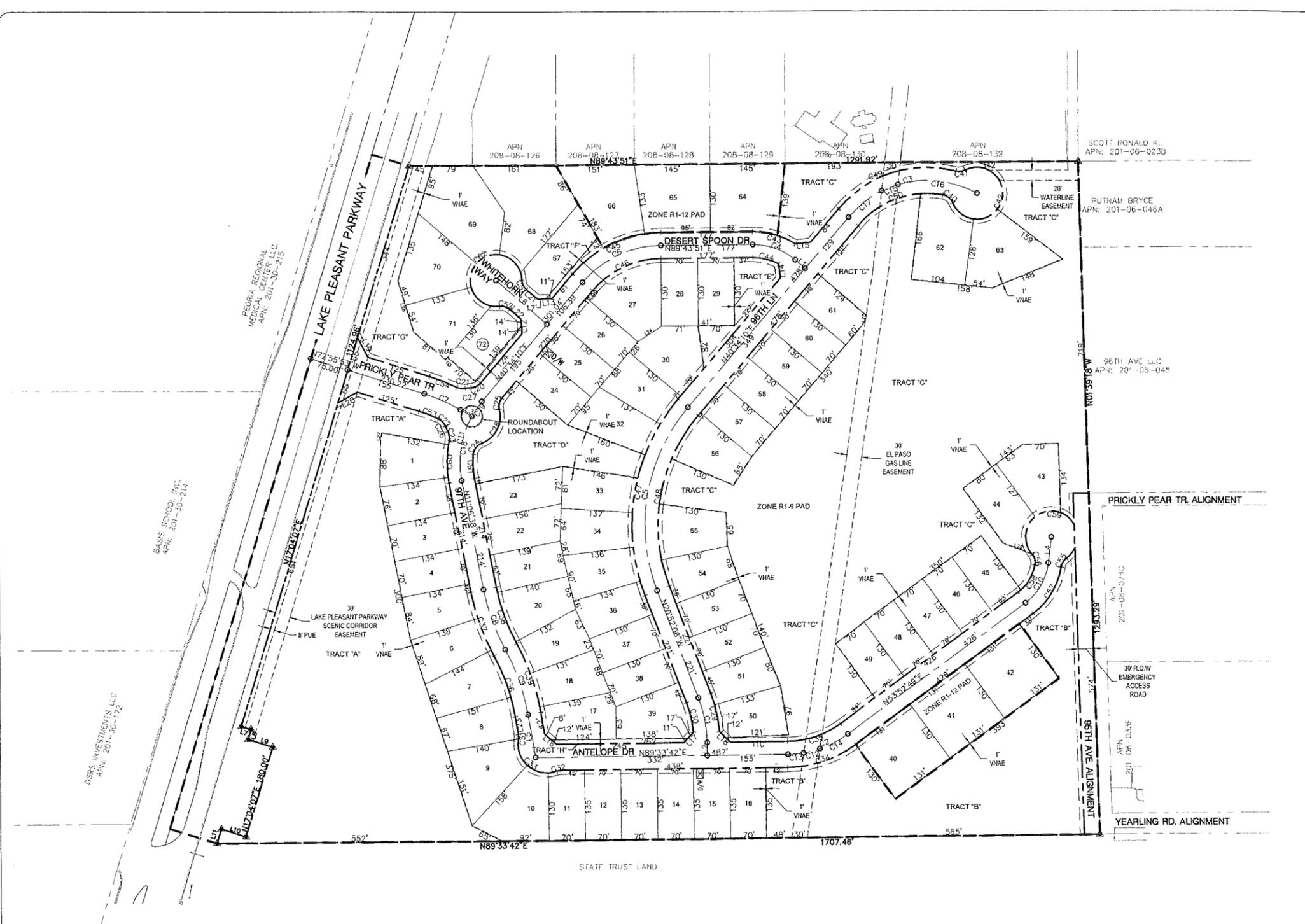
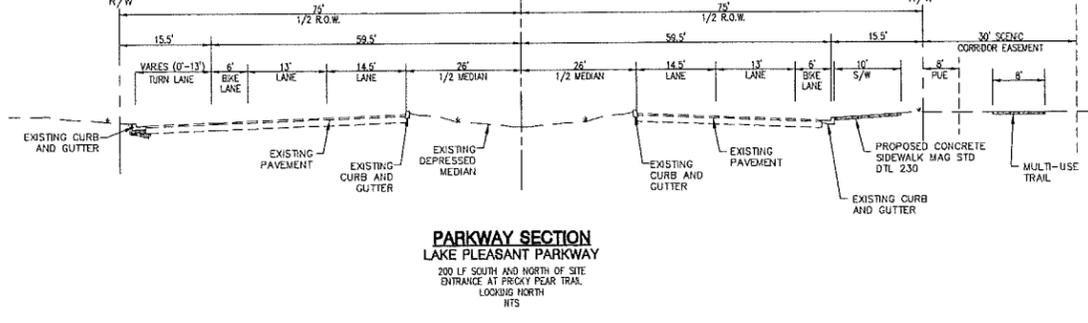
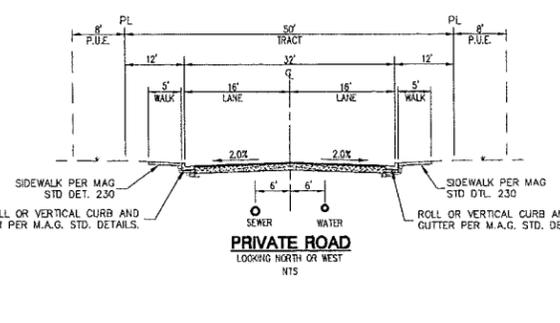


PROJECT NO: 4130462000
DATE: 12-02-2013
DESIGNED BY: BMN
DRAWN BY: BMN
CHECKED BY: PMH



CURVE	DELTA	RADIUS	LENGTH	CHORD	TANGENT
C1	20'25.48"	248.09'	87.75'	87.28'	44.35'
C2	35'40.53"	200.00'	124.55'	122.55'	64.37'
C3	78'06.59"	200.00'	272.68'	252.04'	152.29'
C4	40'50.19"	125.00'	89.10'	87.22'	46.54'
C5	61'26.16"	350.00'	375.30'	357.58'	207.07'
C6	49'09.41"	200.00'	171.61'	168.39'	91.49'
C7	12'30.48"	350.00'	76.44'	76.29'	38.37'
C8	17'33.55"	400.00'	122.63'	122.15'	61.80'
C9	19'01.45"	400.00'	132.65'	132.24'	67.04'
C10	47'17.21"	110.00'	90.70'	88.23'	48.16'
C11	51'40.49"	180.00'	162.36'	156.91'	87.17'
C12	9'18.39"	200.00'	32.50'	32.47'	16.29'
C13	8'54.11"	200.00'	31.08'	31.05'	15.57'
C14	17'28.03"	200.00'	60.97'	60.74'	30.72'
C15	9'41.52"	200.00'	33.85'	33.81'	16.97'
C16	44'32.11"	200.00'	156.63'	152.65'	82.58'
C17	23'32.54"	200.00'	82.20'	81.62'	41.69'
C18	40'41.33"	180.00'	127.84'	125.17'	66.75'
C19	10'59.15"	180.00'	34.52'	34.47'	17.31'
C20	48'13.19"	25.00'	21.04'	20.43'	11.19'
C21	38'26.59"	25.00'	16.78'	16.46'	8.72'
C22	45'19.18"	25.00'	18.78'	18.26'	10.44'
C23	43'01.54"	25.00'	18.78'	18.34'	9.88'
C24	64'03.20"	25.00'	27.95'	26.52'	15.64'
C25	54'17.06"	25.00'	23.69'	22.81'	12.82'
C26	10'45.52"	55.00'	10.33'	10.32'	5.18'
C27	11'43.26"	55.00'	11.25'	11.23'	5.65'
C28	83'47.47"	55.00'	80.44'	73.46'	49.35'
C29	16'12.07"	271.09'	76.66'	76.50'	38.59'
C30	15'14.43"	271.09'	59.83'	58.65'	29.52'
C31	20'21.51"	25.00'	8.89'	8.84'	4.49'
C32	20'21.51"	25.00'	8.89'	8.84'	4.49'
C33	121'31.12"	55.00'	116.65'	95.98'	98.25'
C34	39'40.53"	225.00'	140.12'	137.87'	72.42'
C35	35'40.53"	175.00'	108.98'	107.23'	56.32'
C36	18'01.45"	375.00'	124.55'	123.97'	62.85'
C37	17'33.55"	425.00'	130.29'	128.78'	66.88'
C38	17'33.55"	375.00'	114.97'	114.52'	57.94'
C39	19'01.45"	425.00'	141.15'	140.30'	71.23'
C40	58'08.40"	25.00'	25.37'	24.30'	13.90'
C41	41'24.35"	25.00'	18.07'	17.68'	9.45'
C42	278'20.59"	50.00'	240.28'	67.34'	-45.54'
C43	3'31.37"	150.00'	86.90'	85.89'	44.71'
C44	29'21.37"	100.00'	51.24'	50.68'	26.20'
C45	49'09.41"	225.00'	193.06'	187.19'	102.92'
C46	49'09.41"	175.00'	150.15'	145.59'	80.05'
C47	61'26.16"	375.00'	402.11'	383.12'	222.83'
C48	61'26.16"	325.00'	348.50'	332.04'	193.12'
C49	63'45.18"	250.00'	250.36'	237.63'	139.93'
C50	59'32.35"	175.00'	181.86'	173.79'	100.11'
C51	48'11.23"	25.00'	21.03'	20.41'	11.18'
C52	48'11.23"	25.00'	21.03'	20.41'	11.18'
C53	7'16.09"	315.00'	39.96'	39.94'	20.01'
C54	8'26.55"	365.00'	56.77'	56.72'	28.44'
C55	46'17.40"	25.00'	20.20'	19.65'	10.69'
C56	5'29.39"	25.00'	23.12'	23.12'	12.46'
C57	45'17.41"	135.00'	106.72'	103.97'	56.33'
C58	42'14.48"	85.00'	82.67'	61.26'	32.84'
C59	276'14.25"	50.00'	241.07'	66.76'	-44.83'
C60	23'02.14"	205.00'	82.43'	81.87'	41.78'
C61	17'08.10"	155.00'	46.36'	46.19'	23.35'
C62	278'22.46"	50.00'	241.19'	66.67'	-44.72'
C63	19'02.06"	80.00'	16.61'	16.53'	8.38'
C64	16'22.31"	50.00'	14.29'	14.24'	7.19'
C65	3'09.41"	205.00'	11.31'	11.31'	5.66'
C66	2'08.50"	205.00'	7.68'	7.68'	3.84'
C67	4'28.23"	375.00'	29.28'	29.27'	14.65'
C68	7'58.04"	225.00'	31.29'	31.26'	15.67'
C69	12'74.22"	425.00'	10.84'	10.84'	5.42'
C70	13'32.1"	375.00'	10.18'	10.18'	5.09'
C71	0'32.40"	375.00'	3.56'	3.56'	1.78'
C72	1'37.50"	425.00'	12.09'	12.09'	6.05'
C73	8'07.43"	225.00'	31.92'	31.89'	15.99'
C74	6'52.05"	225.00'	26.97'	26.95'	13.50'
C75	6'53.33"	225.00'	27.20'	27.18'	13.82'
C76	4'81.13"	211.09'	23.68'	23.68'	11.85'
C77	17'04.29"	55.00'	16.39'	16.39'	8.26'
C78	4'53.00"	85.00'	7.24'	7.24'	3.62'
C79	52'39.36"	25.00'	23.12'	23.11'	12.46'
C80	46'17.40"	25.00'	20.20'	19.65'	10.69'
C81	48'11.23"	25.00'	21.03'	20.41'	11.18'
C82	48'11.23"	25.00'	21.03'	20.41'	11.18'
C83	41'24.35"	25.00'	18.07'	17.68'	9.45'
C84	58'08.40"	25.00'	25.37'	24.30'	13.90'
C85	20'21.51"	25.00'	8.89'	8.84'	4.49'
C86	20'21.51"	25.00'	8.89'	8.84'	4.49'
C87	11'43.26"	55.00'	11.25'	11.23'	5.65'
C88	10'45.52"	55.00'	10.33'	10.32'	5.18'
C89	54'17.06"	25.00'	23.69'	22.81'	12.82'
C90	64'03.20"	25.00'	27.95'	26.52'	15.64'
C91	43'01.54"	25.00'	18.78'	18.34'	9.88'
C92	45'19.18"	25.00'	19.78'	19.26'	10.44'
C93	38'26.59"	25.00'	16.78'	16.46'	8.72'
C94	48'13.19"	25.00'	21.04'	20.43'	11.19'

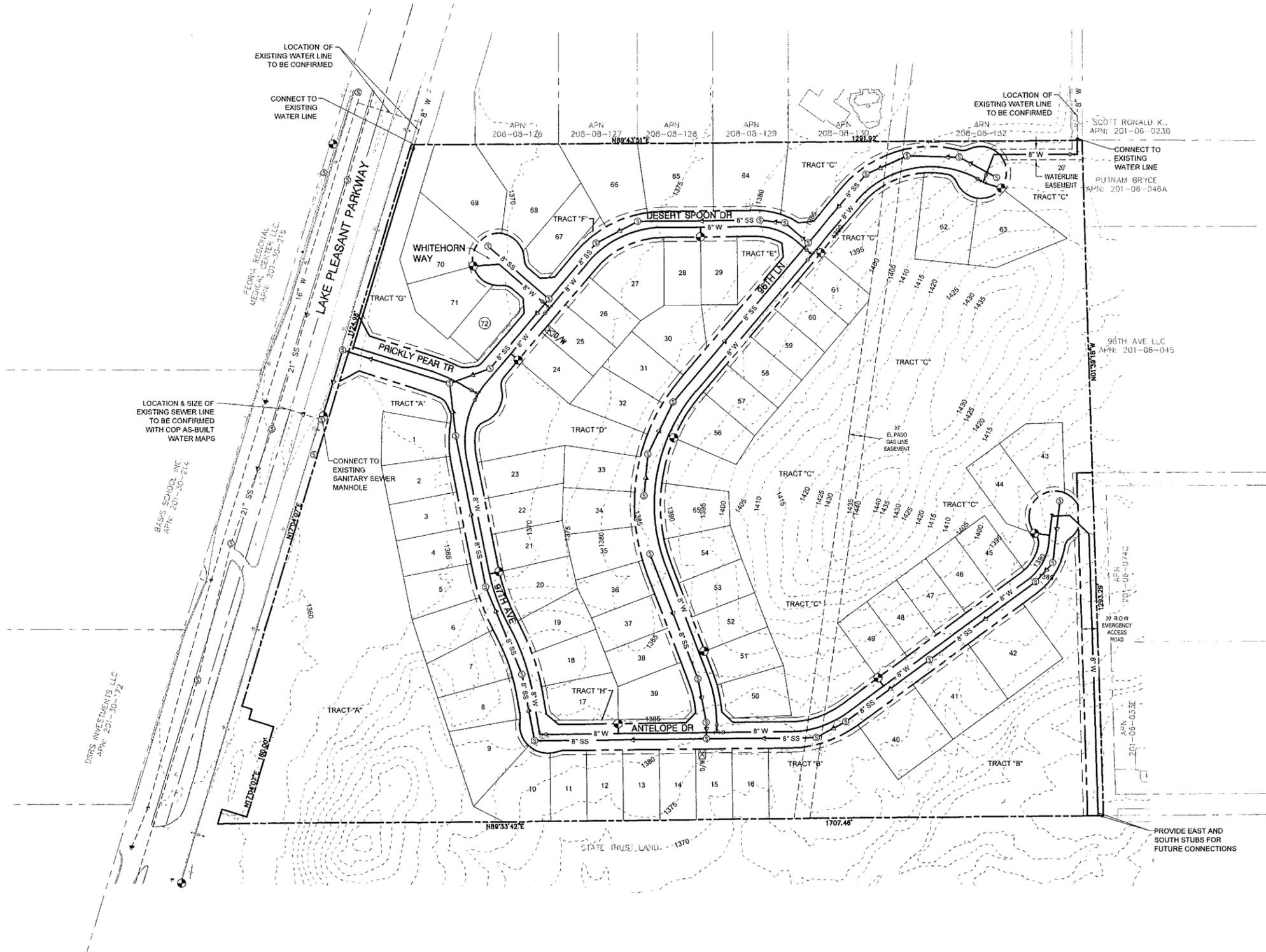
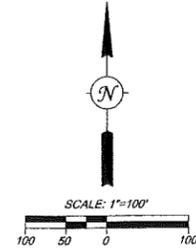
LINE	BEARING	LENGTH
L1	N49°25'50"W	25.00'
L2	N00°26'18"W	25.00'
L3	N69°25'05"W	25.00'
L4	N05°35'28"E	50.42'
L5	N09°38'48"W	83.69'
L6	N72°55'53"W	20.00'
L7	N17°04'07"E	19.89'
L8	N72°55'53"W	50.00'
L9	N72°55'53"W	50.00'
L10	N11°04'07"E	28.64'
L11	N08°28'35"E	11.80'
L12	N09°46'46"E	15.85'
L13	N85°34'10"E	28.28'
L14	N07°18'00"W	26.83'
L15	N81°39'30"E	29.21'
L16	N50°02'33"W	30.46'
L17	N43°15'55"E	27.64'
L18	N46°28'43"W	28.80'
L19	N27°55'53"W	42.43'
L20	N62°04'07"E	42.43'
L21	N49°25'50"W	28.46'
L22	N45°25'50"W	28.46'
L23	N05°38'48"W	34.58'
L24	N57°13'55"E	54.31'
L25	N08°28'35"E	11.80'
L26	N69°50'27"W	59.44'
L27	N09°46'46"E	15.85'
L28	N17°04'42"W	103.23'



PRELIMINARY PLAT
QUERENCIA
MERITAGE HOMES OF ARIZONA, INC.
PEORIA, ARIZONA



PROJECT NO: 4130462000
DATE: 12-02-2018
DESIGNED BY: BMN
DRAWN BY: BMN
CHECKED BY: PMH

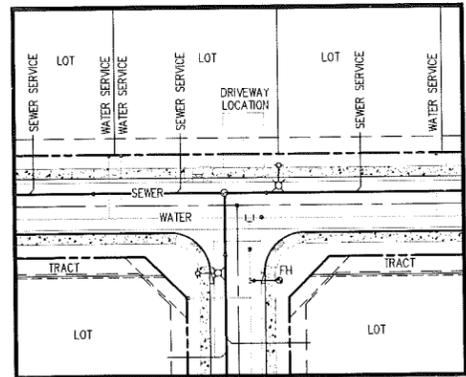
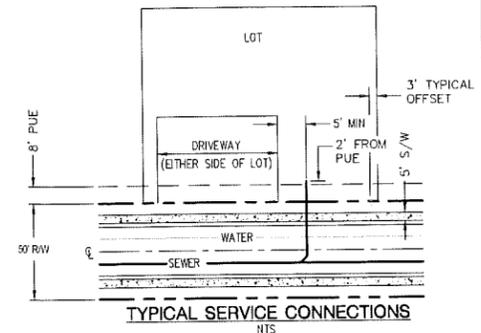
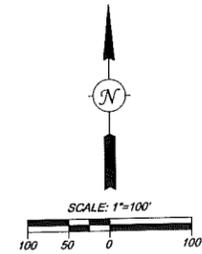
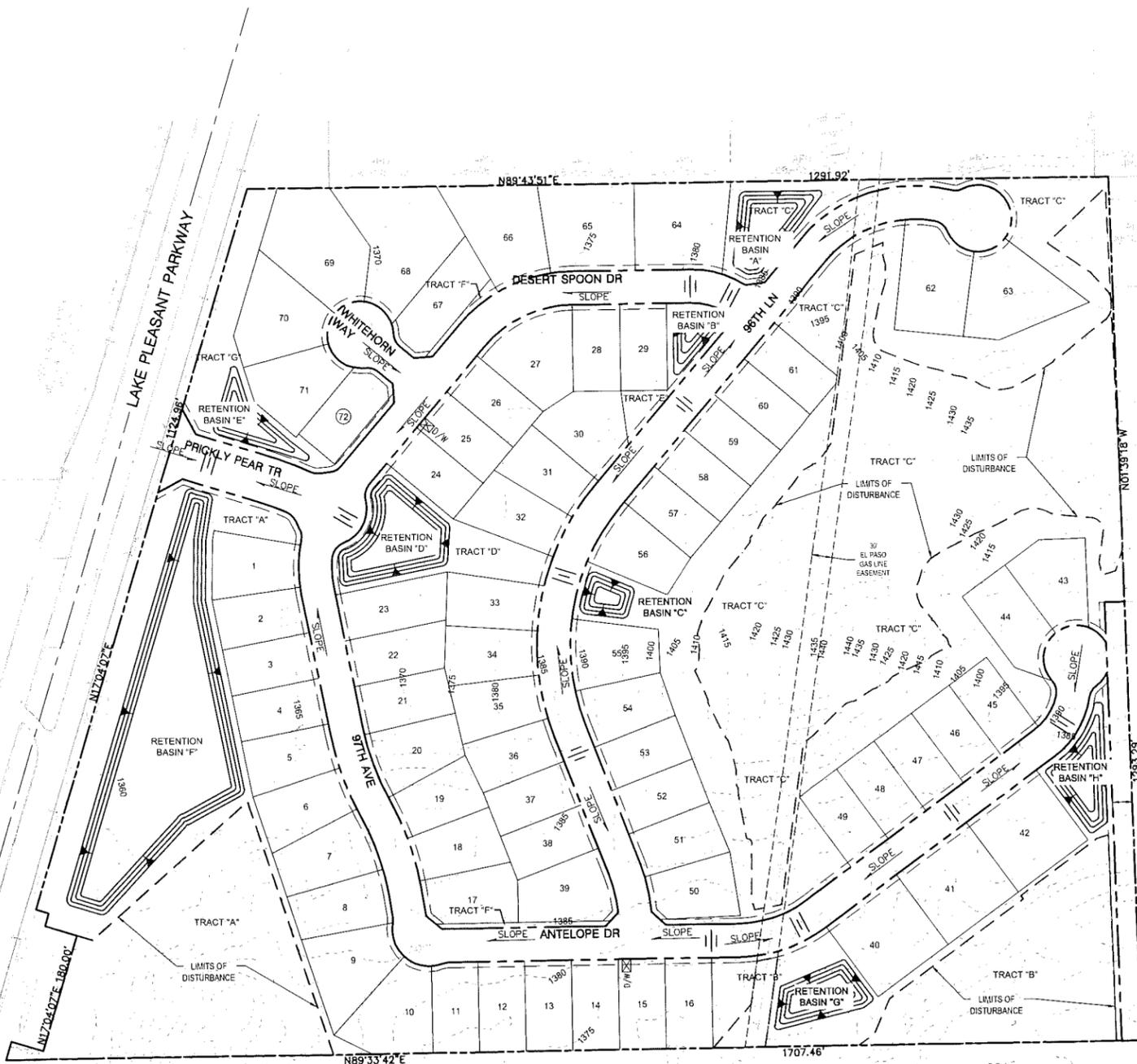


PRELIMINARY PLAT - UTILITY PLAN
QUERENCIA
MERITAGE HOMES OF ARIZONA, INC.
PEORIA, ARIZONA



EXPIRES 9-30-16

PROJECT NO: 4130462000
DATE: 12-02-2013
DESIGNED BY: BMN
DRAWN BY: BMN
CHECKED BY: PMH



TYPICAL LOCAL T-INTERSECTION LAYOUT
SCALE: 1" = 40'

PRELIMINARY PLAT - GRADING & DRAINAGE PLAN

QUERENCIA
MERITAGE HOMES OF ARIZONA, INC.
PEORIA, ARIZONA

Cardno
Shaping the Future
PHOENIX
5977 N 90TH ST, STE 500, SCOTTSDALE, AZ 85258
TEL: (602) 977-8000 FAX: (602) 977-6096
www.cardno.com



PROJECT NO: 430462000
DATE: 03-27-2014
DESIGNED BY: BMN
DRAWN BY: BMN
CHECKED BY: PMH



Appendix D

Landscape Plans

CONCEPTUAL LANDSCAPE PLAN

QUERENCIA

PEORIA, ARIZONA

SINGLE-FAMILY PRELIMINARY PLAT PLANTING DATA SHEET (To be completed and included on Landscape Plan)

LANDSCAPE AREAS	Required	Provided
A. Street Frontage Areas [14-35-4.A.1]		
1. Adjacent to Arterial Streets (10 feet)	10,340 sq. ft.	10,340 sq. ft.
2. Adjacent to Collector Streets (8 feet)**	0 sq. ft.	0 sq. ft.
3. Adjacent to Local Streets (8 feet)**	26,640 sq. ft.	26,640 sq. ft.
** Requirement applied along lot side and rear frontage areas		
B. Required Drainage Retention / Detention Areas [14-35-4.A.6]	122,400 sq. ft.	122,400 sq. ft.
C. Usable Open Space Areas [Design Review Manual 20-70-12.C. ≥ 20 lots]		
1. Lots less than 10,000 square feet (9% of gross project area)	174,183 sq. ft.	183,387 sq. ft.
2. Lots 10,000 - 18,000 square feet (7% of gross project area)	NA sq. ft.	NA sq. ft.
3. Lots greater than 18,000 square feet (5% of gross project area)	NA sq. ft.	NA sq. ft.
Note: If the development includes a mixture of lot sizes beyond the ranges described above, the percentage of Usable Open Space required shall be based on the percentage of lots in each category.		
PLANT QUANTITIES	Required	Provided
Street Frontage Landscape Areas [14-35-4.A.2]		
D. Trees: 1 per 25 linear feet of street frontage (8' or 10' buffer + ROW)	42 trees	42 trees
E. Shrubs: 5 per 25 linear feet of street frontage (8' or 10' buffer + ROW)	207 shrubs	392 shrubs
Drainage Retention / Detention + Usable Open Space Areas [14-35-4.A.1]		
F. Trees: 1 per 1,000 square feet	296 trees	296 trees
G. Shrubs: 5 per 1,000 square feet	1,475 shrubs	1,675 shrubs
Note: Usable Open Space areas may occupy the same areas as drainage (i.e. improved retention basins)		
Special Planting Requirements (PAD, Zoning, etc)		
	---	---
TOTALS	Required	Provided
Total Landscape Areas (A + B + C)	333,563 sq. ft.	339,061 sq. ft.
Total Usable Open Space Percent	9 %	9.2 %
Total Trees (D + F)	338 trees	338 trees
Total 24" Box Trees (50% of total required trees)	169 trees	169 trees
Total Shrubs (E + G)	1,682 shrubs	2,067 shrubs

- GENERAL NOTES**
- Turf lawn is limited to a maximum of 20% of the site area.
 - A development may substitute a 36" box or larger tree in place of a 15" gallon tree at a substitution rate of 1.5 trees for every required (15) gallon tree.
 - All landscaped areas shall be supported by an automatic irrigation system which may be spray, flood or drip system.
 - Plant materials utilized in landscaped areas in the ROW must be included on the most recent edition of the Phoenix Active Management Area Low Water Use / Drought Tolerant Plant List.
 - The Developer shall be responsible to install/maintain all landscaping within the Right-of-Way.
 - A 3 foot clear space is required around all fire suppression equipment. No plants may be installed that will encroach when mature.

GENERAL NOTES

- FINAL LOT SITE CONFIGURATIONS MAY VARY AT THE TIME OF FINAL PLAN APPROVAL
- LANDSCAPE TO BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM WITH 100% COVERAGE.
- ALL NON-TURF AREAS WILL RECEIVE A 2" DEPTH OF DECOMPOSED GRANITE
- ALL EARTHWORK WILL BE DONE TO DRAIN AWAY FROM SIDEWALKS, STRUCTURES AND WILL NOT IMPED E NATURAL DRAINAGE EASEMENTS.
- LANDSCAPE AND STRUCTURES WITHIN SIGHT TRIANGLES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 2'-0"
- FINAL PLANT SPECIES, THEIR LOCATION, SIZES, AND QUANTITIES MAY VARY AT THE TIME OF FINAL PLAN APPROVAL FROM THE CITY OF PEORIA
- AT MATURITY, ALL SHRUBS WILL BE 5'-0" FROM THE REAR OF A FIRE HYDRANT AND NO MATERIAL, OTHER THAN GROUND COVER MAY BE PLACED BETWEEN THE STREET OR ROADWAY AND 3'-0" EITHER SIDE OF A FIRE HYDRANT
- AMENITIES LAYOUT MAY CHANGE DUE TO FINAL GRADING CHANGES.
- ADDITIONAL PLANT MATERIALS MAY BE INTRODUCED AS DIFFERENT VARIETIES BECOME AVAILABLE THROUGH LOCAL NURSERIES AND IF THEY ARE CONSISTENT WITH THE OVERALL THEME OF THE PROJECT.
- LANDSCAPE TRACTS AND OPEN SPACE TO BE MAINTAINED BY HOA
- PLANT TYPES AND QUANTITIES WILL CONFORM TO THE CITY OF PEORIA LANDSCAPE AND STREETSCAPE GUIDELINES.
- THE RETENTION SHOWN ON THE PLAN IS CONCEPTUAL IN NATURE. SEE ENGINEERING PLANS FOR ACTUAL GRADING AND DRAINAGE CONFIGURATIONS.



CONCEPTUAL PLANT PALETTE

- TREES - 15G. / 24" BOX / 36" BOX**
- ACACIA ANUERA / MULGA
 - CAESALPINIA CACALACO / CASCALOTE
 - CAESALPINIA MEXICANA / MEXICAN BIRD OF PARADISE
 - CERCIDIUM FLORIDUM / BLUE PALO VERDE
 - CERCIDIUM MICROPHYLLUM / FOOTHILL PALO VERDE
 - CHILOPSIS LINEARIS / DESERT WILLOW
 - OLNEYA TESOTA / IRONWOOD
 - PITHECELLOBIUM FLEXICAULE / TEXAS EBONY
 - PROSOPIS VELLUTINA / MESQUITE
 - SOPHORA SECUNDFLORA / MESCAL BEAN
- SHRUBS - 5 GAL. MIN.**
- ACACIA GREGGII / CAT CLAW ACACIA
 - AMBROSIA DELTOIDEA / TRIANGLE LEAF BURSAGE
 - ASCLEPIAS SUBULATA / DESERT MILKWEED
 - BUDDLEIA MARRUBIFOLIA / WOOLLY BUTTERFLY BUSH
 - CALLIANDRA SPECIES / FAIRY DUSTER

- SHRUBS - 5 GAL. MIN.**
- CELTIS PALLIDA / DESERT HACKBERRY
 - DALEA SPECIES / DALEA
 - DODONAEA VISCOSA / HOPBUSH
 - ENCELIA FARINOSA / BRITTLEBUSH
 - ERICAMERIA LARICIFOLIA / TURPENTINE BUSH
 - ERIOGONUM FASCICULATUM / FLATTOP BUCKWHEAT
 - JUSTICIA CALIFORNICA / CHUPAROSA
 - LARREA TRIDENTATA / CREOSOTE BUSH
 - LEUCOPHYLLUM SPECIES
 - RUELLIA PENINSULARIS / BAJA RUELLIA
 - SALVIA SPECIES / SALVIA
 - SENINA WISLIZENII / SHRUBBY SENINA
 - SIMMONDSIA CHINENSIS / JOJOBA
 - TECOMA STANS / YELLOW BELLS
 - VIGUIERIA DELTOIDEA / GOLDEN EYE

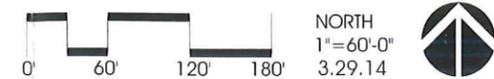
- ACCENTS / CACTI - 5 GAL. MIN.**
- AGAVE SPECIES
 - ALOE SPECIES
 - CARNEGIEA GIGANTEA / SAGUARO
 - DASYLIRON WHEELERI / DESERT SPOON
 - ECHINOEREUS FASCICULATUS / HEDGEHOG CACTUS
 - FEROCACTUS ACANTHODES / COMPASS BARREL
 - FEROCACTUS WISLIZENII / FISHHOOK BARREL
 - FOUQUIERIA SPLENDENS / OCOTILLO
 - HESPERALOE PARVIFLORA / RED YUCCA
 - OPUNTIA SPECIES
 - YUCCA SPECIES

- GROUNDCOVERS - 1 GAL. MIN.**
- BACCHARIS CV. 'CENTENNIAL' / CENTENNIAL BACCHARIS
 - BAILEYA MULTIRADIATA / DESERT MARIGOLD
 - DALEA GREGGII / INDIGO BUSH
 - MELAMPIDIUM LEUCANTHUM / BLACKFOOT DAISY
 - OENOTHERA BERLANDIERI / MEXICAN EVENING PRIMROSE
 - PENSTEMON SPECIES
 - SPHAERALCEA AMBIGUA / GLOBE MALLOW
 - LANTANA SPECIES / LANTANA
 - VERBENA SPECIES
 - CONVOLVULUS CNEORUM / BUSH MORNING GLORY
- DECOMPOSED GRANITE**
- 3" MINUS / 3" DEPTH - COLOR: EXPRESS BROWN
- TURF**
- *MIDIRON® HYBRID BERMUDA SOD (OR HYDROSEED VAR. BLACKJACK)

WILD SEED MIX (HYDROSEED)

- SPECIES/COMMON NAME**
- ABRONIA VILLOSA / SAND VERBENA
 - ACACIA GREGGII / CATCLAW ACACIA
 - AMBROSIA DELTOIDEA / TRIANGLE LEAF BURSAGE
 - ARISTIDA PURPUREA / PURPLE THREEAWN
 - BAILEYA MULTIRADIATA / DESERT MARIGOLD
 - LARREA TRIDENTATA / CREOSOTE BUSH
 - LESQUERELLA GORDONII / GORDON'S BLADDERPOD
 - LUPINUS SPARSIFLORUS / DESERT LUPINE
 - PLANTAGO INSULARIS / INDIAN WHEATGRASS
 - SPHAERALCEA AMBIGUA / GLOBE MALLOW
 - BOULELOUJA ARISTOIDES / NEEDLE GRAMA

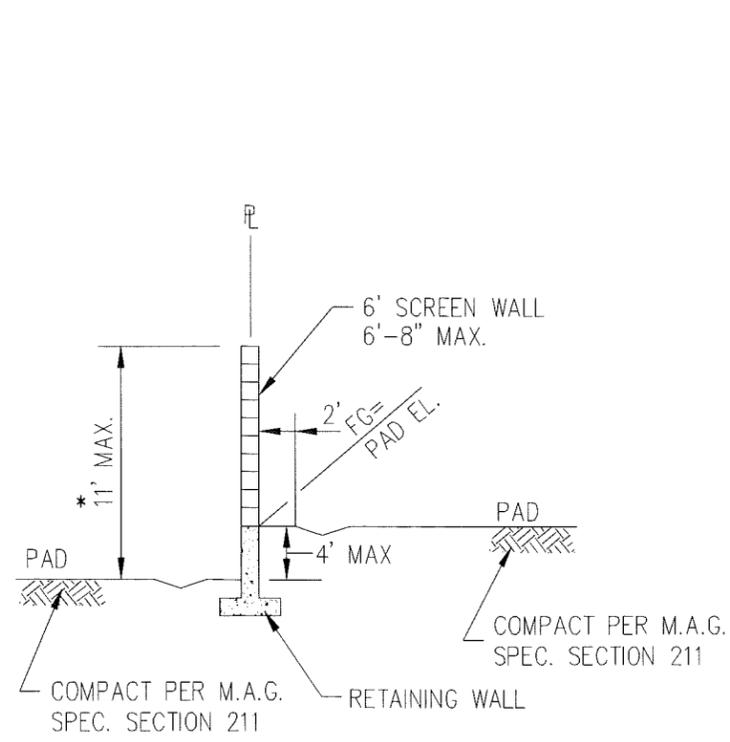
PRELIMINARY - NOT FOR CONSTRUCTION



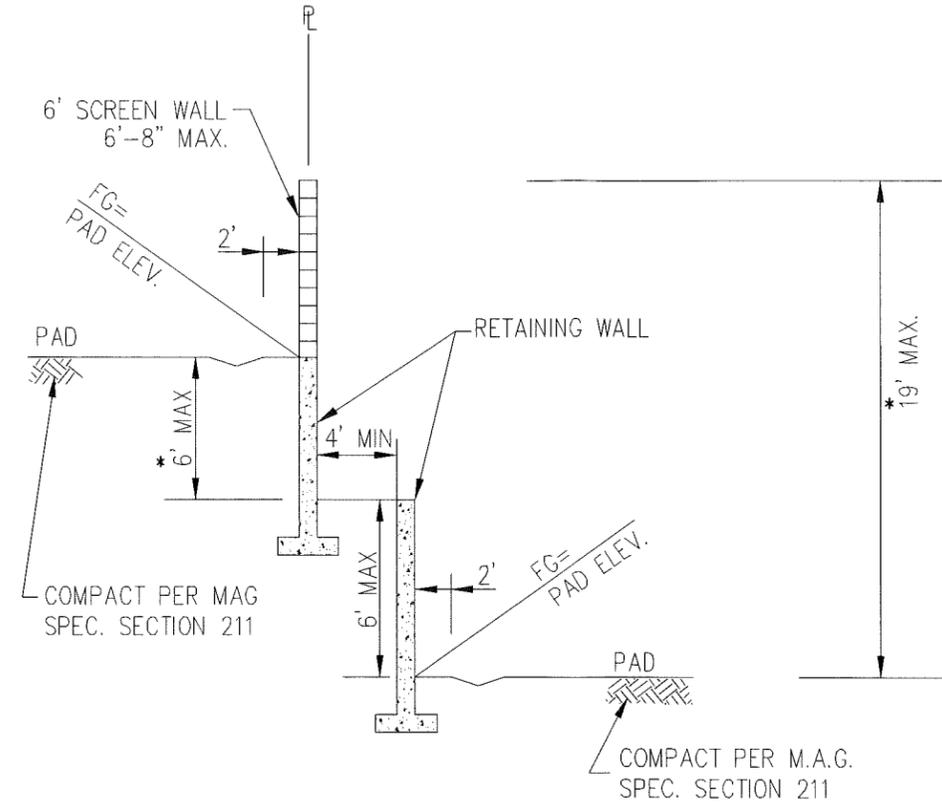
SHEET
L1



Appendix E
Wall Waiver Exhibit



SIDE YARD TO SIDE YARD
 PAD DIFFERENCE 1' TO 4'
 SCREEN WALL ON RETAINING WALL
 NTS
 (REF: ARTICLE 14-3-5.B-3)

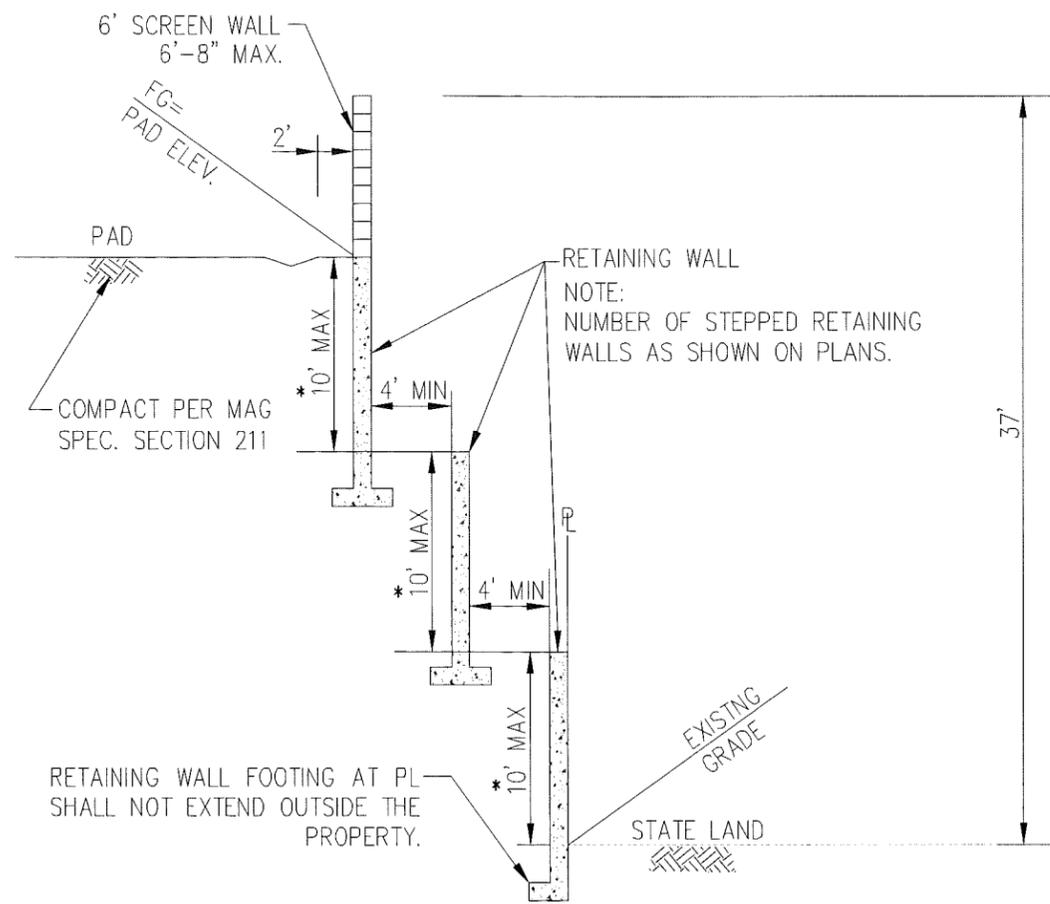


REAR YARD TO REAR YARD
 PAD DIFFERENCE UP TO 12'
 SCREEN WALL ON RETAINING WALL
 NTS
 (REF: ARTICLE 14-3-5.B-3 AND .B-5)

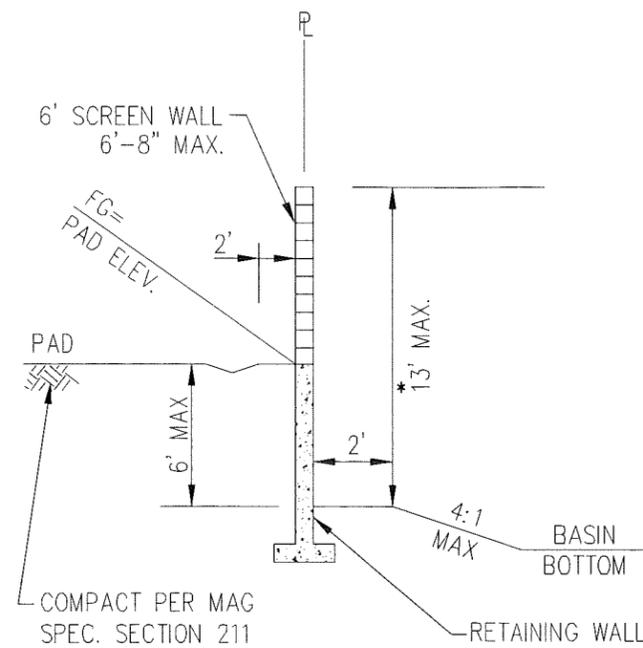
* WALL HEIGHTS WAIVER REQUESTED

WALL HEIGHTS WAIVER EXHIBIT
 QUERENCIA

MERITAGE HOMES OF ARIZONA, INC.
 PEORIA, ARIZONA



REAR YARD TO OPEN SPACE
NTS
(REF: ARTICLE 14-3-5.B-5)



RETENTION BASIN TO REAR/SIDE YARD
SCREEN WALL ON RETAINING WALL
NTS
(REF: ARTICLE 14-3-5.B-6)

* WALL HEIGHTS WAIVER
REQUESTED

PROJECT NO. 4130462000

DATE: 04-16-2014

BY: BMN

EXHIBIT 2 OF 2

WALL HEIGHTS WAIVER EXHIBIT
QUERENCIA

MERITAGE HOMES OF ARIZONA, INC.

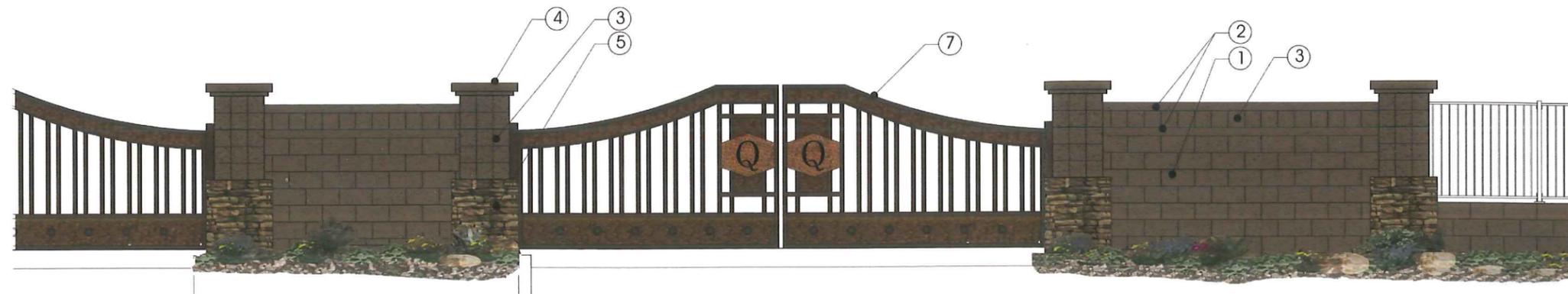
PEORIA, ARIZONA



PHOENIX
9877 N 97TH ST, STE 150, SCOTTSDALE, AZ 85238
TEL: (602) 977-8000 FAX: (602) 977-8099
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CONCEPTUAL WALL ELEVATIONS QUERENCIA

PEORIA, ARIZONA

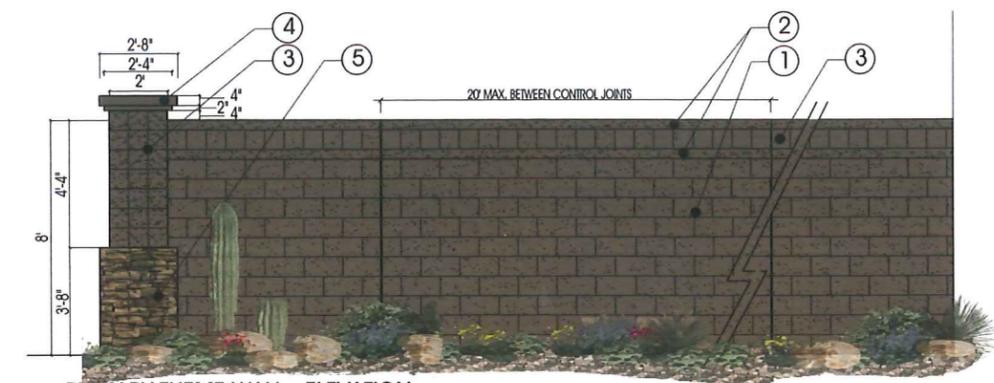


B GATED ENTRY - ELEVATION

NTS

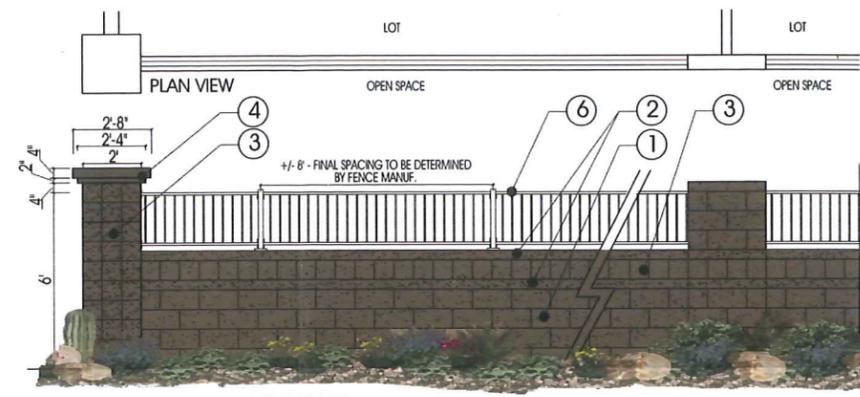
KEY NOTES:

- ① 6 x 8 x 16 SPLITFACE CMU BLOCK - COLOR DE 'COCOA'
- ② 6 x 4 x 16 SPLITFACE CMU BLOCK - COLOR DE 'COCOA'
- ③ 6X8X16 SMOOTH SINGLESORE CMU BLOCK - COLOR DE 'COCOA'
- ④ SMOOTH CMU CAP - COLOR DE 'COCOA'
- ⑤ 8X8X16 CMU W/ STONE VENEER
- ⑥ TUBULAR STEEL VIEW FENCE - 2 1/2" POSTS, 2" RAILS, 3/4" PICKETS @ 4" O.C. - COLOR DE 'COCOA'
- ⑦ TUBULAR STEEL AUTOMATIC GATE
- ⑧ TUBULAR STEEL PEDESTRIAN GATE
- ⑨ PRECAST CONCRETE CAP
- ⑩ STEEL SIGN PANEL
- ⑪ WELDED WIRE MESH
- ⑫ 6X6 TUBULAR STEEL POST
- ⑬ REVERSE PAN CHANNEL LETTERS
- ⑭ STEEL GABION COLUMN
- ⑮ STANDING SEAM METAL ROOF
- ⑯ 8X8X16 SINGLESORE SPLITFACE CMU
- ⑰ USPS APPROVED MAILBOX



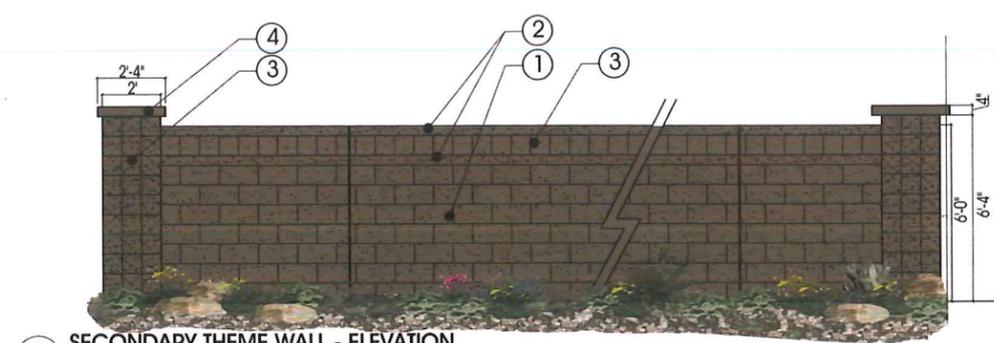
C PRIMARY THEME WALL - ELEVATION

NTS



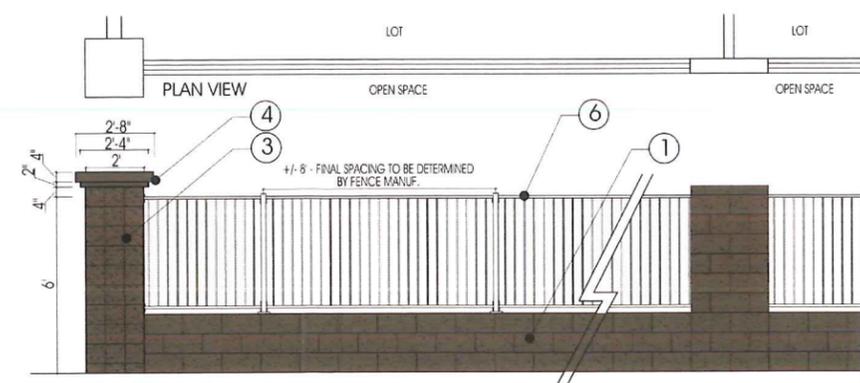
E VIEW FENCE 'A' - ELEVATION

NTS



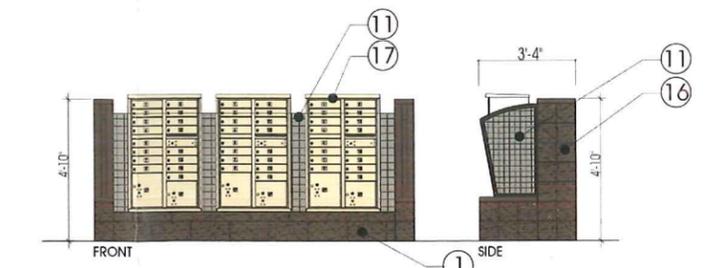
D SECONDARY THEME WALL - ELEVATION

NTS



G VIEW FENCE 'B' - ELEVATION

NTS



F MAILBOX - ELEVATION

NTS

PRELIMINARY - NOT FOR CONSTRUCTION



NORTH
1" = 60'-0"
3.29.14

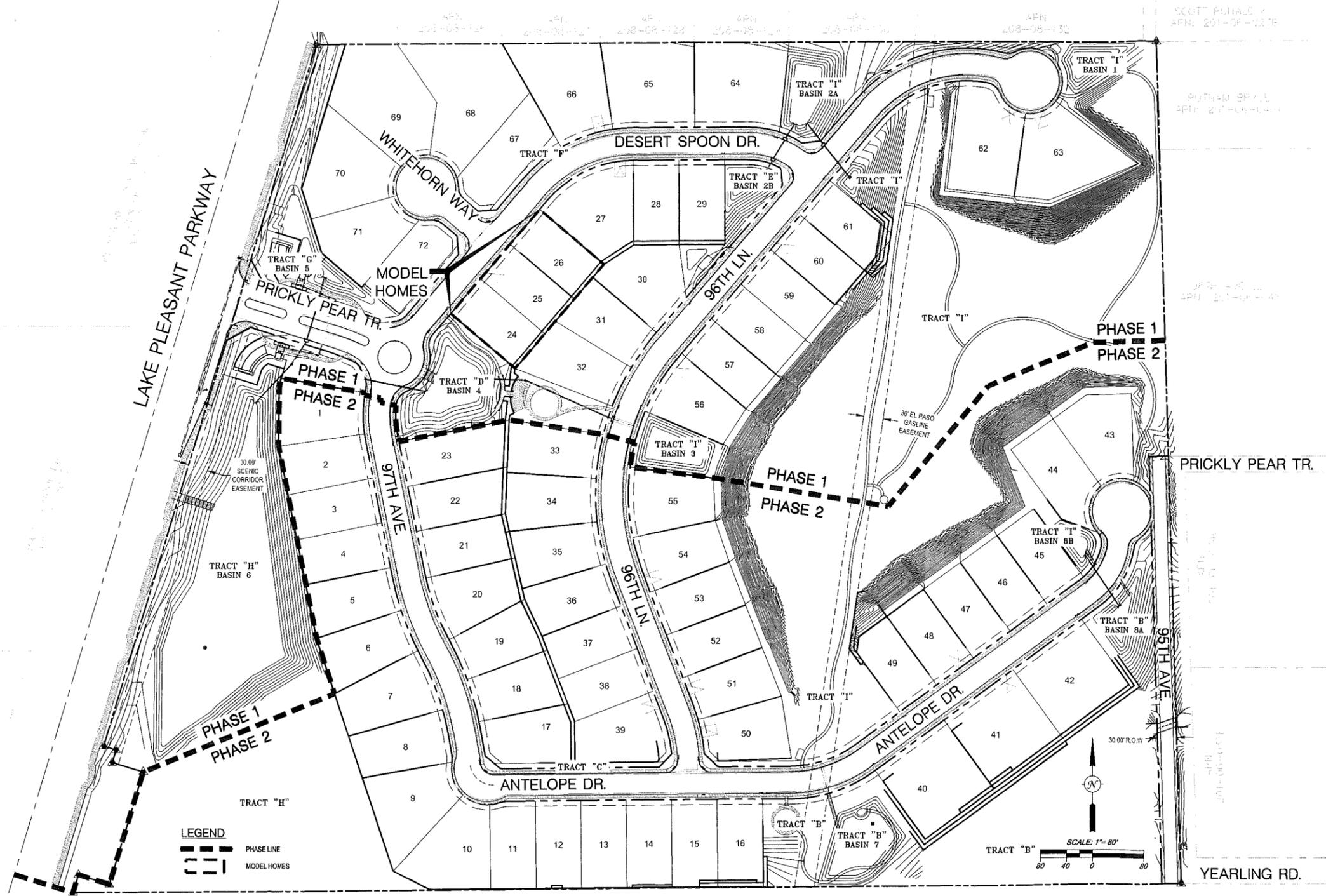


SHEET
L5



Appendix F

Phasing Plan



LEGEND
 - - - PHASE LINE
 [Symbol] MODEL HOMES

SCALE: 1" = 80'
 80 40 0 80

PRELIMINARY

PROJECT NO.: 4130462000
 DATE: 02/11/2014
 DESIGNED BY: BMN
 DRAWN BY: BMN
 CHECKED BY: PMH



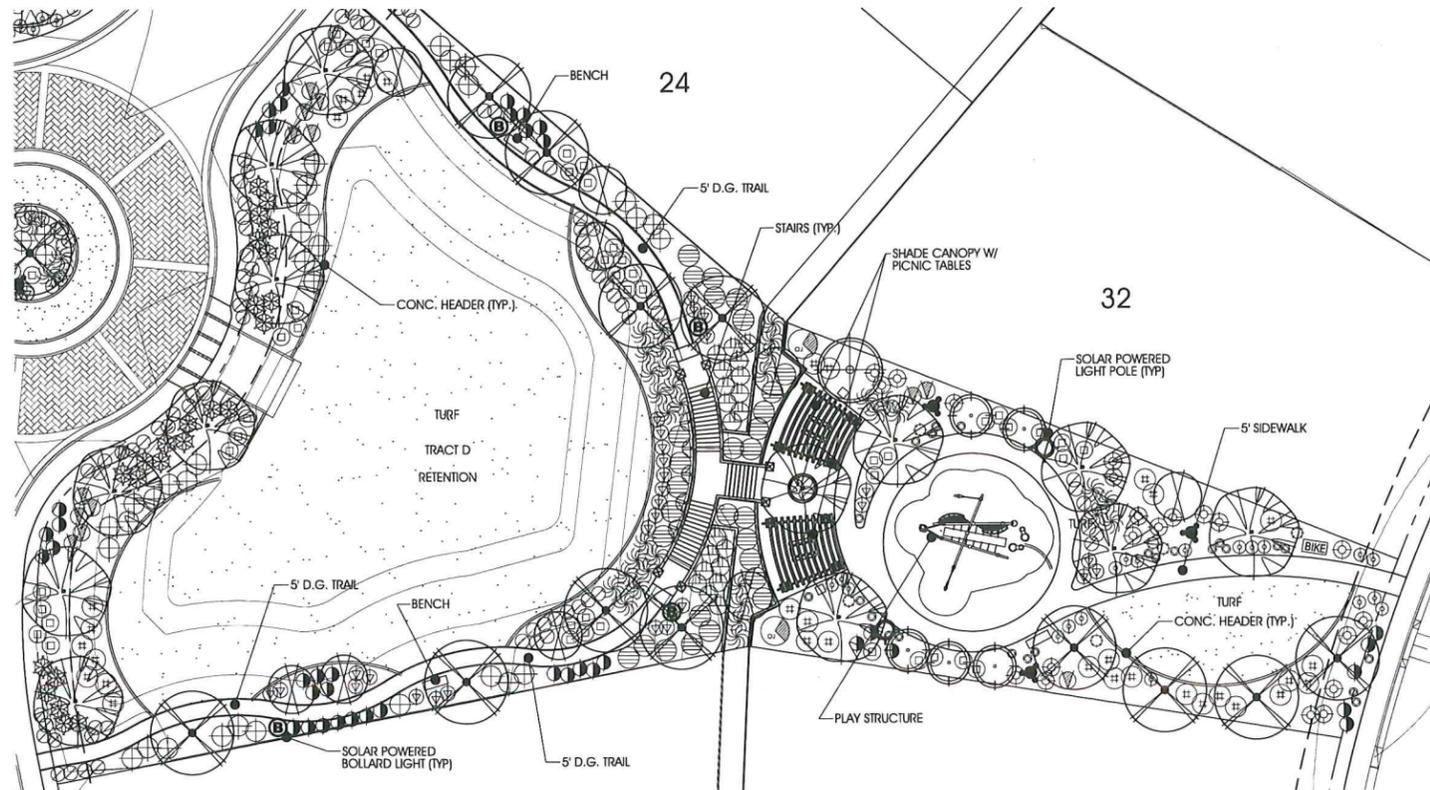
Appendix G

Accessory Structure Lot Map and details

CONCEPTUAL AMENITY PLAN

QUERENCIA

PEORIA, ARIZONA



CONCEPTUAL AMENITY AREA - PLAN VIEW

1"=20'-0"



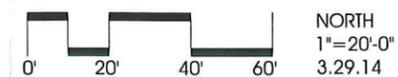
CONCEPTUAL PROJECT ENTRY - PLAN VIEW

1"=20'-0"

CONCEPTUAL PLANT LEGEND

SYMBOL	BOTANICAL/COMMON NAME	CALIPER (SIZE)
TREES		
	CAESALPINIA CACALACO THORNLESS CASCALOTE	1" (24" BOX)
	CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE	1" (24" BOX)
	CERCIDIUM HYBRID DESERT MUSEUM	1" (24" BOX) 2" (36" BOX)
	CERCIDIUM MICROPHYLLUM FOOTHILL PALO VERDE	SALVAGED
	CHILOPSIS LINEARIS DESERT WILLOW	1" (24" BOX)
	OLNEYA TESOTA IRONWOOD	SALVAGED
	PROSOPIS THORNLESS HYBRID 'AZT' THORNLESS MESQUITE	1" (24" BOX) 2" (36" BOX)
SHRUBS		
	AMPHIBIA DELTOIDEA TRIANGLE LEAF BURSAE	1 GAL.
	BUDDLEIA MARRUBIFOLIA WOOLY BUTTERFLY BUSH	5 GAL.
	CALLIANDRA CALIFORNICA BAJA FAIRY DUSTER	5 GAL.
	CALLIANDRA ERIOPHYLLA PINK FAIRY DUSTER	5 GAL.
	CHRYSACTINIA MEXICANA DAMIANITA	5 GAL.
	ENCELIA FARINOSA BRITTLE BUSH	5 GAL.
	JUSTICIA CALIFORNICA CHUPAROSA	5 GAL.
	LARREA TRIDENTATA CREOSOTE BUSH	5 GAL.
	LEUCOPHYLLUM LAEVIGATUM CHIHUAHUAN SAGE	5 GAL.
	LEUCOPHYLLUM LANGMANIAE LYNN'S LEGACY SAGE	5 GAL.
	RUELLIA PENICULARIS DESERT RUELLIA	5 GAL.
ACCENTS		
	CARNEGIEA GIGANTEA SAGUARO	SALVAGED
	DASYLIRION WHEELERI DESERT SPOON	5 GAL.
	ECHINOCEREUS FASCICULATUS HEDGEHOG CACTUS	SALVAGED
	FEROCACTUS ACANTHODES COMPASS BARREL	SALVAGED
	FOUQUIERIA SPLENDENS OCOTILLO	5 GAL.
	HESPERALOE FUNIFERA GIANT YUCCA	5 GAL.
	HESPERALOE PARVIFLORA RED YUCCA	5 GAL.
GROUNDCOVERS		
	BAILEYA MULTIRADIATA DESERT MARIGOLD	1 GAL.
	CONVOLVULUS CNEORUM BUSH MORNING GLORY	1 GAL.
	LANTANA MONTEVIDENSIS NEW GOLD	1 GAL.
	LANTANA MONTEVIDENSIS PURPLE LANTANA	1 GAL.
	LANTANA 'DALLAS RED' DALLAS RED LANTANA	1 GAL.
	OENOTHERA BERLANDIERI MEXICAN EVENING PRIMROSE	1 GAL.
	SPHAERALCEA AMBIGUA GLOBE MALLOW	1 GAL.
MATERIAL		
	DECOMPOSED GRANITE COLOR - EXPRESS BROWN	3" CUSTOM MINUS 2" DEPTH
	CYNODON DACTYLON MIDIRON OR BLACKJACK HYBRID BERMUDA GRASS (SOD OR HYDROSEED)	
	SURFACE SELECT GRANITE BOULDERS (NOT TO BE PLACED IN THE ROW)	
	6X6 CONC. HEADER W/ INTEGRAL COLOR - DAVIS COLORS 'SAN DIEGO BUFF 523T'	

PRELIMINARY - NOT FOR CONSTRUCTION



SHEET
L2

CONCEPTUAL TRAIL PLAN

QUERENCIA

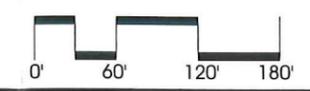
PEORIA, ARIZONA

LEGEND

-  10' CONCRETE SIDEWALK ALONG LAKE PLEASANT PKWY
-  5' CONCRETE SIDEWALK
-  4'-5' DECOMPOSED GRANITE TRAIL - EXACT SIZE AND LOCATION TO BE DETERMINED AT TIME OF FINAL ENGINEERING PLANS
-  8' MULTI-USE STABILIZED DECOMPOSED GRANITE TRAIL



PRELIMINARY - NOT FOR CONSTRUCTION



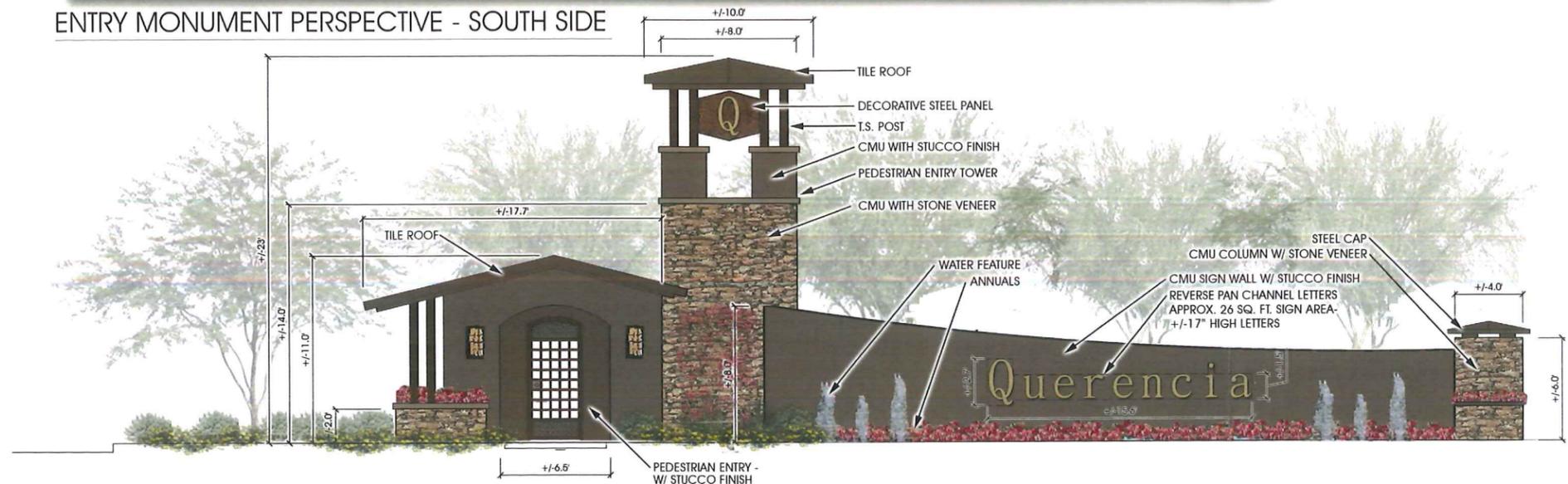
NORTH
1"=60'-0"
3.29.14




SHEET
L3



ENTRY MONUMENT PERSPECTIVE - SOUTH SIDE

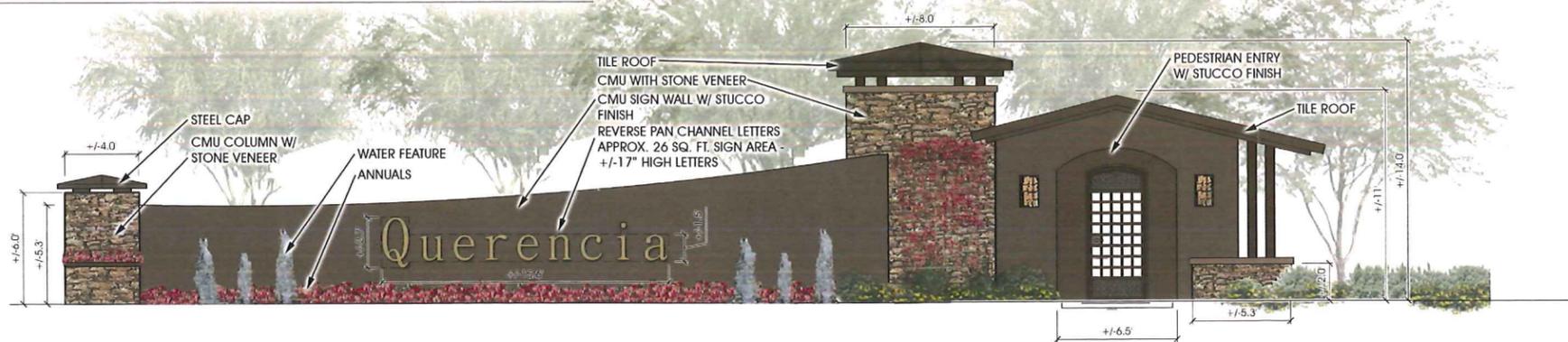


ENTRY MONUMENT ELEVATION - SOUTH SIDE

1/4" = 1'-0"



ENTRY MONUMENT PERSPECTIVE - NORTH SIDE



ENTRY MONUMENT ELEVATION - NORTH SIDE

1/4" = 1'-0"

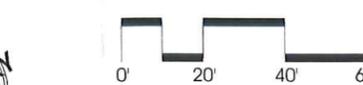
CONCEPTUAL ENTRY MONUMENT
QUERENCIA
 PEORIA, ARIZONA



ENTRY MONUMENT PLAN VIEW

1" = 20'-0"

PRELIMINARY - NOT FOR CONSTRUCTION



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 landscape architecture
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SHEET
L6

CONCEPTUAL OPEN SPACE PLAN
QUERENCIA

PEORIA, ARIZONA

LEGEND

 USEABLE OPEN SPACE - 4.2 ACRES (9.2%)



PRELIMINARY - NOT FOR CONSTRUCTION



SHEET
L7

CONCEPTUAL MASTER WALL PLAN QUERENCIA

PEORIA, ARIZONA



LEGEND

- PRIMARY THEME WALL - SEE DETAIL C SHEET L5
- SECONDARY THEME WALL - SEE DETAIL D SHEET L5
- PROJECT VIEW FENCE 'A' - SEE DETAIL E SHEET L5
- PROJECT VIEW FENCE 'B' - SEE DETAIL G SHEET L5
- THEME COLUMN - SEE SHEET L5
- ENTRY MONUMENT - SEE SHEET L6
- ENTRY MONUMENT - SEE SHEET L6
- TENTATIVE MAILBOX LOCATION - SEE DETAIL F SHEET L5

PRELIMINARY - NOT FOR CONSTRUCTION



SHEET
L4

