



OLIVE CROSSROADS

Planned Area Development

OLIVE CROSSROADS PLANNED AREA DEVELOPMENT STANDARDS AND GUIDELINE REPORT

SWC of 83rd Avenue and Olive Road
Peoria, Arizona

29.72 Gross Acres

Submitted and Prepared by:

Empire Residential Communities Fund II, LLC
6617 N. Scottsdale Road
Scottsdale, AZ 85250

Zoning Case: Z16-0011
January 3, 2017

PLANNING & ZONING

Planned Area Development Approval

P/Z Commission Date: 3/2/17

City Council Approval Date: 4/4/17

Planner: Cody Gleason

Administrative Approval Date: _____

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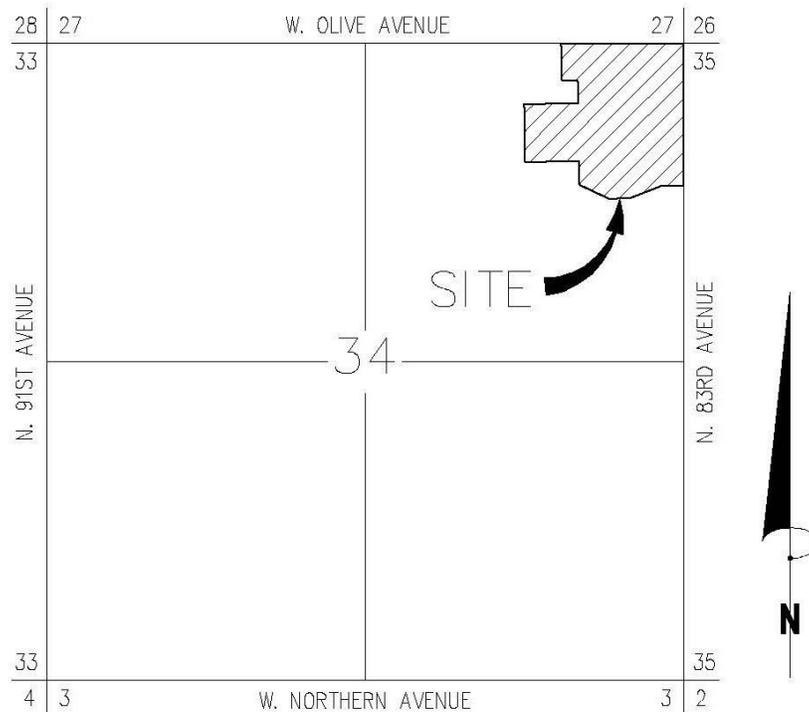
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I. INTRODUCTION

Property: Olive Crossroads, the "Project", is a 29.72-acre proposed commercial project on the southwest corner of 83rd Avenue and Olive Road. The Project is owned by Empire Residential Communities Fund III, LLC (APN 142-34-004B) (*refer to the Vicinity Map Exhibit 1 below and Legal Description Exhibit 8*). This Standards and Guidelines Report shall function as the development standards framework and identifies all standards, regulations and bulk requirements for the Site.



VICINITY MAP
N.T.S.

EXHIBIT 1

Planning & Development History: The property is currently vacant land and undeveloped. The property is presently zoned C-2 and RM-1 within the City of Peoria and being leased for agricultural purposes.

Purpose of Zoning Requests: This request is for a rezone to a Planned Area Development that will match closely to the City's Intermediate Commercial (C-2) Zoning district. In conjunction with this request the Applicant is requesting a Minor General Plan Amendment (*refer to the attached Existing Land Use Zoning Maps Exhibits 4 and 6 respectively and Proposed Land Use and Zoning Maps Exhibits 5 and 7 respectively*).

II. SURROUNDING CONDITIONS

The Project is bound by R1-8, PAD and C-2 zoning to the north; C-2 and R1-8 to the west; C-2 and PAD residential to the east and R1-8 residential to the south. (refer to the *Aerial Map Exhibit 2 below and Existing Zoning Exhibit 6*).



EXHIBIT 2: AERIAL MAP

Transportation: Primary transportation corridors in the area include 83rd Avenue running north-south, and Olive Avenue running east-west. The proposed site access would be off of 83rd Avenue and off of Olive Avenue as indicated on the ALTA Survey (refer to *Exhibit 8 ALTA Survey*). Regional transportation includes the Agua Fria Freeway (Loop 101) to the west and U.S. Route 60 to the east.

Schools: *Cotton Boll (K-8)*, located at 8540 W Butler Ave, is approximately .6 miles west, and *Raymond S Kellis High School (9-12)*, located at 8990 W Orangewood Ave is approximately 2.0 miles south.

Shopping Facilities: *Fry' Food and Drug* located at 9043 W Olive is approximately 1 mile west. *Arrowhead Towne Center Shopping Mall* located at 7700 West Arrowhead Towne Center, Glendale is approximately 7.3 miles north. *Park West* is located at 9744 W Northern and is approximately 3.1 miles south. *Target Shopping Center* is located at 9350 W Northern and is approximately 2.2 miles to the south.

Public Recreation: *Pioneer Park* located at 8755 N 83rd Ave is across 83rd Avenue on the east property line. *The Peoria Branch Public Library* is located at 8463 W Monroe St, approximately 1.2 miles north.

Aerial photographs of the project area together with several photographs of the site from different directions depicting the site and area conditions are included herewith. (*Refer to attached Context Plan Exhibit 9*)

III. CONSISTENCY WITH GENERAL PLAN

The development goal for the Project PAD is to provide a proposed commercial project that is compatible with the long range goals of the City of Peoria's General Plan.

The current General Plan Land Use designation for the site is Low Density Residential (2.0 – 5.0 du/acre), however the existing zoning is a mix of C-2 and RM-1, therefore we are requesting a Minor General Plan Amendment to Community Commercial (*refer to attached Existing Land Use and Proposed Land Use Exhibits 4 and 5*). The Minor General Plan Amendment is being submitted concurrent with the PAD. This modification updates the land use to match the existing C-2 and proposed PAD zoning. The proposed project will contribute to the overall City goals and objectives.

IV. GENERAL SITE INFORMATION AND EXISTING CONDITIONS

The subject property is currently utilized as irrigated farmland and ultimately slopes to the southwest with slight low point in the middle of the property. This property is located within Zone X. Flood Zone X is defined as: areas of 0.2% annual chance of flood; areas of 1% annual chance of flood with average depths of less than 1-foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

Per City of Peoria design standards, the retention for the parcel will be sized to accommodate the 100-year, 2-hour storm event.

V. PROJECT DEVELOPMENT PLAN

The Project consists of a total gross area of 29.72± acres with existing zoning of C-2 and RM-1. We are proposing a rezone of the whole site to Planned Area Development that closely matches the C-2 Commercial Zoning District under Article 14-9 of the Zoning Ordinance. Therefore, rezoning the entire site to PAD will increase neighborhood stability by providing the existing residential and the regional City park (Pioneer Park), both in the immediate area, new shopping inventory. The proposed development would also satisfy the demand for convenience at a very accessible location for services and amenities. As noted in the market study completed by McRight & Company on July 29, 2016, when considering market conditions overall, there is opportunity for new shopping center inventory at strong, high-traffic locations, such as this site. The subject site would be highly desirable to an anchor tenant as well as inline retail tenants and pad users based on the location along an established traffic corridor. Olive Avenue is one of the few east/west arterial roads that offers direct access between I-17 and points much further west than AZ Loop 303. The site is located on the "Going-Home" side of Olive Avenue for traffic exiting Loop 101 at Olive Avenue. This will be an additional advantage for a grocery tenant and pad users. Finally, the site would offer the potential for a new modern grocery store in this area, which is a significant benefit to surrounding neighborhoods. The development is a significant opportunity for the City of Peoria to prevent leakage of sales tax revenues to other nearby locations in

Glendale and Phoenix. Please refer to the complete Market Study on file with The City of Peoria Zoning Case #Z16-0011.

In addition, the commercial site will enhance the quality of life for Peoria residents by providing additional employment opportunities, generating sales tax and providing the desired services for surrounding neighborhoods supporting the economic growth for Peoria citizens. (*refer to Exhibit 3 Preliminary Development Plan*).

Development Standards: The Project will meet the City of Peoria C-2 Zoning District property development standards as defined in section 14-9-6 of the Zoning Ordinance except as modified within this document.

Parking: In accordance with the City of Peoria Zoning Ordinance.

Building Elevations: Building elevations within the center shall be designed to create a unified aesthetic, identifiable through the use of colors and materials. Materials utilized within the PAD shall be of high quality and the use of mixed materials is encouraged. The architecture, materials, and colors will be approved in Design Review.

Suggested materials and colors are listed below. A minimum of four of the seven suggestions will be required for final design. Subject to Design Review, additional materials and colors may be used, provided that they are substantially similar and are consistent and complementary with the other buildings in the development.

Materials:

- Simulated wood lap siding
- Decorative split face CMU
- Decorative concrete brick units
- Composite metal canopies incorporating architectural elements, design and pedestrian scale
- Ground face masonry units
- Anodized aluminum storefront w/ glazing
- Smooth or Sand Finish Stucco

Colors:

- Earth tones
- Desert hues
- Warm accents

Additional Development Standards: Lighting, and Roadway Standard requirements for the project shall conform to the Peoria Zoning Ordinance and the City of Peoria's Design Review Manual. Additional standards will include the following:

- The anchor tenant and future commercial buildings shall have minimum southern setbacks as shown in *Exhibit 13 Southern Landscape Buffer and Setback Exhibit*.
- The anchor incorporates a varied plane front façade while the outlots have buildings situated with slightly staggered alignments and are located near the arterial roads creating, in general, a parking field with pedestrian access features away from the public roads.

- The main walkway area in front of the anchor will incorporate score lines with varied patterns and the major pedestrian access route, including drive crossings, will use decorative pavement patterned to create visual interest.
- Drive entrances and internal intersections will be distinguished with decorative pavement to provide visual interest and establish zones of traffic awareness.
- Decorative benches will be provided in the pedestrian areas.
- Enhanced monument sign design incorporating site materials for visual interest will be incorporated along the street frontages in accordance with *Exhibit 11*.
- To the extent possible parking directly adjacent to the roads shall be minimized; with the exception of the parking adjacent to the Shops B building.
- Decorative benches shall be provided in the front arcade of the anchor store.
- Seating areas including benches and trash receptacles will be provided for pedestrians along the main connectivity walkway.
- Shops A of the development is located adjacent to Olive Ave with no intervening parking or drives. See *Exhibit 3*.
- The fuel center, Pads A, B, and C are separated from the roads with circulation drives but have no intervening parking. See *Exhibit 3*.
- The two public entries to the anchor building shall provide a human and inviting scale with its transparency and lower cantilever canopy over the doors. Signage on the canopy of the entries and lighting direct the customer into the building.
- The building materials shall be varied in colors and materials and compatible with those used in the adjoining neighborhood.
- The scale of the buildings shall be reduced by the use of varying parapet heights, contrasting materials and colors, and varying vertical and horizontal projections.
- Instead of a boulevard entrance, modified one hundred (100) foot landscaped triangle areas (intersecting at the Olive Avenue curb line) shall be provided at the easterly drive entrance. See *Exhibit 10*.
- The Olive Avenue enhanced entrance landscape area shall include a hardscape architectural feature that will have aesthetic characteristics and theme elements of the overall development. See *Exhibit 10*.
- The easterly entrance from Olive Avenue and the middle entrance from 83rd Avenue are considered the main drive aisles. There shall be no direct access to parking within 100' of either entry. See *Exhibit 3*.
- Drive entrances and internal intersections shall be distinguished with decorative pavement to provide visual interest and establish zones of traffic awareness. See *Exhibit 10*.
- Internal intersections, including connective drives from the adjacent 5 acre parcel, will be distinguished with decorative pavement to provide visual interest and establish zones of traffic awareness. Pavement markings (stop bars) and stop signage will also be provided at key locations.
- The front façade of the anchor building will include canopies / awnings to provide shade for pedestrian passive use areas.
- Planters will be incorporated into the design of the pedestrian areas.
- A 17' wide curbed island with undulating 8' wide sidewalk is provided from the main Olive Avenue entrance directly to the anchor store front. Plantings shall be provided along the sidewalk and landscape islands projecting into the parking field will have shade trees to the maximum extent possible adjacent to the 8' sidewalk. See *Exhibit 10*.
- A second landscaped median shall be provided (13' wide) from Olive Avenue to the anchor entrance. See *Exhibit 10*.

- Secondary 6' wide pathways shall be provided throughout the site giving connectivity between all buildings and public streets.
- In place of landscaped parking median requirements for areas in excess of thirty (30) spaces, enhanced street frontage landscaping as identified below and the two main landscaped parking medians shall take the place of this requirement.
- The proposed main pedestrian spine shall include passive pedestrian areas including benches and trash receptacles and will accomplish the intent to provide parking area landscaping as well as pedestrian shaded passive activity areas and connectivity to the center.
- All crossings are defined by decorative pavement that shall match throughout the center.
- Planters, and benches shall be provided in the front arcade of the anchor store.
- Seating areas including benches and trash receptacles will be provided for pedestrians along the main connectivity walkway.
- Two bus bays exist adjacent to the site along the ROW in 83rd Avenue. These two bus bays will remain, or be modified as required to allow for deceleration / right-turn lanes into the proposed site. The bus shelter facilities shall be constructed by the developer in accordance with City standards.
- Bicycle parking shall be provided throughout the site at each building and within 50' of the main entrances of the anchor. The spaces will be located under building canopies, awnings/shade structures, or shade trees.
- Cart storage facilities for the anchor are incorporated within the building façade and, therefore, incorporated into the architectural aesthetics of the center.
- In addition, this project shall include a shopping cart containment system ("Gate Keeper" wheel lock or approved equal) in accordance with Section 17 of the Peoria City Code.

VI. PERMITTED, CONDITIONAL AND ACCESSORY USES

The special limitations on uses shall be as identified in Section 14-9-5 of the City of Peoria Zoning Ordinance. The development standards for the Site will be those identified in Section 14-9-6 of the City of Peoria Zoning Ordinance for Intermediate Commercial (C-2) Zoning District. In the event this Standards and Guidelines Report is silent on a development standard or other regulation, the applicable Intermediate Commercial (C-2) Zoning District regulation in effect at the time of development shall apply.

Permitted Uses: The uses allowed under this Planned Area Development shall include all Intermediate Commercial (C-2) Zoning District permitted uses, as well as the following principally permitted uses:

- One Large-Scale Retail facility defined as a single retail user over 100,000 square feet GFA;
- One Fuel Center subject to the provisions of Section 14-9-5 of the City of Peoria Zoning Ordinance;
- Up to three (3) drive through restaurants and one (1) drive through pharmacy;
- Emergency medical care facility twenty-four (24) hour operations with ambulatory service as depicted on PAD A (*refer to Exhibit 3 Preliminary Development Plan*).

The Emergency Medical Care Facility use will be a small medical facility that provides service at a higher level than an urgent care, however does not specialize in trauma service. The facility will

not receive emergency ambulatory vehicles but will transport via ambulances patients that need the next level of care provided at a full service emergency room. Typically the emergency center would receive 25-35 visits per day with an approximate number of staff of 7-10 people at one time. The emergency room will provide approximately 15-20 beds depending on the location for observation stays.

Prohibited Uses: The following is a list of prohibited uses within this PAD:

- Billiard halls, bowling alleys, cocktail lounges, liquor stores and adult uses.

Conditionally Permitted: The permitted conditional uses allowed under this Planned Area Development shall be in accordance with the C-2 Commercial Zoning District.

Accessory Uses: The permitted accessory uses allowed under this Planned Area Development include the following:

- Outdoor dining and seating areas subject to the provisions of Section 14-9-5 and the following additional restrictions:
 - Outdoor dining area shall be located at least two hundred (200) feet from any residentially zoned property.
 - Outdoor music, if provided, shall not be audible from residentially zoned property.
- Outdoor Display and Sales Areas in addition to the standards and allowances identified within 14.9.5 of the City of Peoria Zoning Ordinance (for the sole use of the major anchor tenant only) shall be in accordance with the following:
 - The major anchor tenant shall be permitted to have temporary outdoor display and sales in the area identified on *Exhibit 13* This area shall be located outside of main drive aisles and exclusively for use by the anchor tenant.
 - Outdoor Display and Sales shall occur between the hours of 7AM – 10PM.
 - The use would be limited to a duration of 2 weeks at a time and no more than 6 times per year.
 - The area identified in *Exhibit 13* shall contain appropriate traffic calming and safety notifications (i.e. cones, signs, etc.) to ensure safe pedestrian access and appropriate vehicular movements around the site.
 - The anchor tenant shall be required to obtain all necessary permits including but not limited to Fire and Building permits, with the exception of a Temporary Use Permit through the Planning Division if in compliance with the above requirements.

VII. CONCEPTUAL SITE PLAN/ STANDARDS

Landscape: Except for modifications identified below, the project landscaping will meet all of the City of Peoria Zoning Ordinance requirements in 14-35 Landscaping (*refer to Exhibit 10 Preliminary Landscape Plan*). The landscape materials will complement the surrounding areas while adding its own distinct signature. All plant material throughout the project will be chosen for their qualities of lushness and color capabilities and will use thorn-less species of trees in parking areas.

This PAD shall only require two (2) parking lot landscape medians developed in accordance with the “Additional Development Standards” section of this document and as identified in Exhibit 10.

One of these proposed medians will be developed as the major pedestrian access routes from Olive Avenue. The proposed pedestrian spines accomplish the intent to provide both parking area landscaping as well as pedestrian connections to the center.

In addition, the landscape design will exceed the minimum requirements and include the following:

- Planters shall be provided in the front arcade of the anchor store and in the pedestrian areas.
- Enhanced entrance landscape areas will include a hardscape architectural feature that will have aesthetic characteristics and theme elements of the overall development (*refer to Exhibit 11 Preliminary Signage Plan*).
 - Landscaping will be incorporated with these aforementioned elements to complement and enhance the experience of entering the site.
- The included conceptual site plan indicates pedestrian circulation, including ADA ramps, connecting parking areas and all buildings. All crossings are defined by decorative pavement.
- One hundred (100) foot landscaped triangle areas, intersecting at the Olive Avenue curb line, will be provided at the easternmost drive entrance.
- Tree and shrub density shall be as modified herein along the arterial roads.
 - One (1) tree and ten (10) shrubs per every twenty (20) linear feet, trees to be at least 24" box with several 36" box trees or palms planted at focal entry points, and shrub and groundcover shall occupy approximately seventy five percent (75%) of the total street frontage at maturity. This exceeds what would otherwise be the City landscape requirement of plantings at maturity.
- A thirty (30) foot landscape buffer is required between this development and the residential to the south.
 - The required planting within this buffer will be four (4) twenty-four (24) inch box trees and ten (10) shrubs per one thousand (1,000) square feet, and forty percent (40%) of vegetative groundcover at maturity.
 - To the extent possible hostile vegetation shall be used within the landscape buffer.

Street Frontages: Landscaping will be provided within the ROW and adjacent tracts per the City of Peoria's Landscaping requirements except as modified herein.

Screen Walls/Wall Details: Walls shall be in accordance with City of Peoria standards except when directly abutting single family residential property lines no undulation shall be required.

Signage: Project signage will be processed as a separate application and will be consistent with the Peoria Zoning Ordinance except where noted below (*refer to Exhibit 11 Preliminary Signage Plan for sign approximate locations and design*).

Type of Sign	Number of Signs	Height of Signs in feet	Square Footage Allowed in square feet
Primary Monument Sign	2	12	48
Minor Monument Sign	3	8	24
Gas Station Sign	1	8	32 (16 square foot max for changeable copy)
Primary Monument with Gas Station Sign Incorporated	1	12	60

- Building mounted wall signs shall be in accordance with the City of Peoria Zoning Ordinance except the maximum allowance for users over 100,000 square feet of gross floor area shall be 500 square feet.

VIII. INFRASTRUCTURE/ UTILITIES

Following the rezone process, the 83rd Avenue & Olive Avenue development will require further approvals to allow for physical development of the project. These approvals include, but may not be limited to site plan approval, civil improvement plans, design review, signage, final landscape plans and final plat.

1. Sewer

Sewer service will be provided by the City of Peoria. There is an existing 18" sewer in 83rd Avenue that is approximately 10'-12' deep. This particular sewer is the deepest in the area and may provide the most depth and cover to serve the subject property. There is no existing sewer that runs along the property frontage in 85th Avenue but there is existing 8" sewer in close proximity. There are existing sewer manholes located near the intersections of Townley Avenue, Golden Lane, and Lawrence Lane along 85th Avenue. These existing manholes are approximately 8' deep. This existing sewer is shallower than the sewer within 83rd Avenue but still has potential to serve a portion of the parcel.

In addition there is an existing 8" sewer line along the south side of Olive Avenue that is approximately 8'-12' deep and flows to the east. This sewer is located on the high side of the parcel and may be difficult to convey flows to from the low side of the parcel. Likewise, this sewer should have adequate depth to serve improvements located closer to Olive Avenue. Along the north half of Olive Avenue is another 8" sewer that slopes to the west. This sewer is approximately 7' deep and is unlikely to be utilized to serve the parcel.

2. Natural Gas

Southwest Gas can provide natural gas service to 83rd Avenue & Olive Avenue, if desired.

3. Water

Water service will be provided by the City of Peoria. There is an existing 16-inch water line in 83rd Avenue, 24" and 12" waterlines in Olive Avenue and an 8" waterline in 85th Avenue all of which will allow for a looped water system.

4. Telephone

Century Link Communications will be supplying the telephone services to the area. There are existing lines in Olive Crossroads Avenues at the property line.

5. Cable Service:

Cox Communications will be supplying the cable service to the area, if desired. Facilities exist in the area near the northwest corner of the property. There is an existing line in Olive Avenue along the north side of the street.

6. **Solid Waste:**

Solid Waste disposal will be provided by the City of Peoria.

7. **Electric Power**

Electric power will be supplied by Salt River Project.



OLIVE CROSSROADS

Planned Area Development

**PRELIMINARY DEVELOPMENT PLAN
EXHIBIT 3**

CONCEPTUAL SITE PLAN

APN: 142-34-004B
 SWC N. 83RD AVENUE & W. OLIVE AVENUE
 PEORIA, ARIZONA

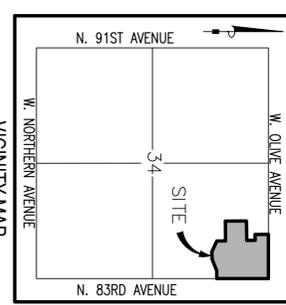
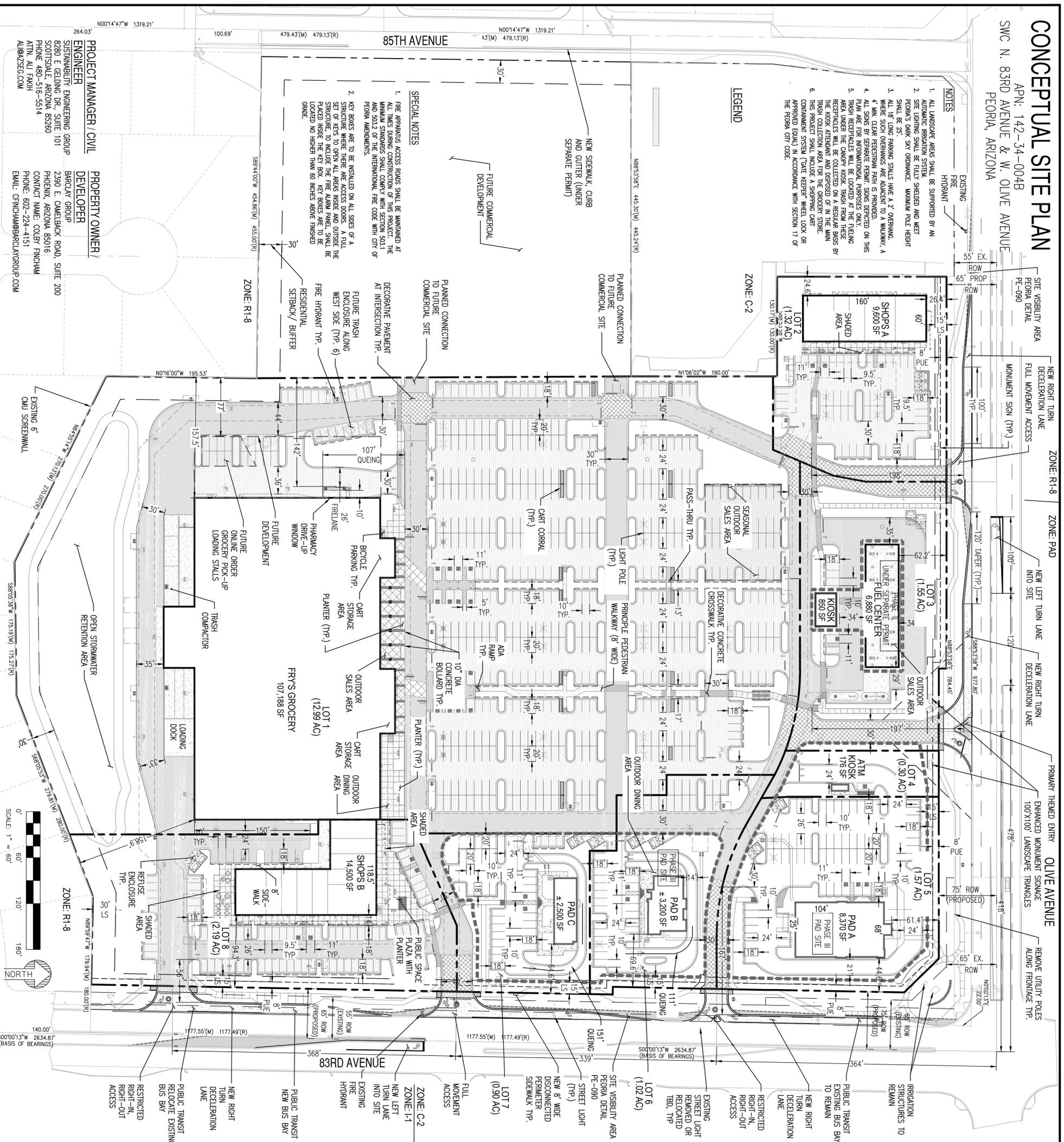
- NOTES**
1. ALL LANDSCAPE AREAS SHALL BE SUPPORTED BY AN AUTOMATIC IRRIGATION SYSTEM.
 2. SITE LIGHTS SHALL BE SHIELDED AND MOUNTED AT LEAST 15 FEET ABOVE THE GROUND. MAXIMUM POLE HEIGHT SHALL BE 25 FT.
 3. ALL 1ST FLOOR PARKING SPACES HAVE A 2' OVERHANG, WHERE SUCH OVERHANGS ARE ADJACENT TO A WALKWAY, A 4' MIN. CLEAR OVERHANG PATH IS PROVIDED.
 4. ALL SIGNS FOR INFORMATIONAL PURPOSES ONLY. TRASH RECEPTACLES WILL BE LOCATED AT THE READING AREA UNDER THE CANOPY KIOSK. TRASH FROM THESE RECEPTACLES WILL BE COLLECTED ON A REGULAR BASIS BY THE KIOSK ATTENDANT AND DISPOSED OF IN THE MAIN TRASH COLLECTION AREA FOR THE GROCERY STORE.
 5. THIS PROJECT SHALL INCLUDE A SHOPPING CART CONTAINER STATION (CART REFRIG. WHEEL LOCK OR APPROXIMATELY) ACCORDANCE WITH SECTION 17.07 OF THE PEORIA CITY CODE.

LEGEND

- NEW SIDEWALK, CURB AND CUTTER (UNDER SEPARATE PERMIT)
- PLANNED CONNECTION TO FUTURE COMMERCIAL SITE
- PLANNED CONNECTION TO FUTURE COMMERCIAL SITE
- PLANNED CONNECTION TO FUTURE COMMERCIAL SITE

SPECIAL NOTES

1. FIRE APPARATUS ACCESS ROADS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT. THE MINIMUM STANDARDS SHALL COMPLY WITH SECTION 503.11 AND 503.2 OF THE INTERNATIONAL FIRE CODE WITH CITY OF PEORIA AMENDMENTS.
2. KEY BOXES ARE TO BE INSTALLED ON ALL SIDES OF A STRUCTURE WHERE THERE ARE ACCESS DOORS. A FULL SET OF KEYS TO ALL AREAS MUST BE KEPT ON SITE AND BE PLACED INSIDE THE KEY BOX. KEY BOXES ARE TO BE LOCATED NO HIGHER THAN 60 INCHES ABOVE FINISHED GRADE.



LOT #	USE	BUILDING AREA	REQUIRED ADK PARKING	PROPOSED ADK PARKING	RELOCATED ADK PARKING	RELOCATED ADK PARKING	RELOCATED ADK PARKING	RELOCATED ADK PARKING
LOT 1 (ANCHOR)	RETAIL	565,880 SF	12,99 AC	12,99 AC	12,99 AC	12,99 AC	12,99 AC	12,99 AC
LOT 2 (SHOPS A)	RETAIL	9,600 SF	1 SPACE PER 300 SF	32	32	32	32	32
LOT 3 (FUEL CENTER)	RETAIL	6,880 SF	1 SPACE PER 300 SF	23	23	23	23	23
LOT 4 (BANK ATM KIOSK)	RETAIL	12,863 SF	1.32 AC	1.32 AC	1.32 AC	1.32 AC	1.32 AC	1.32 AC
LOT 5 (PAD A)	RETAIL	8,370 SF	1 SPACE PER 300 SF	28	28	28	28	28
LOT 6 (PAD B)	RETAIL	3,200 SF	1 SPACE PER 300 SF	11	11	11	11	11
LOT 7 (PAD C)	RETAIL	2,500 SF	1 SPACE PER 300 SF	8	8	8	8	8
LOT 8 (SHOPS B)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 9 (SHOPS C)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 10 (SHOPS D)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 11 (SHOPS E)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 12 (SHOPS F)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 13 (SHOPS G)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 14 (SHOPS H)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 15 (SHOPS I)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 16 (SHOPS J)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 17 (SHOPS K)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 18 (SHOPS L)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 19 (SHOPS M)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 20 (SHOPS N)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 21 (SHOPS O)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 22 (SHOPS P)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 23 (SHOPS Q)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 24 (SHOPS R)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 25 (SHOPS S)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 26 (SHOPS T)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 27 (SHOPS U)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 28 (SHOPS V)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 29 (SHOPS W)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 30 (SHOPS X)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 31 (SHOPS Y)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 32 (SHOPS Z)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 33 (SHOPS AA)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 34 (SHOPS AB)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 35 (SHOPS AC)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 36 (SHOPS AD)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 37 (SHOPS AE)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 38 (SHOPS AF)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 39 (SHOPS AG)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 40 (SHOPS AH)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 41 (SHOPS AI)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 42 (SHOPS AJ)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 43 (SHOPS AK)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 44 (SHOPS AL)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 45 (SHOPS AM)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 46 (SHOPS AN)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 47 (SHOPS AO)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 48 (SHOPS AP)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 49 (SHOPS AQ)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 50 (SHOPS AR)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 51 (SHOPS AS)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 52 (SHOPS AT)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 53 (SHOPS AU)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 54 (SHOPS AV)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 55 (SHOPS AW)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 56 (SHOPS AX)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 57 (SHOPS AY)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 58 (SHOPS AZ)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 59 (SHOPS BA)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 60 (SHOPS BB)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 61 (SHOPS BC)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 62 (SHOPS BD)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 63 (SHOPS BE)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 64 (SHOPS BF)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 65 (SHOPS BG)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 66 (SHOPS BH)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 67 (SHOPS BI)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 68 (SHOPS BJ)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 69 (SHOPS BK)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 70 (SHOPS BL)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 71 (SHOPS BM)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 72 (SHOPS BN)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 73 (SHOPS BO)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 74 (SHOPS BP)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 75 (SHOPS BQ)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 76 (SHOPS BR)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 77 (SHOPS BS)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 78 (SHOPS BT)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 79 (SHOPS BU)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 80 (SHOPS BV)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 81 (SHOPS BW)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 82 (SHOPS BX)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 83 (SHOPS BY)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 84 (SHOPS BZ)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 85 (SHOPS CA)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 86 (SHOPS CB)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 87 (SHOPS CC)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 88 (SHOPS CD)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 89 (SHOPS CE)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 90 (SHOPS CF)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 91 (SHOPS CG)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 92 (SHOPS CH)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 93 (SHOPS CI)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 94 (SHOPS CJ)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 95 (SHOPS CK)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 96 (SHOPS CL)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 97 (SHOPS CM)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 98 (SHOPS CN)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 99 (SHOPS CO)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48
LOT 100 (SHOPS CP)	RETAIL	14,500 SF	1 SPACE PER 300 SF	48	48	48	48	48

PROJECT MANAGER / CIVIL ENGINEER
 SUSTAINABILITY ENGINEERING GROUP
 8280 E GELDING DR., SUITE 101
 SCOTTSDALE, ARIZONA 85260
 PHONE: 480-516-5514
 ATTN: ALI FAHMI
 ALI@AZSEG.COM

PROPERTY OWNER / DEVELOPER
 BARCLAY GROUP
 2390 E. CAMELBACK ROAD, SUITE 200
 PHOENIX, ARIZONA 85016
 CONTACT NAME: COLBY FINCHAM
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 EMAIL: CFINCHAM@BARCLAYGROUP.COM

BARCLAY GROUP

SEG SUSTAINABILITY ENGINEERING GROUP

8280 E GELDING DR #101, SCOTTSDALE, ARIZONA 85260
 WWW.AZSEG.COM TEL. 480.588.7226 FAX 480.259.3534

NOT FOR CONSTRUCTION

PROJECT: OLIVE CROSSROADS

LOCATION: SWC N 83RD AVE AND W OLIVE AVE, CITY OF PEORIA, ARIZONA 85234, MARICOPA COUNTY

DRAWN: TEED
CHECKED: TEED
DESIGNED: TEED
DATE: 01-03-2017

ISSUED FOR: PAD SUBMITTAL

JOB NO.: 160627

SHEET TITLE: CONCEPTUAL SITE PLAN

SHEET NO.: SP-1

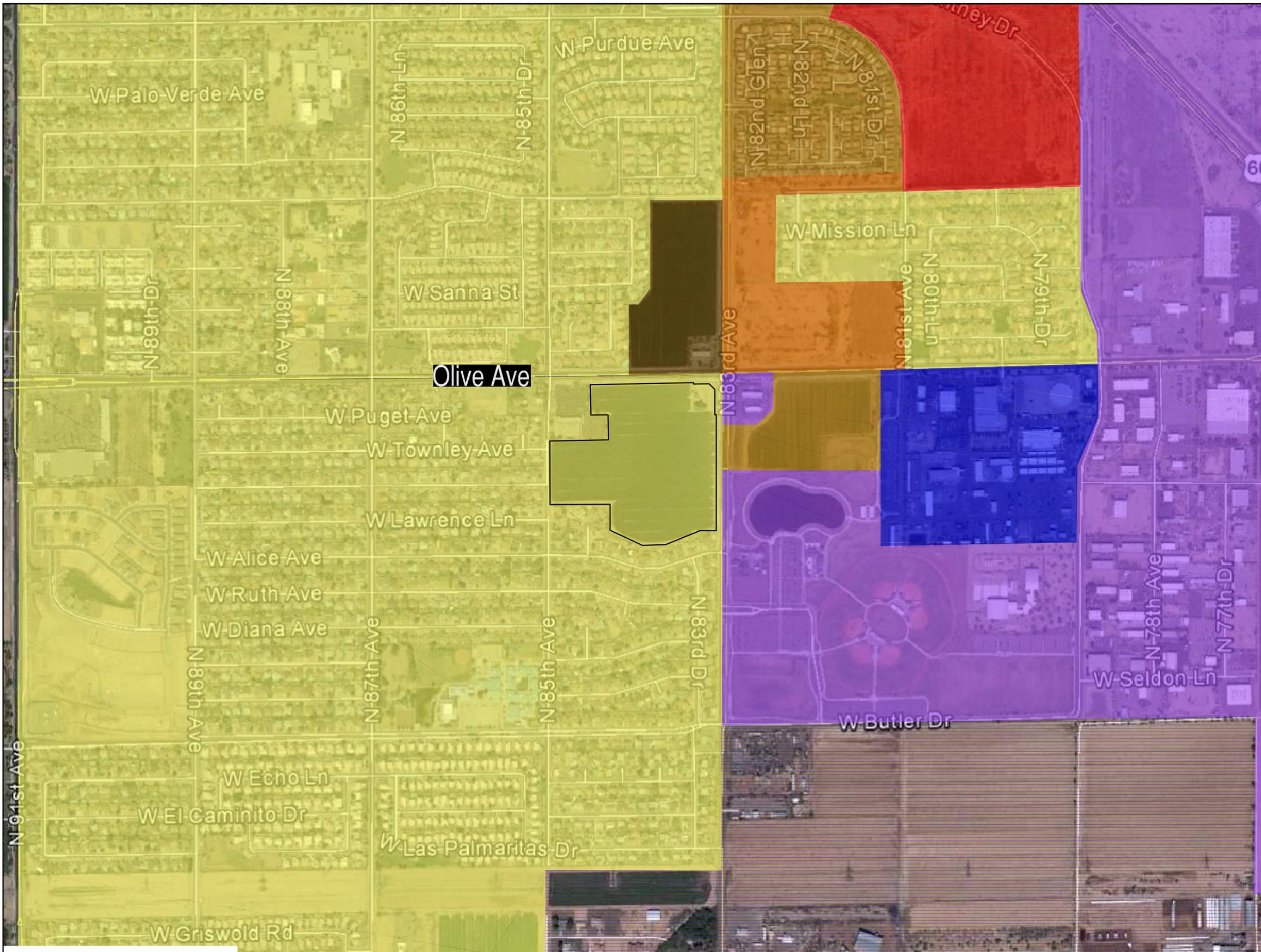
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. CASE NUMBER: Z16-0011; GP16-0004



OLIVE CROSSROADS

Planned Area Development

EXISTING LAND USE MAP EXHIBIT 4



LEGEND

- RESIDENTIAL/LOW (2.0–5.0 DU/AC),
TARGET DENSITY – 3 DU/AC
- RESIDENTIAL/MEDIUM HIGH (8.0–15.0
DU/AC), TARGET DENSITY – 12 DU/AC
- RESIDENTIAL/HIGH (15.0+ DU/AC),
TARGET DENSITY – 18 DU/AC
- MIXED USE
- PUBLIC/QUASI-PUBLIC
- COMMUNITY COMMERCIAL
- BUSINESS PARK/INDUSTRIAL
- COUNTY ISLAND

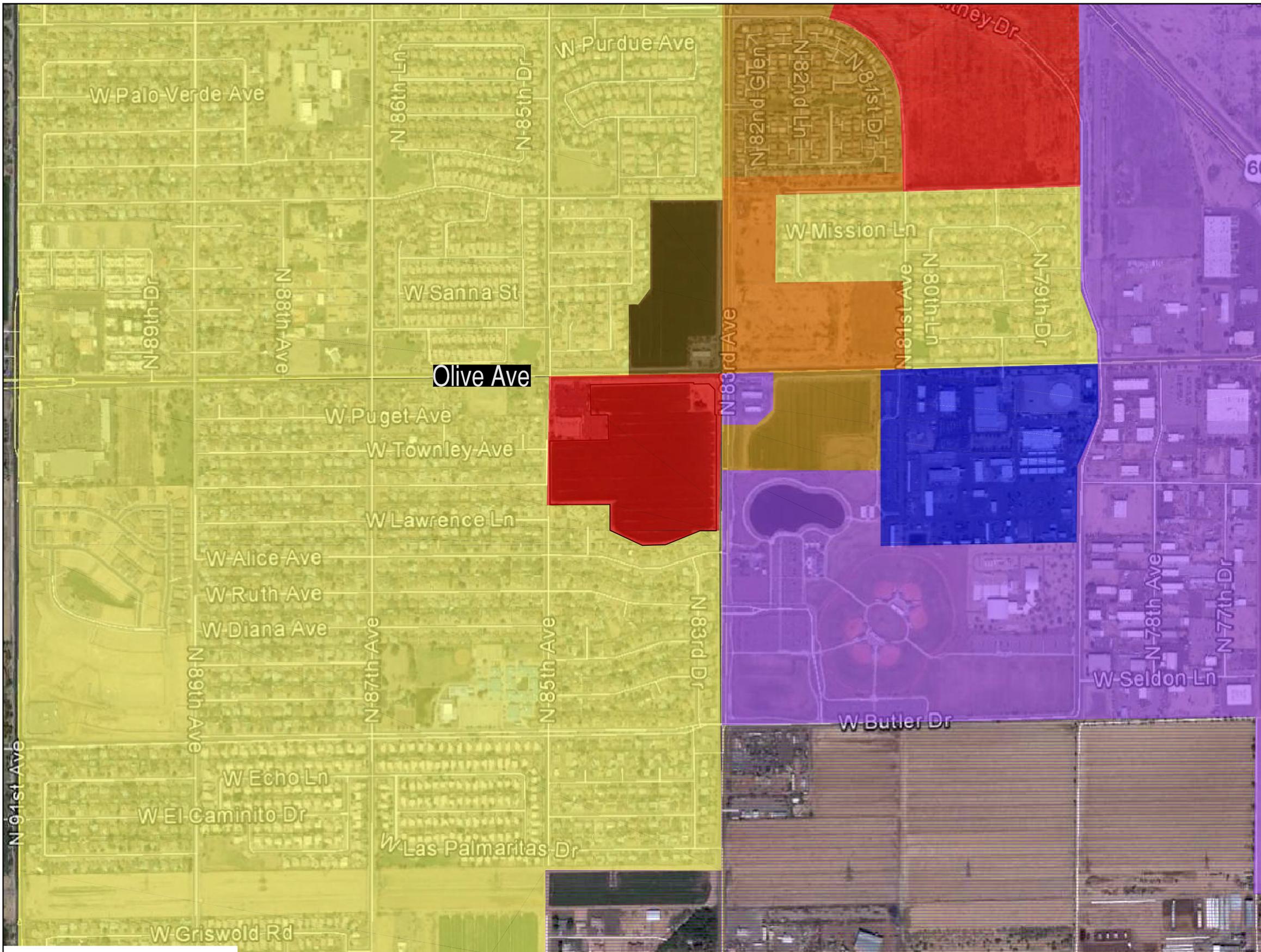




OLIVE CROSSROADS

Planned Area Development

PROPOSED LAND USE MAP EXHIBIT 5



LEGEND

-  RESIDENTIAL/LOW (2.0–5.0 DU/AC), TARGET DENSITY – 3 DU/AC
-  RESIDENTIAL/MEDIUM HIGH (8.0–15.0 DU/AC), TARGET DENSITY – 12 DU/AC
-  RESIDENTIAL/HIGH (15.0+ DU/AC), TARGET DENSITY – 18 DU/AC
-  MIXED USE
-  PUBLIC/QUASI-PUBLIC
-  COMMUNITY COMMERCIAL
-  BUSINESS PARK/INDUSTRIAL
-  COUNTY ISLAND

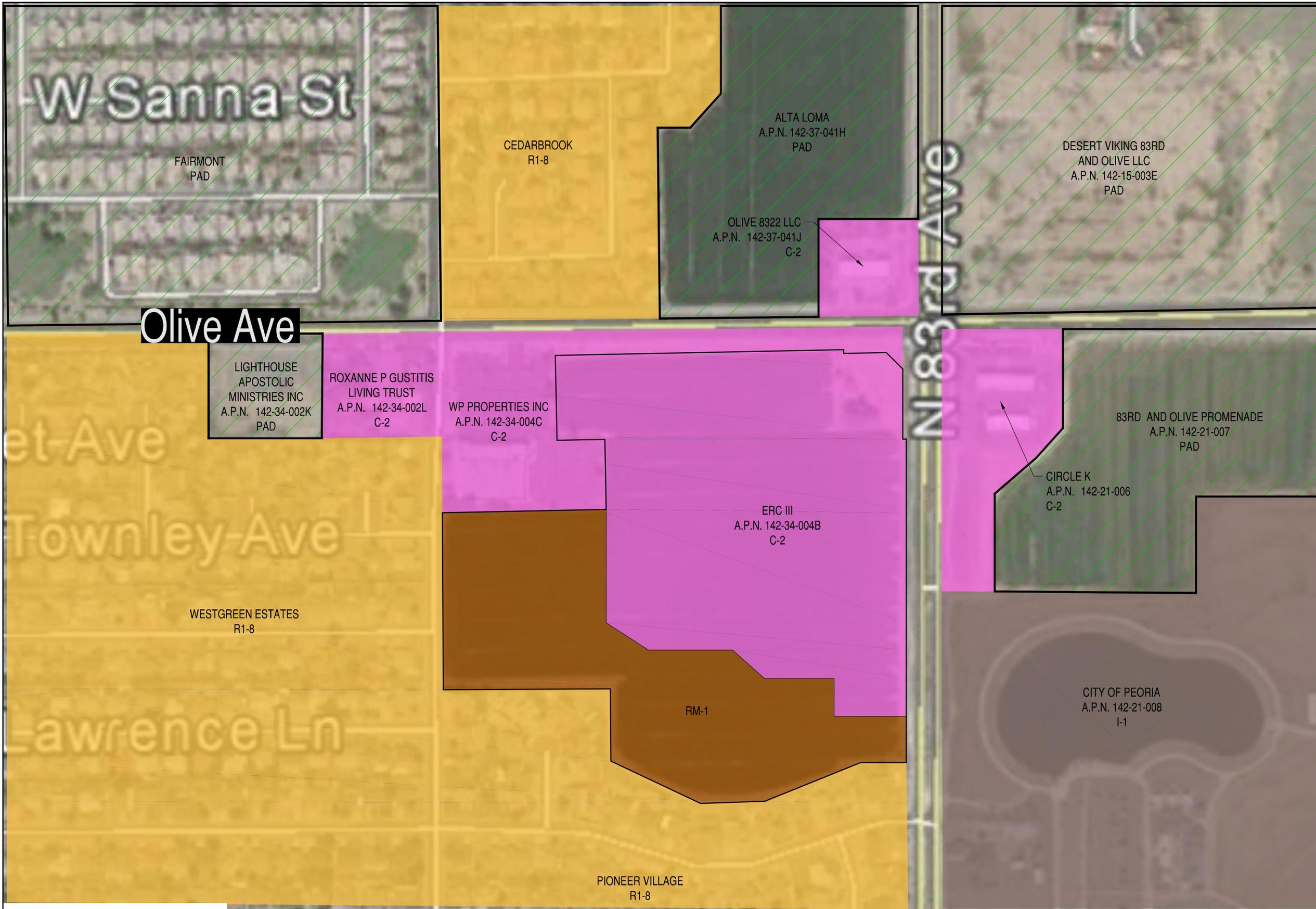




OLIVE CROSSROADS

Planned Area Development

**EXISTING ZONING MAP
EXHIBIT 6**



LEGEND

-  PAD
-  C-2
-  I-1
-  R1-8
-  RM-1



The Empire Group
 6617 North Scottsdale Road, Suite 101
 Scottsdale, Arizona 85250
 Phone: (480) 951-2207
 Fax: (480) 951-3023
 www.theempiregroupinc.com

OLIVE CROSSROADS
 EXHIBIT 6: EXISTING ZONING

PEORIA, ARIZONA MARICOPA COUNTY

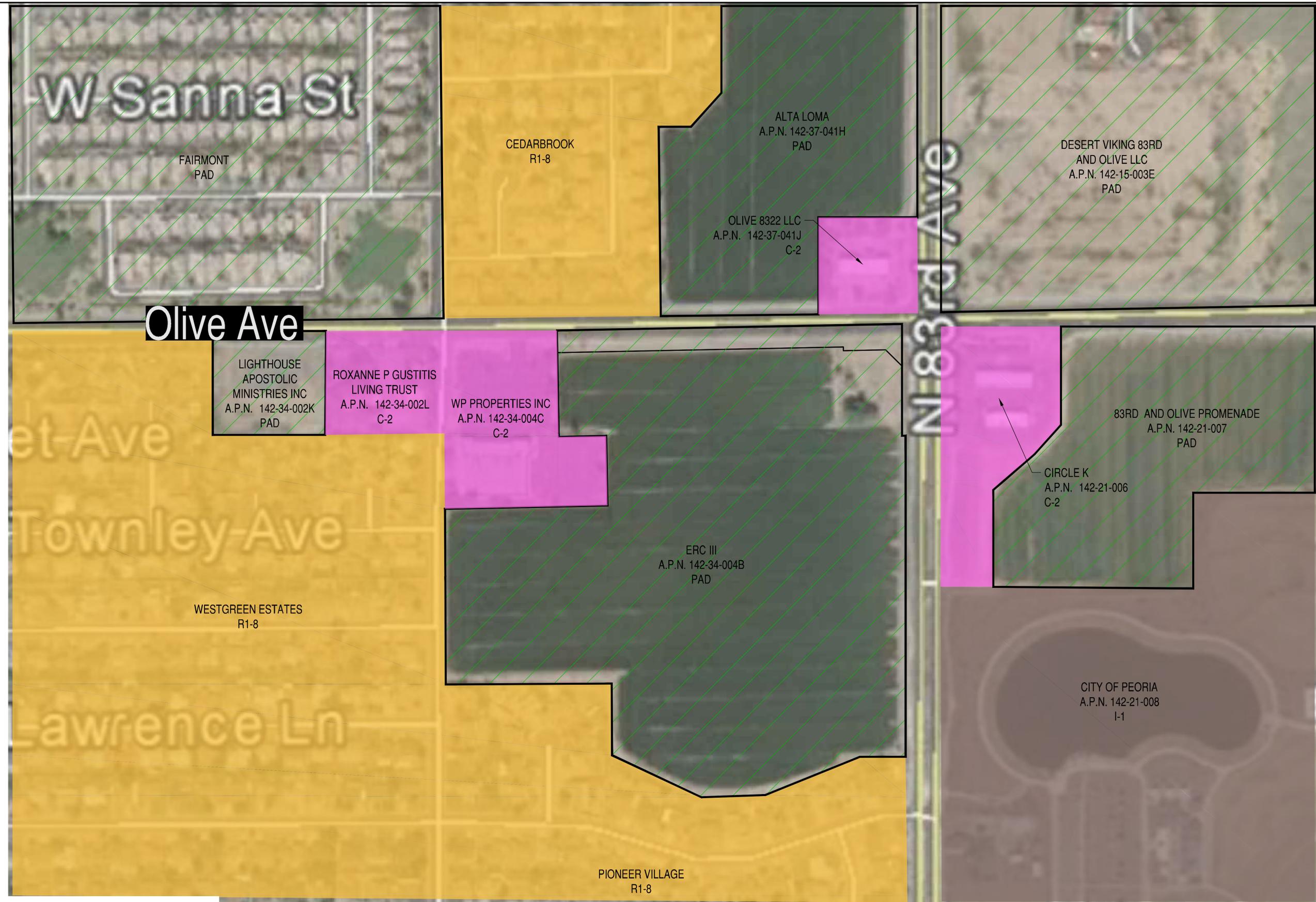
SCALE
JOB No. 3-002
DATE: JUNE 2016
EX. 6
SHEET 1 OF 1



OLIVE CROSSROADS

Planned Area Development

**PROPOSED ZONING MAP
EXHIBIT 7**



LEGEND

-  PAD
-  C-2
-  I-1
-  R1-8



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OLIVE CROSSROADS
 EXHIBIT 7: PROPOSED ZONING

PEORIA, ARIZONA MARICOPA COUNTY

SCALE
JOB No. 3-002
DATE: JUNE 2016
EX. 7
SHEET 1 OF 1



OLIVE CROSSROADS

Planned Area Development

A.L.T.A. SURVEY AND LEGAL DESCRIPTION EXHIBIT 8

ALTA/ACSM LAND TITLE SURVEY SWC 83RD AVENUE & OLIVE AVENUE

LOCATED IN THE NORTHEAST QUARTER OF SECTION 34,
TOWNSHIP 3 NORTH, RANGE 1 EAST, OF THE GILA AND
SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.

NOTES

1. PROPERTY IS SUBJECT TO ALL EASEMENTS OF RECORD WHETHER SHOWN HEREON OR NOT.
2. PURSUANT TO TABLE "A", ITEM NUMBER 1, MONUMENTS WILL BE PLACED (OR A REFERENCE MONUMENT OR WITNESS TO THE CORNER) AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE PROPERTY, UNLESS ALREADY MARKED OR REFERENCED BY EXISTING MONUMENTS OR WITNESSES.
3. PURSUANT TO TABLE "A", ITEM NUMBER 2, THE CURRENT ADDRESS IS NOT AVAILABLE.
4. PURSUANT TO TABLE "A", ITEM NUMBER 3, ACCORDING TO THE FLOOD INSURANCE RATE MAP #040130710L, DATED OCTOBER 16, 2013 THIS PROPERTY IS LOCATED IN FLOOD ZONE "X", AREAS OF 0.28 ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
5. PURSUANT TO TABLE "A", ITEM NUMBER 4, THE AREA OF THE SUBJECT PARCEL IS AS DESCRIBED IN THE LEGAL DESCRIPTION, THE LAND AREA OF THE SUBJECT PROPERTY CONTAINS:
NET: 1,193,590 SQUARE FEET OR 27,401.1 ACRES, MORE OR LESS.
GROSS: 1,294,466 SQUARE FEET OR 29,716.9 ACRES, MORE OR LESS.
6. PURSUANT TO TABLE "A", ITEM 6(A) THE CURRENT ZONING CLASSIFICATION HAVE NOT BEEN PROVIDED BY THE INSURER.
7. PURSUANT TO TABLE "A", ITEM NUMBER 7(A), THERE ARE NO BUILDINGS EXISTING ON THE SURVEYED PROPERTY.
8. PURSUANT TO TABLE "A", ITEM NUMBER 8, SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY SUCH AS PARKING LOTS, BILLBOARDS, SIGNS, SWIMMING POOLS, LANDSCAPED AREAS, ETC ARE SHOWN HEREON.
9. PURSUANT TO TABLE "A", ITEM NUMBER 9, THERE ARE NO STRIPPED PARKING SPACES EXISTING ON THE SURVEYED PROPERTY.
10. PURSUANT TO TABLE "A", ITEM NUMBER 10(A), THE DETERMINATION OF THE RELATIONSHIP AND LOCATION OF CERTAIN DIVISION OR PARTY WALLS HAS NOT BEEN DESIGNATED BY THE CLIENT WITH RESPECT TO ADJOINING PROPERTIES.
11. PURSUANT TO TABLE "A", ITEM NUMBER 11(A), VISIBLE SURFACE UTILITIES WITHIN SUBJECT PARCEL ARE SHOWN HEREON. NO RECORD MAPS FROM UTILITY OPERATING AGENCIES WERE REVIEWED. LOCATION OF UNDERGROUND UTILITIES ARE UNKNOWN.
12. PURSUANT TO TABLE "A", ITEM NUMBER 13, NAMES OF ADJOINING OWNERS OF PLATTED LANDS ACCORDING TO CURRENT PUBLIC RECORDS ARE SHOWN HEREON.
13. PURSUANT TO TABLE "A", ITEM 16, AND TO THE BEST OF MY KNOWLEDGE, THE SURVEYOR HAS NOT OBSERVED EVIDENCE OF EARTH MOVING WORK OR SITE CONSTRUCTION UNDERWAY OR RECENTLY COMPLETED (EXCEPT AS SHOWN HEREON). THE SURVEYOR AND FIELD PERSONNEL UNDER THE SURVEYOR'S DIRECTION ARE NOT TRAINED OR QUALIFIED CONTRACTORS AND CANNOT ACCURATELY IDENTIFY RECENT CONSTRUCTION, INTERESTED AND AFFECTED PARTIES SHOULD SEEK CONSULTATION FROM A REGISTERED CONTRACTOR OR OTHER QUALIFIED PARTY.
14. PURSUANT TO TABLE "A", ITEM 18, THE SURVEYOR HAS NOT OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SWAMP OR SANITARY LANDFILL. HOWEVER, THE SURVEYOR AND FIELD PERSONNEL UNDER THE SURVEYOR'S DIRECTION ARE NOT TRAINED OR QUALIFIED TO IDENTIFY EVIDENCE WHICH WOULD INDICATE ADVERSE ENVIRONMENTAL CONDITIONS OF SITE, INTERESTED OR AFFECTED PARTIES SHOULD SEEK CONSULTATION BY AN ENVIRONMENTAL ENGINEERING CONSULTANT OR OTHER QUALIFIED PROFESSIONAL.

TITLE COMMITMENT SCHEDULE B - SECTION II REVIEW

THE TITLE DOCUMENTS FOR THE SURVEYED PROPERTY HEREIN DESCRIBED PROVIDED BY SECURITY TITLE AGENCY, FILE NO. 15150571-0015-98A, EFFECTIVE DATE: OCTOBER 29, 2015 AT 7:30 AM, AND WITH RESPECT TO THE ITEMS IDENTIFIED AS EXCEPTIONS ON SCHEDULE B - SECTION II OF THE TITLE INSURANCE COMMITMENT WITH RESPECT TO THE SURVEYED PROPERTY:

- (a) THE FOLLOWING ITEMS LISTED AS EXCEPTIONS PERTAIN TO THE SURVEYED PROPERTY HOWEVER, ARE NOT SURVEY RELATED MATTERS: ITEMS 1, 3, 19 AND 20.
 - (b) THE SURVEYOR'S REVIEW OF DOCUMENTS REFERENCED IN THE TITLE REPORT AS SCHEDULE "B" ITEMS IS LIMITED TO THE SURVEYOR'S SCOPE-OF-SERVICES AS IDENTIFIED IN THE CERTIFICATION HEREON. ADDITIONALLY, THE SURVEYOR'S SCOPE-OF-SERVICES IS LIMITED TO PROVIDING SERVICES IN A MANNER CONSISTENT WITH THE DEGREE OF CARE AND SKILL ORIGINARILY EXERCISED BY MEMBERS OF THE SAME PROFESSION CURRENTLY PRACTICING UNDER SIMILAR CONDITIONS. SCHEDULE "B" ITEM DOCUMENTS MAY CONTAIN ENCUMBRANCES WHICH AFFECT THE SUBJECT PROPERTY WHICH THE SURVEYOR IS NOT QUALIFIED TO INTERPRET AND/OR ARE NOT WITHIN THE SURVEYOR'S SCOPE-OF-SERVICES. IT IS RECOMMENDED THAT INTERESTED AND AFFECTED PARTIES OBTAIN CONSULTATION WITH QUALIFIED LEGAL COUNSEL RELATIVE TO THE INTERPRETATION OF ALL SCHEDULE "B" DOCUMENTS REFERENCED IN THE TITLE REPORT.
 - (c) THE FOLLOWING ITEMS OF THE SPECIAL EXCEPTIONS ARE SURVEY RELATED MATTERS, PERTAIN TO THE SURVEYED PROPERTY AND ARE SHOWN ON THE SURVEY OR UNLESS OTHERWISE EXPLAINED AS HOW THEY AFFECT THE SURVEYED PROPERTY:
 - (d) DENOTES SCHEDULE B ITEMS SHOWN HEREON.
- ITEM 4 PROPERTY IS SUBJECT TO RESERVATIONS OR EXCEPTIONS IN PATENTS, OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF AS SET FORTH IN BOOK 128 OF DEEDS, PAGE 313. **(ITEM IS BLANKET IN NATURE AND NOT SHOWN)**
 - ITEM 5 PROPERTY IS SUBJECT TO AN EASEMENT FOR HIGHWAY AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS 4118, PAGE 35 AND 4118, PAGE 36 OF OFFICIAL RECORDS. **(ITEM IS SHOWN HEREON)**
 - ITEM 6 PROPERTY IS SUBJECT TO AN EASEMENT FOR POWER LINES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS 8181, PAGE 771 OF OFFICIAL RECORDS. **(ITEM IS SHOWN HEREON)**
 - ITEM 7 PROPERTY IS SUBJECT TO ALL MATTERS CONTAINED IN THE DOCUMENT ENTITLED "RECORD OF SURVEY" RECORDED IN BOOK 2 OF ROAD MAPS, PAGE 14, BOOK 3 OF ROAD MAPS, PAGE 29, BOOK 14 OF ROAD MAPS, PAGE 3, BOOK 30 OF ROAD MAPS, PAGE 57 OF OFFICIAL RECORDS. **(ITEM IS SHOWN HEREON)**
 - ITEM 8 PROPERTY IS SUBJECT TO MATTERS SET FORTH IN RESOLUTION DOCUMENT RECORDED IN NO. 86-68442. **(ITEM IS SHOWN HEREON)**
 - ITEM 9 PROPERTY IS SUBJECT TO MATTERS SET FORTH IN RESOLUTION DOCUMENT RECORDED IN NO. 86-68442. **(ITEM IS SHOWN HEREON)**
 - ITEM 10 PROPERTY IS SUBJECT TO AN EASEMENT FOR IRRIGATION AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS 87-307241 OF OFFICIAL RECORDS. **(ITEM IS SHOWN HEREON-DOES NOT AFFECT PROPERTY)**
 - ITEM 11 PROPERTY IS SUBJECT TO ALL MATTERS CONTAINED IN THE DOCUMENT ENTITLED "RECORD OF SURVEY" RECORDED IN BOOK 355, PAGE 21 OF OFFICIAL RECORDS. **(ITEM IS SHOWN HEREON)**
 - ITEM 12 PROPERTY IS SUBJECT TO AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS 89-2718 OF OFFICIAL RECORDS. **(ITEM IS SHOWN HEREON)**
 - ITEM 13 PROPERTY IS SUBJECT TO AN EASEMENT FOR HIGHWAY AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS 89-52701.4 AND RE-RECORDED AS 92-356588 OF OFFICIAL RECORDS. **(ITEM IS SHOWN HEREON)**
 - ITEM 14 PROPERTY IS SUBJECT TO MATTERS SET FORTH IN RESOLUTION NO. 01-103 DOCUMENT RECORDED IN NO. 2001-676630. **(ITEM IS BLANKET IN NATURE AND IS NOT SHOWN)**
 - ITEM 15 PROPERTY IS SUBJECT TO MATTERS SET FORTH IN ORDINANCE NO. 01-156 DOCUMENT RECORDED IN NO. 2001-9228838. **(ITEM IS BLANKET IN NATURE AND IS NOT SHOWN)**
 - ITEM 16 PROPERTY IS SUBJECT TO MATTERS SET FORTH IN ORDINANCE NO. 2010-31 DOCUMENT RECORDED IN NO. 2010-933264. **(ITEM IS SHOWN HEREON)**
 - ITEM 17 PROPERTY IS SUBJECT TO MATTERS SET FORTH IN ANNEXATION DOCUMENT RECORDED IN NO. 2010-1100114. **(ITEM IS SHOWN HEREON)**
 - ITEM 18 PROPERTY IS SUBJECT TO MATTERS SET FORTH IN FACILITY RELOCATION AGREEMENT DOCUMENT RECORDED IN NO. 2014-531164. **(ITEM IS SHOWN HEREON)**

SHEET INDEX

- 1 COVER NOTES, SCHEDULE "B" ITEMS
- 2-3 SITE DETAIL & EASEMENTS

LEGAL DESCRIPTION PER TITLE COMMITMENT

THAT PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 3 NORTH, RANGE 1 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF THE PIONEER VILLAGE III, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, IN BOOK 267 OF MAPS, PAGE 48;
THENCE NORTH 00 DEGREES 16 MINUTES 00 SECONDS WEST ALONG THE WEST LINE OF THE SAID EAST HALF OF THE NORTHEAST QUARTER, SECTION 34, A DISTANCE OF 479.13 FEET TO THE INTERSECTION OF THE SAID WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER, SECTION 34 WITH THE WESTERLY PROLONGATION OF THE SOUTH LINE OF PARCEL DESCRIBED AS RECORDED NO. 87-430563, RECORDS OF MARICOPA COUNTY, ARIZONA;
THENCE NORTH 88 DEGREES 53 MINUTES 00 SECONDS EAST 445.24 FEET (NORTH 88 DEGREES 54 MINUTES 11 SECONDS EAST 445.23 FEET RECORD) TO THE SOUTHEAST CORNER OF THE ABOVE REFERENCED PARCEL;
THENCE NORTH 01 DEGREES 07 MINUTES 00 SECONDS WEST (NORTH 01 DEGREES 05 MINUTES 49 SECONDS WEST RECORD) 190.00 FEET TO A CORNER OF SAID PARCEL;
THENCE SOUTH 88 DEGREES 53 MINUTES 00 SECONDS WEST (SOUTH 88 DEGREES 54 MINUTES 11 SECONDS WEST RECORD) 130.00 FEET TO A CORNER OF SAID PARCEL;
THENCE NORTH 01 DEGREES 07 MINUTES 00 SECONDS WEST (NORTH 01 DEGREES 07 MINUTES 00 SECONDS WEST RECORD) 286.00 FEET TO THE INTERSECTION OF THE NORTH LINE OF THE SAID EAST HALF OF THE NORTHEAST QUARTER, SECTION 34 WITH THE WESTERLY PROLONGATION OF THE SOUTH LINE OF SAID PARCEL, THE POINT OF BEGINNING OF THE SAID PARCEL, BEARING NORTH 88 DEGREES 53 MINUTES 00 SECONDS EAST 308.19 FEET FROM THE NORTHWEST CORNER OF THE SAID EAST HALF OF THE NORTHEAST QUARTER, SECTION 34;
THENCE NORTH 88 DEGREES 53 MINUTES 00 SECONDS EAST 1011.99 FEET TO THE NORTHEAST CORNER OF THE SAID EAST HALF OF THE NORTHEAST QUARTER, SECTION 34;
THENCE SOUTH 00 DEGREES 00 MINUTES 13 SECONDS WEST ALONG THE EAST LINE OF THE SAID EAST HALF OF THE NORTHEAST QUARTER, SECTION 34 A DISTANCE OF 1177.49 FEET TO THE NORTHEAST CORNER OF THE SAID PIONEER VILLAGE III;
THENCE ALONG THE NORTH LINE OF THE SAID PIONEER VILLAGE III AS FOLLOWS:
NORTH 89 DEGREES 52 MINUTES 47 SECONDS WEST 180.00 FEET;
THENCE SOUTH 88 DEGREES 05 MINUTES 53 SECONDS WEST 280.00 FEET;
THENCE SOUTH 88 DEGREES 05 MINUTES 38 SECONDS WEST 170.27 FEET;
THENCE SOUTH 88 DEGREES 05 MINUTES 14 SECONDS WEST 270.00 FEET;
THENCE NORTH 00 DEGREES 16 MINUTES 00 SECONDS WEST 195.53 FEET;
THENCE SOUTH 89 DEGREES 44 MINUTES 00 SECONDS WEST 495.00 FEET TO THE POINT OF BEGINNING;
EXCEPT THE SOUTH 22.00 FEET OF THE NORTH 55 FEET THEREOF, AS CONVERTED TO THE CITY OF PEORIA FOR ROADWAY QUIT CLAIM DEED RECORDED AS RECORDED NO. 87-430562.

BASIS OF BEARINGS

SOUTH 00 DEGREES 00 MINUTES 13 SECONDS WEST ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 3 NORTH, RANGE 1 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, ACCORDING TO BOOK 267 OF MAPS, PAGE 48, M.C.R.

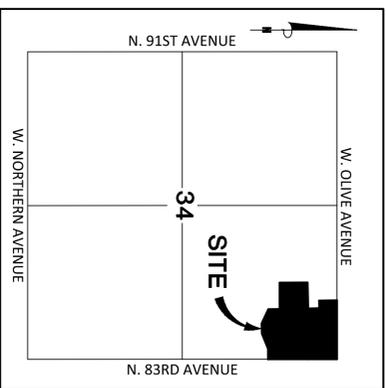
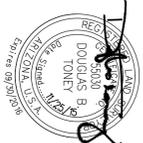
* SURVEYOR'S CERTIFICATION IS SUBJECT TO A LIMITATION OF LIABILITY. THE ENTITIES LISTED BELOW AND THE GENERAL PUBLIC ARE ON NOTICE THAT THIS ALTA/ACSM LAND TITLE SURVEY IS SUBJECT TO A LIMITATION OF LIABILITY NOT TO EXCEED THE PRICE OF THE ORIGINAL PROPOSAL DATED NOVEMBER 11, 2015 BETWEEN BOWMAN CONSULTING GROUP, LTD., A VIRGINIA CORPORATION AND EMPIRE RESIDENTIAL COMMITTEES FUND II, LLC, BY RELIANCE ON THE ACCEPTANCE OF THESE TERMS IS EFFECTUATED. COPIES OF THE TERMS AND CONDITIONS ARE AVAILABLE UPON REQUEST.

SURVEYORS CERTIFICATE

TO: EMPIRE RESIDENTIAL COMMITTEES FUND II, LLC, A DELAWARE LIMITED LIABILITY COMPANY
INDEPENDENCE TUBE CORPORATION, AN ILLINOIS CORPORATION
SECURITY TITLE AGENCY, INC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, INC. AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 7(A), 8, 9, 11(A), 13, 16 AND 18 OF TABLE A HEREOF. THE FIELD WORK WAS COMPLETED ON 11/20/15.

DOUGLAS B. TONEY R.L.S. #65030 DATE 11/25/15
dtony@bomnng.com

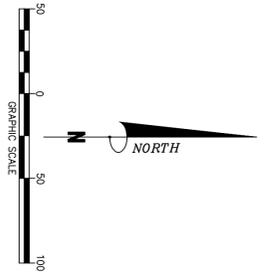


ALTA/ACSM LAND TITLE SURVEY SWC 83RD AVENUE & OLIVE AVENUE PEORIA, ARIZONA

Bowman CONSULTING
Bowman Consulting Group, Ltd. Phone: (480) 629-8830
1295 W Washington Street, #108 Fax: (480) 629-8841
Tempe, AZ 85281 www.bowmanconsulting.com

DATE	REVISION
11-25-15	
050210-01	
TASK NUM: 001	
DRAWN BY: DT	
CHECKED: KG	
QUALITY:	
CLIENT NO:	
SCALE:	
N.T.S.	

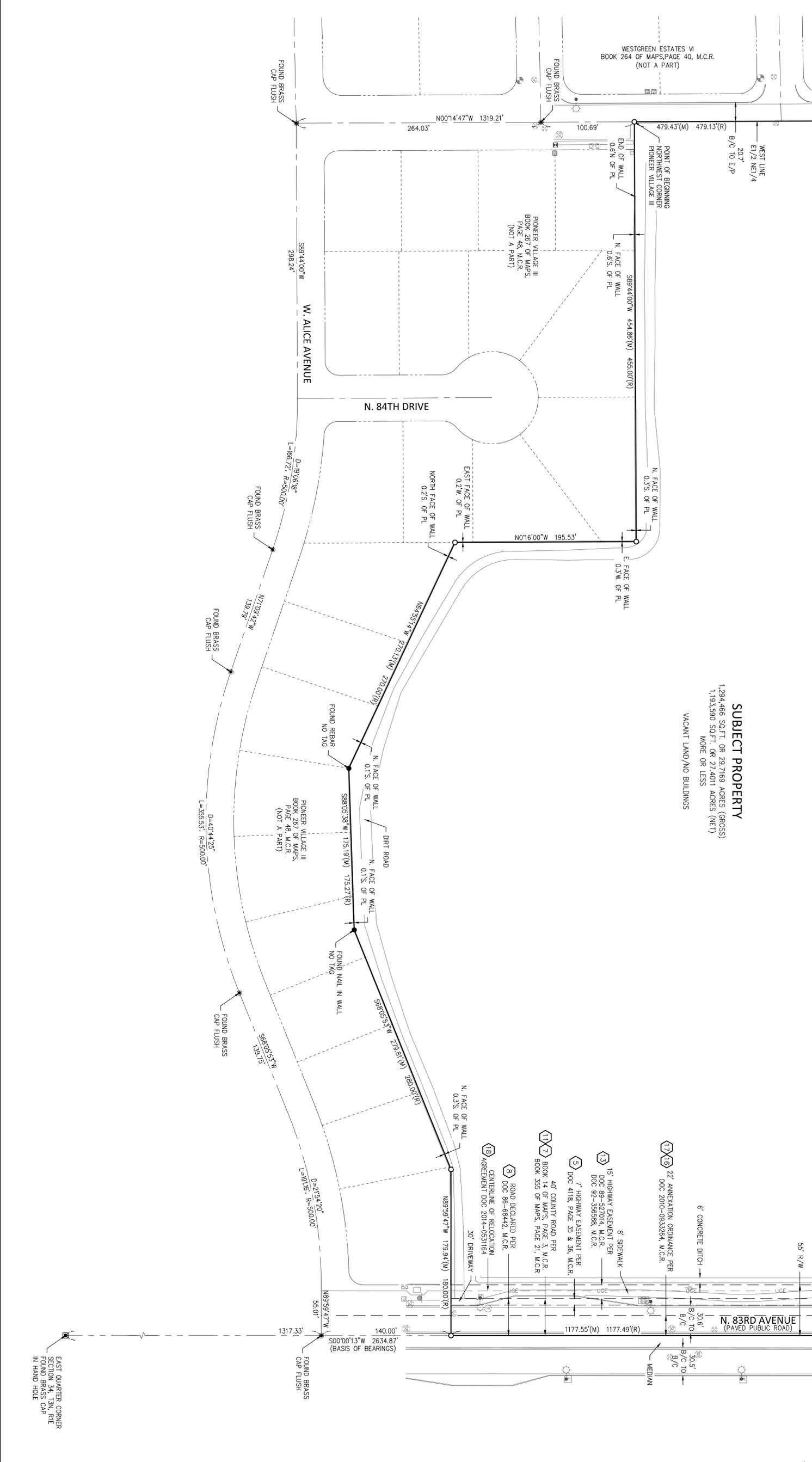
1 of 3



- LEGEND**
- FOUND BRASS CAP IN HANDHOLE AS NOTED
 - FOUND BRASS CAP FLUSH AS NOTED
 - FOUND 1/2" REBAR AS NOTED
 - SET 1/2" REBAR W/ CAP & TAG LS 55030 OR AS NOTED
 - ⊖ POWER POLE
 - ⊖ DOWN GUY
 - ⊖ LIGHT POLE
 - ⊖ ELECTRIC METER
 - ⊖ ELECTRIC TRANSFORMER
 - ⊖ ELECTRIC JUNCTION BOX
 - ⊖ TRAFFIC SIGNAL MAST
 - ⊖ TRAFFIC SIGNAL JUNCTION BOX
 - ⊖ FIRE HYDRANT
 - ⊖ WATER AIR RELEASE VALVE
 - ⊖ WATER VALVE
 - ⊖ WATER METER
 - ⊖ WATER MANHOLE
 - ⊖ CHECK VALVE
 - ⊖ SEWER MANHOLE
 - ⊖ PROPERTY LINE
 - ⊖ DRYWELL
 - ⊖ SIGN
 - ⊖ TELEPHONE RISER
 - ⊖ GAS LINE MARKER
 - ⊖ GAS VALVE
 - ⊖ IRRIGATION CONTROL BOX
 - ⊖ CABLE TELEVISION RISER
 - ⊖ MANHOLE
 - ⊖ SCHEDULE "B" ITEM #
 - ⊖ M.C.R.
 - ⊖ LS
 - ⊖ MARGOIA COUNTY RECORDS
 - ⊖ LAND SURVEYOR
 - ⊖ DOCUMENT
 - ⊖ MEASURED
 - ⊖ RECORD
 - ⊖ EDGE OF PAVEMENT
 - ⊖ BACK OF CURB
 - ⊖ STREET LIGHT JUNCTION BOX
 - ⊖ STORM DRAIN MANHOLE
 - ⊖ CENTER LINE
 - ⊖ PARCEL LINE
 - ⊖ EASEMENT LINE
 - ⊖ RIGHT OF WAY LINE
 - ⊖ GAS LINE
 - ⊖ OVER HEAD ELECTRIC
 - ⊖ UNDER GROUND ELECTRIC
 - ⊖ SUBJECT PROPERTY
 - ⊖ SECTION LINE

SUBJECT PROPERTY
 1,294,466 SQ.FT. OR 29.7169 ACRES (GROSS)
 1,193,590 SQ.FT. OR 27.4011 ACRES (NET)
 MORE OR LESS
 VACANT LAND/NO BUILDINGS

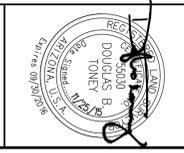
MATCH SHEET 2



DATE	REVISION
11-25-15	
050210-01	

TASK NUM: 001
 DRAWN BY: DT
 CHECKED: KG
 QUALITY:
 CLIENT NO:
 SCALE: 1" = 50'
 3 of 3

ALTA/ACSM LAND TITLE SURVEY
SWC 83RD AVENUE & OLIVE AVENUE
PEORIA, ARIZONA



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EXHIBIT A
LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

That part of the East half of the Northeast quarter of Section 34, Township 3 North, Range 1 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows:

BEGINNING at the Northwest corner of the PIONEER VILLAGE III, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, in Book 267 of Maps, page 48;

THENCE North 00 degrees 16 minutes 00 seconds West along the West line of the said East half of the Northeast quarter, Section 34, a distance of 479.13 feet to the intersection of the said West line of the East half of the Northeast quarter, Section 34 with the Westerly prolongation of the South line of Parcel described as Recording No. 87-430563, records of Maricopa County, Arizona;

THENCE North 88 degrees 53 minutes 00 seconds East 445.24 feet (North 88 degrees 54 minutes 11 seconds East 445.23 feet record) to the Southeast corner of the above referenced Parcel;

THENCE North 01 degrees 07 minutes 00 seconds West (North 01 degrees 05 minutes 49 seconds West record) 190.00 feet to a corner of said Parcel;

THENCE South 88 degrees 53 minutes 00 seconds West (South 88 degrees 54 minutes 11 seconds West record) 130.00 feet to a corner of said Parcel;

THENCE North 01 degrees 07 minutes 00 seconds West (North 01 degrees 07 minutes 00 seconds West record) 285.00 feet to the intersection of the North line of the said East half of the Northeast quarter, Section 34 with the Northerly prolongation of the East line of said Parcel, this point bearing North 88 degrees 53 minutes 00 seconds East 308.19 feet from the Northwest corner of the said East half of the Northeast quarter, Section 34;

THENCE North 88 degrees 53 minutes 00 seconds East 1011.99 feet to the Northeast corner of the said East half of the Northeast quarter, Section 34;

THENCE South 00 degrees 00 minutes 13 seconds West along the East line of the said East half of the Northeast quarter, Section 34 a distance of 1177.49 feet to the Northeast corner of the said PIONEER VILLAGE III;

THENCE along the North line of the said PIONEER VILLAGE III as follows:

North 89 degrees 52 minutes 47 seconds West 180.00 feet;

THENCE South 68 degrees 05 minutes 53 seconds West 280.00 feet;

THENCE South 88 degrees 05 minutes 38 seconds West 175.27 feet;

THENCE North 64 degrees 55 minutes 14 seconds West 270.00 feet;

THENCE North 00 degrees 16 minutes 00 seconds West 195.53 feet;

THENCE South 89 degrees 44 minutes 00 seconds West 455.00 feet to the POINT OF BEGINNING;

EXHIBIT A
(Continued)

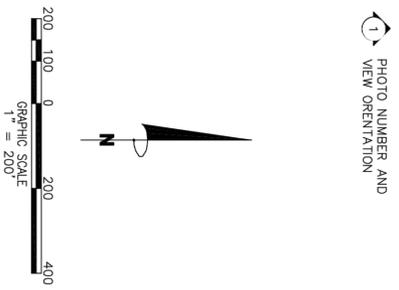
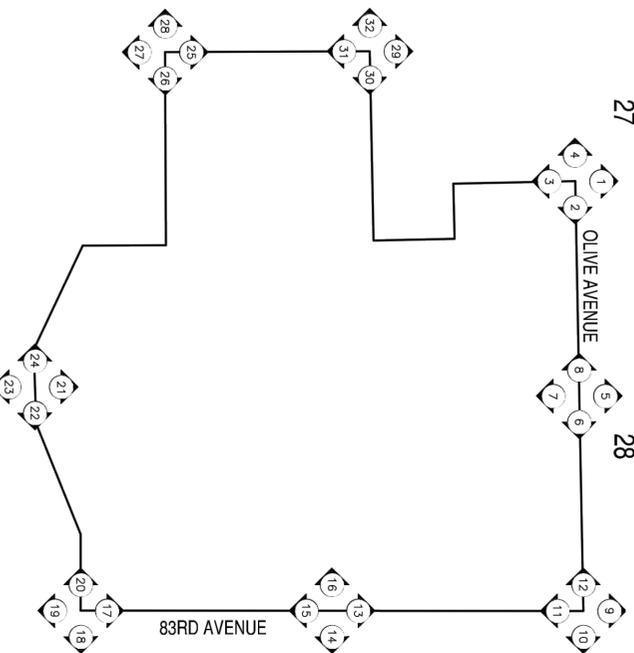
EXCEPT the South 22.00 feet of the North 55 feet thereof, as conveyed to the City of Peoria for roadway Quit Claim Deed recorded as Recording No. 87-430562.



OLIVE CROSSROADS

Planned Area Development

CONTEXT PLAN AND SITE PHOTOS EXHIBIT 9



1 PHOTO NUMBER AND VIEW ORIENTATION



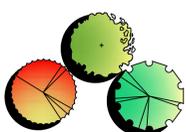
OLIVE CROSSROADS

Planned Area Development

**PRELIMINARY LANDSCAPE PLAN
EXHIBIT 10**



PLANT LEGEND



SYMBOL BOTANICAL NAME COMMON NAME

TREES	
	ACACIA SALICINA WILLOW ACACIA
	DALBERGIA SISSOO SISSOO TREE
	PARKINSONIA PRAEOCX (NOT IN PARKING LOT) PALO BREVA
	PROSPERIS CHILENSIS THORNLESS CHILEAN MESQUITE

SHRUBS

	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE
	LEUCOPHYLLUM CANDIDUM THUNDER CLOUD
	LEUCOPHYLLUM LANGMANIAE LYNN'S LEGACY
	NERIUM OLEANDER PETITE PINK OLEANDER
	RUELLIA BRITTONIANA BRITISH RUELLIA

ACCENTS

	AGAVE DESMETTIANA SMOOTH AGAVE
	DASYLIION AGROTRICHE GREEN DESERT SPOON
	ECHINOCACTUS GRUSONII GOLDEN BARREL
	EUPHORBIA RIGIDA GOPHER PLANT
	HESPERALOE PARVIFLORA RED YUCCA
	MUHLENBERGIA CAPILLARIS REGAL LILT

GROUNDCOVER

	ABRONNIA WILLOSA SAND VERBENA
	ACACIA REDOLENS DESERT CARPET
	CHRYSACTINIA MEXICANA DAMIANITA
	LANTANA MONTEVIDENSIS PURPLE LANTANA
	LANTANA NEW GOLD NEW GOLD LANTANA
	RUELLIA BRITTONIANA KATIE RUELLIA
	DECOMPOSED GRANITE 3/4" SCREENED 2" MIN. DEPTH

PRELIMINARY LANDSCAPE NOTES

PLANTING
 THE SITE WILL BE LANDSCAPED IN ACCORDANCE WITH THE CITY OF PEORIA STANDARDS. ALL TREES AND SHRUBS ARE TO BE STAKED AND PLANTED IN ACCORDANCE WITH THE ARIZONA NURSERY ASSOCIATION PUBLISHED STANDARDS.

SIZES OF TREES AND SHRUBS WILL CORRESPOND WITH REQUIREMENTS SET BY THE CITY OF PEORIA. ALL PLANTING AREAS WILL RECEIVE A 2" DEPTH OF DECOMPOSED GRANITE AND SHALL BE TREATED WITH PRE-EMERGENT HERBICIDE.

IRRIGATION
 THE IRRIGATION SYSTEM WILL CONSIST OF DRIP EMITTERS AND PRESSURE REGULATORS CONNECTED TO AUTOMATIC VALVES AND WILL BE TIED INTO AUTOMATIC CONTROLLERS AS REQUIRED. THE IRRIGATION SYSTEM SHALL PROVIDE 100% COVERAGE.

GRADING
 ALL EARTHWORK WILL BE DONE SO THAT ALL MOISTURE DRAINS OFF AND AWAY FROM SIDEWALKS AND STRUCTURES. THE MAJORITY OF ONSITE DRAINAGE WILL DRAIN INTO THE RETENTION BASINS LOCATED ON SITE.

LANDSCAPE MINIMUM REQUIREMENTS
 SEE CHART TO THE LEFT OF DRAWING.

'CONCEPTUAL'
 PRELIMINARY - NOT FOR CONSTRUCTION





OLIVE CROSSROADS

Planned Area Development

**PRELIMINARY SIGNAGE PLAN
EXHIBIT 11**

SIGN L1 PRIMARY MONUMENT SIGN

SCOPE OF WORK:

48 sq.ft.

SCALE: 1/2" = 1'-0"

MANUFACTURE AND INSTALL TWO (2) INTERNALLY ILLUMINATED MONUMENT SIGN

CONSTRUCTION:

- ALUMINUM ANGLE FRAMED STRUCTURE SKINNED WITH .090" ALUMINUM AND .125" ROUTED 2" REVERSE PAN TENANT PANELS TEXTURED AND PAINTED TO MATCH BUILDING
- 1/2" ROUTED PUSH-THRU CLEAR ACRYLIC LETTERS WITH FIRST SURFACE APPLIED 3M TRANSLUCENT VINYL, LOGO BACKED UP WITH 3/16" WHITE ACRYLIC
- BASE STONE TO MATCH BUILDING MATERIALS

ILLUMINATION:

- CWHO FLUORESCENT LAMPS SPACED AS NECESSARY FOR AMPLE ILLUMINATION WITH BALLASTS MOUNTED INTERNALLY

INSTALLATION:

- ON ASA APPROVED PIPE AND FOOTING AT CUSTOMER SPECIFIED LOCATION

MATERIALS	
	FIBER CEMENT PANELING ALLURA-MAPLE
	WEATHERBOARD DE6222
	PAINTED TO MATCH KYNAR FINISH - CHAMPAGNE BY PPG
	CMU SMOOTH FACE MESA STONE BUFF-SUPERLITE



BOOTZ & DUKE Signs

4028 W. Whitton Ave. - Phoenix, AZ - 85019

P: (602) 272-9356 F: (602) 272-4608

www.bootzandduke.com

Customer: Fry's Marketplace - 98

Address: SWC 83rd Ave. & Olive Ave. Peoria, AZ

Salesman: Andy Gibson

Designer: J Frasher

Design # 162147-11

Date: 11-16-16

Revision: [11]~ 1-23-16

Page: 1 of 7

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NOTE: ALL SIGNS MANUFACTURED BY BOOTZ AND DUKE SIGNS ARE 120 VOLT ANY OTHER VOLTAGE REQUIREMENTS MUST BE IN WRITING.



SIGN L2 PRIMARY MONUMENT WITH GAS STATION SIGN

SCOPE OF WORK:

48 sq.ft. SCALE: 1/2" = 1'-0"

MANUFACTURE AND INSTALL TWO (2) INTERNALLY ILLUMINATED MONUMENT SIGN

CONSTRUCTION:

- ALUMINUM ANGLE FRAMED STRUCTURE SKINNED WITH .090" ALUMINUM AND .125" ROUTED 2" REVERSE PAN TENANT PANELS TEXTURED AND PAINTED TO MATCH BUILDING
- 1/2" ROUTED PUSH-THRU CLEAR ACRYLIC LETTERS WITH FIRST SURFACE APPLIED 3M TRANSLUCENT VINYL, LOGO BACKED UP WITH 3/16" WHITE ACRYLIC
- BASE STONE TO MATCH BUILDING MATERIALS

ILLUMINATION:

- CWHO FLUORESCENT LAMPS SPACED AS NECESSARY FOR AMPLE ILLUMINATION WITH BALLASTS MOUNTED INTERNALLY

FUEL PRICING:

- DAKTRONICS FUELITE DISPLAYS FL-3000-12-R/G-DI

INSTALLATION:

- ON ASA APPROVED PIPE AND FOOTING AT CUSTOMER SPECIFIED LOCATION

MATERIALS	
	FIBER CEMENT PANELING ALLURA-MAPLE
	WEATHERBOARD DE6222
	PAINTED TO MATCH KYNAR FINISH - CHAMPAGNE BY PPG
	CMU SMOOTH FACE MESA STONE BUFF-SUPERLITE



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SIGN M GAS STATION SIGN

SCOPE OF WORK: SCALE: 1/2" = 1'-0"

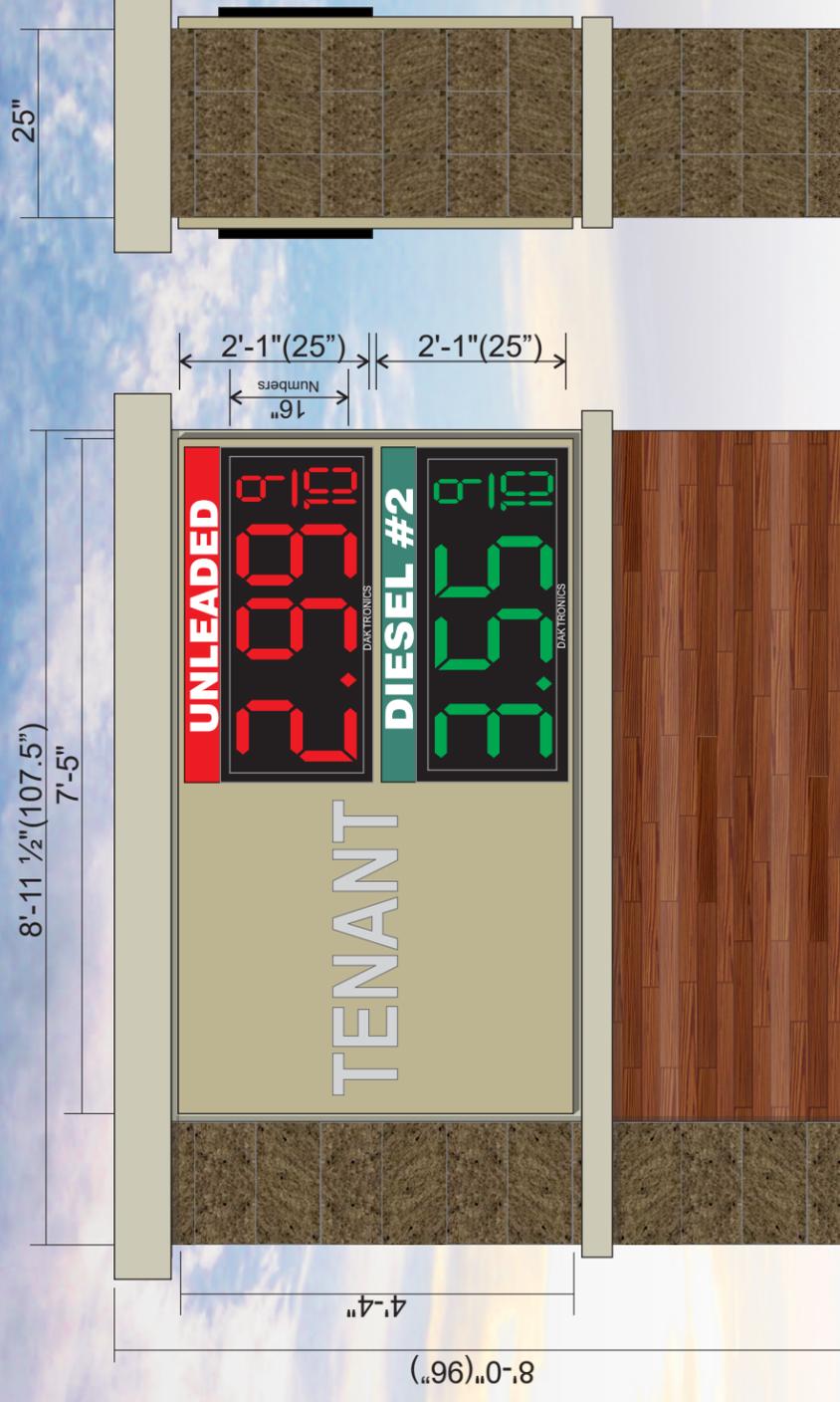
- 32 sq. ft.
- MANUFACTURE AND INSTALL ONE (1) INTERNALLY ILLUMINATED MONUMENT SIGN
- CONSTRUCTION:
 - ALUMINUM ANGLE FRAMED STRUCTURE SKINNED WITH .090" ALUMINUM AND .125" ROUTED 2" REVERSE PAN TENANT PANELS TEXTURED AND PAINTED TO MATCH BUILDING
 - 1/2" ROUTED PUSH-THRU CLEAR ACRYLIC LETTERS WITH FIRST SURFACE APPLIED 3M TRANSLUCENT VINYL, LOGO BACKED UP WITH 3/16" WHITE ACRYLIC
 - BASE STONE TO MATCH BUILDING MATERIALS

- ILLUMINATION:
 - CWHO FLUORESCENT LAMPS SPACED AS NECESSARY FOR AMPLE ILLUMINATION WITH BALLASTS MOUNTED INTERNALLY
- FUEL PRICING:
 - DAKTRONICS FUELITE DISPLAYS FL-3000-16-R/G-DI

- INSTALLATION:
 - ON ASA APPROVED PIPE AND FOOTING AT CUSTOMER SPECIFIED LOCATION

MATERIALS	
	FIBER CEMENT PANELING ALLURA-MAPLE
	WEATHERBOARD DE622
	PAINTED TO MATCH KYNAR FINISH - CHAMPAGNE BY PPG
	CMU SMOOTH FACE MESA STONE BUFF-SUPERLITE

SQUARE FOOTAGE	
FRY'S PANEL	16
FUEL PRICING	16
TOTAL	32 SQ. FT.



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SIGN N PRIMARY MONUMENT SIGN

SCOPE OF WORK: SCALE: 1/2" = 1'-0"

48 sq. ft.

MANUFACTURE AND INSTALL TWO (2) INTERNALLY ILLUMINATED MONUMENT SIGNS

CONSTRUCTION:

- ALUMINUM ANGLE FRAMED STRUCTURE SKINNED WITH .090" ALUMINUM AND .125" ROUTED, 2" REVERSE PAN TENANT PANELS TEXTURED AND PAINTED TO MATCH BUILDING
- BASE STONE TO MATCH BUILDING MATERIALS

ILLUMINATION:

- CWHO FLUORESCENT LAMPS SPACED AS NECESSARY FOR AMPLE ILLUMINATION WITH BALLASTS MOUNTED INTERNALLY

INSTALLATION:

- ON ASA APPROVED PIPE AND FOOTING AT CUSTOMER SPECIFIED LOCATION

MATERIALS	
	FIBER CEMENT PANELING ALLURA-MAPLE
	WEATHERBOARD DE6222
	PAINTED TO MATCH KYNAR FINISH - CHAMPAGNE BY PPG
	CMU SMOOTH FACE MESA STONE BUFF-SUPERLITE



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Page: 4 of 7

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SIGN MINOR MONUMENT SIGN

SCOPE OF WORK: SCALE: 1/2" = 1'-0"

48 sq.ft.

MANUFACTURE AND INSTALL TWO (2) INTERNALLY ILLUMINATED MONUMENT SIGN

CONSTRUCTION:

- ALUMINUM ANGLE FRAMED STRUCTURE SKINNED WITH .090" ALUMINUM AND .125" ROUTED, 2" REVERSE PAN TENANT PANELS TEXTURED AND PAINTED TO MATCH BUILDING
- BASE STONE TO MATCH BUILDING MATERIALS

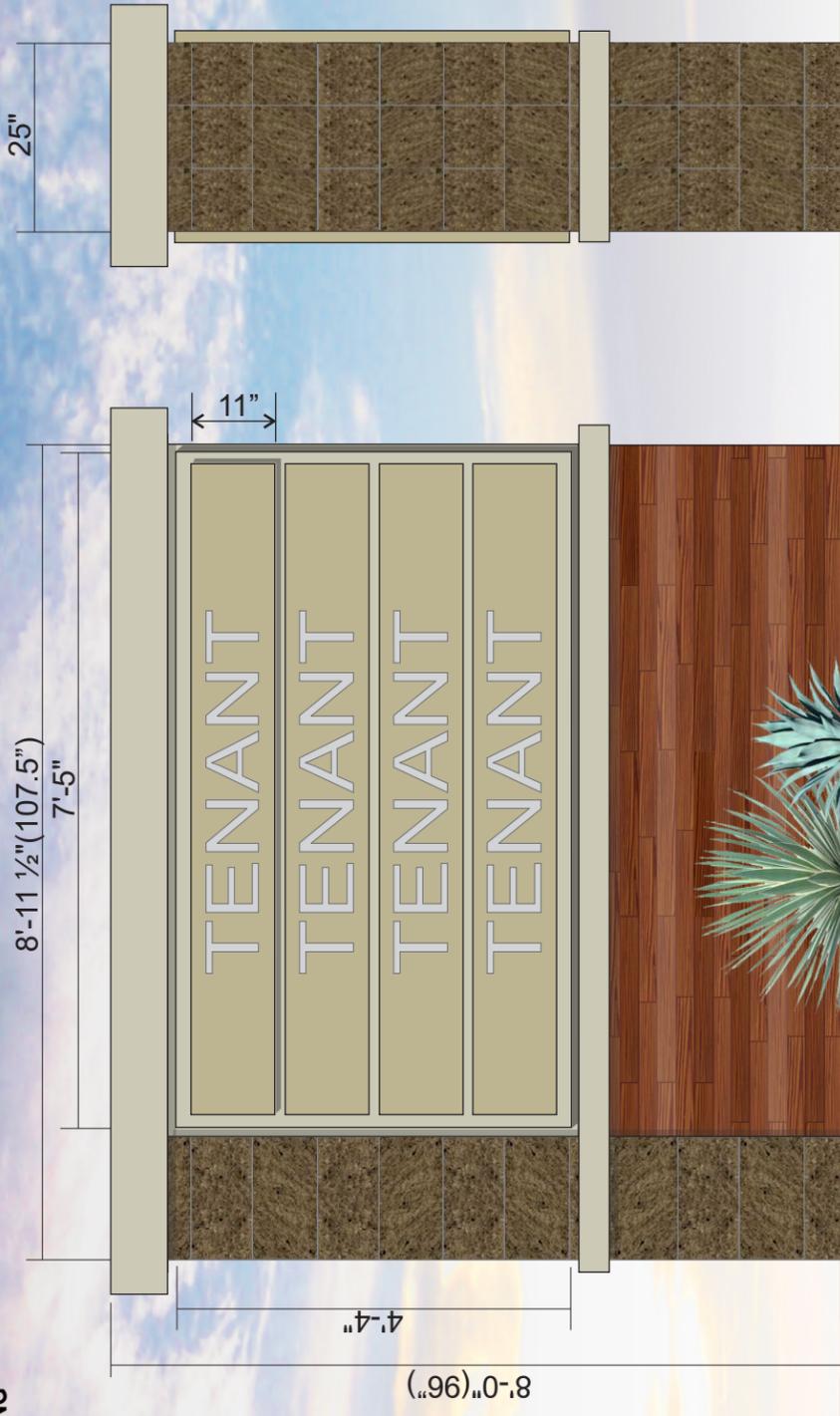
ILLUMINATION:

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INSTALLATION:

- ON ASA APPROVED PIPE AND FOOTING AT CUSTOMER SPECIFIED LOCATION

MATERIALS	
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PRELIMINARY SITE PLAN

APN: 142-34-004B
SWC N. 83RD AVENUE & W. OLIVE AVENUE
PEORIA, ARIZONA

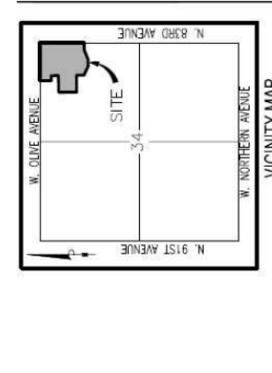
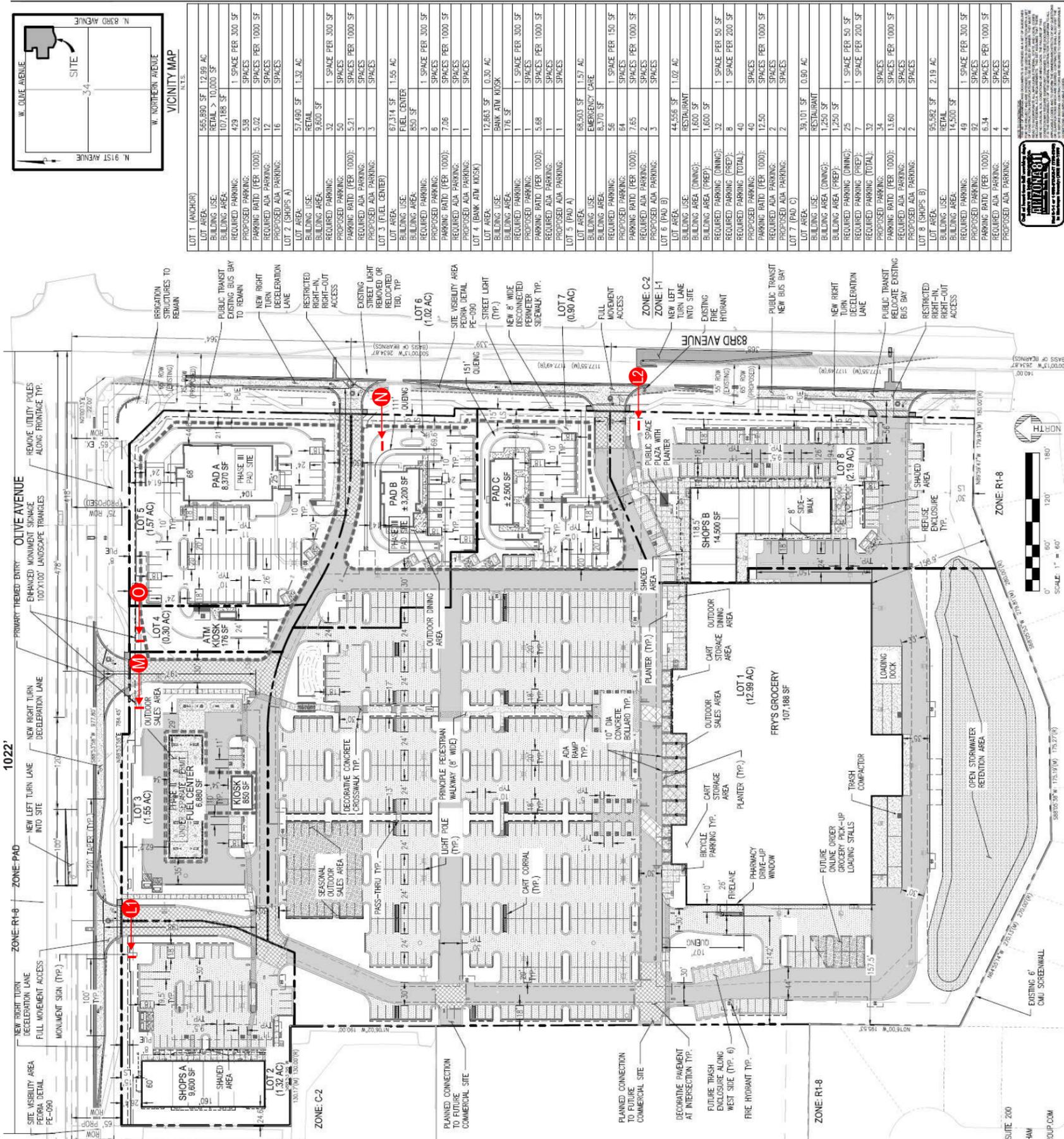
- NOTES**
- ALL LANDSCAPE AREAS SHALL BE SUPPORTED BY AN EXISTING OR NEW CONCRETE SLAB ON GRADE.
 - SITE LIGHTING SHALL BE FULLY SHIELDED AND MEET PEORIA'S DARK SKY ORDINANCE. MAXIMUM FULCRUM HEIGHT SHALL BE 25'.
 - ALL 15' LONG PARKING SPACES SHALL HAVE A "P" OVERHANG. WHERE SUCH OVERHANGS ARE ADJACENT TO A WALKWAY, A PEORIA CITY PERMIT SHALL BE OBTAINED.
 - ALL SIGNS BY SEPARATE PERMIT. SIGNS PERMITTED ON THIS PLAN ARE FOR INFORMATIONAL PURPOSES ONLY.
 - TRASH RECEPTACLES WILL BE LOCATED AT THE REAR OF THE BUILDING. TRASH RECEPTACLES WILL BE COLLECTED ON A REGULAR BASIS BY THE WASTE ATTENDANT AND DEPOSITED IN THE MAIN TRASH COLLECTION AREA FOR THE CROCKERY STORE.
 - THIS PROJECT SHALL INCLUDE SEPARATE TRASH LOCK OR TRASH COMPACTOR IN ACCORDANCE WITH SECTION 17.07 OF THE PEORIA CITY CODE.

- LEGEND**
- NEW PROPERTY LINE
 - NEW LOT LINE
 - NEW LANDSCAPE EASEMENT LINE
 - NEW UTILITY EASEMENT LINE
 - NEW BUILDING
 - NEW CURB AND GUTTER
 - NEW HEAVY DUTY PAVEMENT
 - NEW LIGHT DUTY PAVEMENT

NEW SIDEWALK, CURB AND GUTTER (UNDER SEPARATE PERMIT)

FUTURE COMMERCIAL DEVELOPMENT

- SPECIAL NOTES**
- FIRE APPLICABLE ACCESS ROADS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT. THE MINIMUM STANDARDS SHALL COMPLY WITH SECTION 803.1 AND 803.2 OF THE INTERNATIONAL FIRE CODE (2012 EDITION) WITH CITY OF PEORIA AMENDMENTS.
 - KEY BOXES ARE TO BE INSTALLED ON ALL SIDES OF A STRUCTURE WHERE THERE ARE ACCESS DOORS. A FULL SET OF KEYS TO OPEN ALL AREAS INSIDE AND OUTSIDE THE STRUCTURE SHALL BE KEPT IN THE KEY BOX. KEY BOXES ARE TO BE LOCATED NO HIGHER THAN 60 INCHES ABOVE FINISHED GRADE.



VICINITY MAP

N. 83RD AVENUE

W. OLIVE AVENUE

W. NORTHERN AVENUE

N. 91ST AVENUE

SITE

LOT AREA	RETAIL	SPACES PER 1000 SF	SPACES
LOT 1 (ANCHOR)	555,890 SF	12.99 AC	1 SPACE PER 300 SF
LOT 2 (SHOPS A)	107,188 SF	1.32 AC	1 SPACE PER 300 SF
LOT 3 (FUEL CENTER)	67,314 SF	1.50 AC	1 SPACE PER 300 SF
LOT 4 (BANK ATM KIOSK)	12,863 SF	0.30 AC	1 SPACE PER 300 SF
LOT 5 (PAD A)	88,503 SF	1.57 AC	1 SPACE PER 300 SF
LOT 6 (PAD B)	44,558 SF	1.02 AC	1 SPACE PER 300 SF
LOT 7 (PAD C)	39,101 SF	0.90 AC	1 SPACE PER 300 SF
LOT 8 (SHOPS B)	95,582 SF	2.19 AC	1 SPACE PER 300 SF

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OLIVE CROSSROADS

Planned Area Development

**LINE OF SIGHT EXHIBIT
EXHIBIT 12**



OLIVE CROSSROADS

Planned Area Development

**SOUTHERN LANDSCAPE BUFFER AND SETBACK EXHIBIT
EXHIBIT 13**

