

# Townley Park

## Planned Area Development Standards and Guidelines Report

A Gated Single-Family Residential Community  
Southwest Corner of 89<sup>th</sup> Avenue & Olive Avenue  
Peoria, Arizona



Development  
Plan Narrative  
P16-0005  
Z16-0002

Submitted to:  
City of Peoria  
Planning and Community  
Development  
9875 N. 85<sup>th</sup> Avenue  
Peoria, AZ 85382

Submitted: February 2016  
Revised: April 2016  
Revised: June 2016  
Revised: August 18 2016

PLANNED AREA DEVELOPMENT  
APPROVAL

P/Z Commission Date 10/20/2016  
City Council Approval Date 4/22/2016

  
Planner

Effective 12/27/2016

# Townley Park

## Planned Area Development Standards and Guidelines Report

**A Gated Single-Family Residential Community  
Southwest Corner of 89<sup>th</sup> Avenue & Olive Avenue  
Peoria, Arizona**



**Development  
Plan Narrative  
P16-0005  
Z16-0002**

**Submitted to:  
City of Peoria  
Planning and Community  
Development  
9875 N. 85<sup>th</sup> Avenue  
Peoria, AZ 85382**

**Submitted: February 2016  
Revised: April 2016  
Revised: June 2016  
Revised: August 18 2016**

**PROJECT TEAM**

**DEVELOPER**

GARRETT-WALKER HOMES



**LAND USE ATTORNEY**

BERGIN, FRAKES, SMALLEY & OBERHOLTZER, PLLC

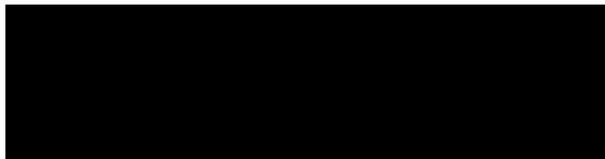


**B | F | S | O**

**BERGIN, FRAKES, SMALLEY & OBERHOLTZER**

**ENGINEERING, PLANNING AND LANDSCAPE ARCHITECTURE**

EPS GROUP, INC.



# Table of Contents

- I. Introduction .....4
- II. Development Overview & Request .....4
- III. PAD Request .....5
- IV. PAD Regulations.....5
- V. Legal Description of Property and Parcels .....6
- VI. Preliminary Plat Development Plan.....6
- VII. Project Phasing and Development Schedule.....6
- VIII. Permitted, Conditional and Accessory Uses.....7
- IX. PAD Development Standards and Guidelines .....8
- X. Circulation.....12
- XI. Residential Architecture.....12
- XII. Project Signage Standards .....13
- XIII. Slope Analysis .....13
- XIV. Preliminary Open Space Plan and Landscape Standards .....14
- XV. Maintenance of Streets and Common Areas .....14
- XVI. Infrastructure/Utilities .....14
- XVII. Summary.....15

## I. Introduction

The name is recently new to Phoenix metropolitan area, but the people behind Garrett-Walker Homes (Garrett-Walker) have been locally building homes for over 25 years. These home building professionals have nearly 100 years of combined experience in building quality homes throughout the state. The Garrett-Walker team members have been building homes in Arizona with an emphasis on family friendly floor plans, value and quality construction since the 1970's. This tradition continues today at Garrett-Walker Homes. Garrett-Walker Homes is a local, Arizona based company that values its contribution to support community growth and development of the local economy in the City of Peoria.

## II. Development Overview & Request

The City of Peoria has number of high quality, residential developments. As the City grows, the variety within the available housing options will continue to grow. While the City has number of residential communities at the limits of the City's boundary, there are a limited number of small infill developments that offer traditional single-family detached homes. The purpose of this application, submitted on behalf of Garrett-Walker, is to expand housing opportunities for residents in an established and mature area of the City where resources and infrastructure are in place to facilitate orderly and efficient growth.

Townley Park is an infill property consisting of approximately 10.1 gross acres at the southwest corner of 89<sup>th</sup> Avenue and Olive Avenue in the City of Peoria. Garrett-Walker desires to develop a gated residential community consisting of forty (40) single-family detached residential lots. To facilitate the development of the property, this application consists of two requests. The first request is for a Rezoning from the current zoning designation of Agricultural (AG) to Planned Area Development District (PAD). Concurrent with the PAD Rezoning, the second request is for review and approval of a Preliminary Plat and Preliminary Landscape Open Space Plan. The effect of these entitlement requests will initiate a residential development plan for 40 single-family residential lots on a small undeveloped infill parcel that is surrounded by previously-developed property. Townley Park has been designed to be compatible with the surrounding area. An Aerial Location Map highlighting the project site and surrounding area is enclosed as **Exhibit 1**.

Project Data	
<b>A.P.N.</b>	142-35-003E
<b>Current Land Use</b>	Undeveloped / Agricultural / Residential Home
<b>Existing General Plan Land Use Designation</b>	Low Density Residential 2.0-5.0 du/ac, target density 3.0 du/ac
<b>Current Zoning District</b>	Agricultural (AG)
<b>Proposed Zoning District</b>	Planned Area Development (PAD)
<b>Gross Site Area</b>	10.1 Acres
<b>Net Site Area</b>	8.9 Acres
<b>Total No. of Lots</b>	40
<b>Residential Density</b>	3.96 du/ac. (gross)
<b>Council District</b>	Pine, Carlo Leone

### III. PAD Request

In accordance to the City of Peoria's Zoning Ordinance, the PAD district is intended to provide an alternative zoning district to the conventional zoning and development processes in the City in order that within this designated District the following goals must be achieved:

(City of Peoria Zoning Ordinance, Article 14-33-1)

- to enhance the City's development growth in order that the public health, safety, and general welfare be enhanced as Peoria increasingly urbanizes;
- to encourage innovations in residential, commercial, and industrial development so that greater opportunities for better housing, recreation, shopping and employment, may extend to all citizens and residents of Peoria;
- to reflect changes in the technology of land development;
- to encourage a more creative approach in the utilization of land in order to accomplish a more efficient, aesthetic, and desirable development which may be characterized by special features of the geography, topography, size or shape of a particular property; and
- to provide a compatible and stable developed environment, in harmony with that of the surrounding area.

The Townley Park residential development meets and achieves all the above goals in for a PAD district designation as outlined in this application request.

### IV. PAD Regulations

The City of Peoria's Zoning Ordinance requires that all Planned Area Developments shall be between 10 acres and 600 acres in size. As previously noted, the overall gross site area is approximately 10.1 acres, which is slightly above the 10-acre requirement. The Townley Park property was part of a PAD rezoning application in 2008 to facilitate the development of a 224 unit multifamily project on 10.1 acres (Z07-07). Although the case was not processed to a conclusion and was withdrawn, the same 10.1 gross acres that is the subject of this request were processed as a PAD in that case. As such, we hope that the City finds that a waiver is unnecessary. However, were a waiver required, we believe such waiver would be in the public interest and meets one or more of the following conditions:

- a. **Unusual physical features of the property itself or of the surrounding area are such that development under the standard provisions of this Ordinance would not be appropriate in order to conserve a physical or terrain feature of importance to the neighborhood or community.**
- b. The property is adjacent to or across the street or alley from property which has been developed under the provisions of this section and will contribute to the amenities of the area.

*c. The use of the P.A.D. concept will encourage the use of otherwise undevelopable property, particularly in the case of small undeveloped parcels surrounded or partially surrounded by developed property.*

*d. The property is located within the Infill Incentive District.*

The bolded sections above serve to justify a waiver for the Townley Park PAD, as well as the 89<sup>th</sup> Avenue Capital Improvement Project (EN-00472) which directly affects the net acreage of the site with the dedication of 30 feet of right-of-way along 89<sup>th</sup> Avenue. The use of the PAD will enable the applicant to develop this small project as an intimate, gated community that is surrounded by existing development. By deviating from the conventional single-family standards, the PAD tool will facilitate a project that has self-contained amenities and streets, and will provide for new single-family development consistent with the single-family character of the immediate area, and as contemplated in the General Plan- which the current AG zoning does not reflect. Further, although the Infill Incentive District is no longer available for use, the District was utilized in the approval of the 91<sup>st</sup> and Bulter PAD (Z06-08) that borders this property to the south (now known as "Crosspointe"). This Property has many of the same infill characteristics that justify the use of the PAD. As highlighted in ***italic bold*** above, Townley Park, meets three (3) out of four (4) applicable conditions for the 10-acre minimum requirement to be waived- where only one would be required. If this development were to be defined by the net site area of 8.9 acres, it would also be affected by the additional right-of-way dedication from the adjacent 89<sup>th</sup> Avenue Capital Improvement Project (EN-00472).

## **V. Legal Description of Property and Parcels**

The property is a portion of Northwest Quarter of the Northwest Quarter of Section 34, Township 3 North, Range 1 East, Gila and Salt River Meridian, Maricopa County, Arizona, and is identified as Maricopa County Tax Assessor Parcel Number (APN) 142-35-003E, and a Legal Description and Parcel Map are included as **Exhibit 2**.

## **VI. Preliminary Plat Development Plan**

This property has remained underutilized and underdeveloped for many years while the area surrounding the property is well developed. The enclosed Preliminary Plat Development Plan illustrates how the residential community has been designed to minimize impacts from the existing commercial development to the west and to harmonize with existing residential development to the south and east.

As previously outlined, the proposed development plans by Garrett-Walker consists of forty (40) single-family detached residential lots, which will be a typical lot size of 45'x115', 5,175 square feet. The development plan incorporates a rectangular street and lot design layout to work efficiently and to provide compatibility to the surrounding area. A pedestrian oriented neighborhood amenity has been centrally located within the community to attract people and foster social interaction among residents. A secondary amenity with a play turf area is provided in the southeast corner. The Preliminary Plat Development Plan is included as **Exhibit 3**.

## **VII. Project Phasing and Development Schedule**

Townley Park is proposed to be developed and built in one (1) phase. Garrett-Walker Homes expects to begin construction in early 2017 dependent upon timeframes associated with the

final plat process and residential market conditions.

## **VIII. Permitted, Conditional and Accessory Uses**

Permitted, Conditional and Accessory Use shall be in accordance with City of Peoria Zoning Ordinance Article 14-5, except as modified herein.

### **14-5-2 Permitted Principal Uses**

- A. One detached single-family dwelling per lot (Ord. No. 93-12).
- B. Group Homes, in accordance with provisions of Article 14-3, General Provisions Section 14-3-12, "Group Homes, Day Care Group Homes, Group Care Facilities and Community Residential Setting Facilities," Subsection 14-3-12(A). (Ord. No. 02-85)
- C. Churches, synagogues, temples, chapels, or similar places of worship, and related facilities, subject to review and approval of vehicular access by the City Engineer. (Ord. No. 02-19)
- D. Public utility buildings, uses, structures, equipment and storm water retention areas; provided that repair or storage facilities in connection there with are expressly prohibited. (Ord. No. 04-207)

### **14-5-3 Permitted Conditional Uses**

- A. Day Care Group Homes with five (5) or more children, in accordance with provision of Article 14-3, General Provision, Section 14-3-12, "Group Homes, Day Care Group Homes, Group Care Facilities, and Community Residential Setting Facilities," subsection 14-3-12 (B), "Day Care Group Homes" and upon a finding by the Planning and Zoning Commission, that such homes will be operated in a manner that is compatible with and not detrimental to, adjacent properties or the neighborhood in general. (Ord. No. 02-85)
- B. Group Care Facility or Community Residential Setting Facility in accordance with provision of Article 14-3, General Provision, Section 14-3-12, "Group Homes, Day Care Group Homes, Group Care Facilities, and Community Residential Setting Facilities," subsection 14-3-12 (C) "Group Care Facilities and Community Residential Setting Facilities. (Ord. No. 02-85)

### **14-5-4 Permitted Accessory Uses**

- A. Any accessory use customarily incidental to a permitted principal use.
- B. Off-street parking serving a permitted principal use, in accordance with Article 14-23.
- C. Private garage or carport for storage or parking of vehicles.

## **IX. PAD Development Standards and Guidelines**

Townley Park has been carefully designed to ensure compatibility with the surrounding area. The proposed development design makes excellent use of the infill property. The proposed PAD Development Standards and Guidelines accommodate a single-family detached residential

product that needs to fit the unique site parameters of a small infill site. The PAD Development Standards and Guidelines are listed and summarized below.

<b>Development Standards</b>	
<b>Residential Density (gross)</b>	3.96 du/ac
<b>Minimum Lot Area (sq ft)</b>	5,000
<b>Minimum Lot Size (ft.)</b>	
Width	45
Depth	110
<b>Maximum Lot Coverage (%)</b>	50%
<b>Maximum Height (ft) / Stories</b>	30' / 2-Stories <sup>1</sup>
<b>Minimum Front Setback (ft)</b>	
Side-entry garage	10
Livable Area	10
Front Facing Garage	20
<b>Minimum Side Yard Setbacks (ft)</b>	5 & 5
<b>Minimum Rear Setback (ft)</b>	15'/20' <sup>2</sup>
<b>Perimeter Landscape Setbacks (ft)</b>	
Olive Avenue	10
89 <sup>th</sup> Avenue	8
Adjacent to Commercial <sup>3</sup>	20 average; 10' min.
<b>Minimum Amount of Useable Open Space of Gross Project Area (%)</b>	9

<sup>1</sup>Lots with a finished floor elevation difference greater than 1'6" compared to the adjacent lot at the rear will be restricted to single story. Currently, lots 18 through 25 will be restricted to single story, this may be amended based on final grades on the construction documents.

<sup>2</sup>Rear setback of 20' will be required for two story homes along the south boundary (lots 16-25).

<sup>3</sup>The landscape setback does not apply adjacent to Lot No. 25 (southwest corner of the site).

**A. Residential Density**

Residential Density is 3.96 du/ac and is based upon an approximate gross site area of 10.1 acres and 40 residential lots.

**B. Minimum Lot Area.**

Minimum Lot Area is 5,000 square feet.

**C. Minimum Lot Size.**

Minimum lot width is 45' and minimum lot depth is 110'. These minimum sizes account for when the street and lot design limits the typical lot size of 45'x115'.

**D. Lot Coverage.**

The Lot Coverage for the development shall be a maximum of 50%. As previously noted, Garrett-Walker Homes is offering eight (8) distinct residential standard plans, which exceeds the two (2) minimum standard plan requirement for developments that have between 10 and 49 lots. Not all residential plans are anticipated to reach the maximum 50% lot coverage threshold.

**E. Building Heights**

Building heights shall be a maximum of 30 feet / 2-stories. Lots with a finished floor elevation difference greater than 1'6" compared to the adjacent lot at the rear will be restricted to single story. Currently, lots 18 through 25 will be restricted to single story, this may be amended based on final grades on the construction documents.

**F. Setbacks**

Minimum front setback shall be 10' for side entry garage, 10' for livable area, and 20' for front facing garage. Minimum side yard setbacks shall be 5' & 5' and minimum rear setback shall be 15'.

**G. Perimeter Landscape Setbacks**

Minimum Perimeter Landscape Setbacks along Olive Avenue is 10', and is 8' along 89<sup>th</sup> Avenue. The landscape setback adjacent to the existing commercial development to the west ranges from 16.5' to 25.5' wide. The proposed landscape buffer in combination with the adjacent 50' street provides a buffer ranging from 66.5' to 75.5'. The landscape setback does not apply adjacent to Lot No. 25 (southwest corner of the site).

**H. Minimum Amount of Useable Open Space**

The minimum amount of useable open space is 9% of gross project area for developments with lots less than 10,000 square feet. This site includes approximately 45,698 square feet (1.05 acres) or 10.4% of useable open space, and is based upon gross project area of 10.1 acres.

**I. Roadway Standards**

55' of right-of-way will be dedicated for Olive Avenue (arterial), which has already been improved. 30' of right-of-way will be dedicated for 89<sup>th</sup> Avenue in accordance to CIP Project No. EM-00472. All local streets will be privately maintained and will be constructed in accordance to City of Peoria standards.

**J. Parking**

Parking shall conform to Article 14-23 of the City of Peoria Zoning Ordinance for single-family detached residential development.

**K. Lighting**

Lighting shall conform to City of Peoria Section 14-3-2.F of the City of Peoria Zoning Ordinance. Street Lighting shall conform to City of Peoria Street Lighting Standards for single-family detached residential development

**L. Screening, Fencing and Walls**

Screening, Fencing and Walls shall conform to Section 14-3-5 of the City of Peoria Zoning Ordinance and to the City's Single-Family Detached Residential Design Review Manual.

**M. Enhanced Design Review Standards**

Residential Standard Plans shall conform to City of Peoria Single-Family Detached Residential Design Review Manual, or as outlined in this PAD as more particularly set forth below. Further, as a gated-community with private streets, the proposed development of

Townley Park goes beyond the City's enhancements in the Design Review Manual that will create a quality, intimate and contained infill neighborhood.

The following design enhancements will provide a development compatible with surrounding properties that will meet the principles and guidelines outlined in the City's Design Review Manual.

A. Subdivision Design

1. Lot and Tract design
  - a. No narrow tracts between lots
  - b. Pie shaped lots do not have acute angles less than 45°
  - c. Lot frontages are a minimum of 150' from arterial street intersections
  - d. No lots are centered on a T-intersection to create light glare from automobiles
  - e. No double frontage lots
  - f. No flag lots
2. Crime Prevention through Environmental Design
  - a. Windows and doors are provided on all four sides of homes
  - b. Private entry to subdivision will prevent cut through traffic
  - c. Access to adjacent subdivisions not applicable
  - d. Landscaping will not create blind spots or hiding spots
  - e. Open spaces and recreational areas are visible from nearby homes and local streets
3. Circulation
  - a. Local streets do not exceed 1000'
  - b. Traffic calming measures not applicable
  - c. No four way street intersections provided
  - d. Pedestrian connections via sidewalks provided along all streets
4. Streetscape
  - a. Stamped or colored concrete or accent pavers will be provided at the entry
  - b. A landscape median is provided at the entry
  - c. An entry monument is included
  - d. Trees and enhanced landscape is provided at the primary entry
  - e. Cul-de-sacs are not applicable
  - f. An attached sidewalk is currently developed along the arterial (Olive Ave); the sidewalk along the collector (89<sup>th</sup> Ave) will be developed according to the City's CIP project design drawings.
  - g. The sidewalk along the arterial is existing and does not meander
  - h. To the extent practical utilities and ground mounted equipment will be vaulted or screened from view through landscape and color treatment
  - i. Native vegetation and low water use plants will conform to the Phoenix Active Management Areas Low Water Using Plant List. An efficient water system will be provided
5. Useable Open Space
  - a. 9% useable open space is exceeded, 10.4% is provided
  - b. Useable open space is clearly delineated on the Landscape Master Plan
  - c. Shade trees are provided along pedestrian connections
  - d. Existing sidewalk connections are continued

- B. Thematic Form
  - 1. Walls and Fences
    - a. Pedestrian access provided via sidewalks and trails
    - b. Signage and walls consistent with thematic character
    - c. Perimeter walls are constructed of decorative masonry block and incorporate design mitigations including decorative pilasters, wrought iron, color accents and textural changes. In addition, the wall design is complementary with the subdivision to the south.
    - d. View fencing provided adjacent to open space
    - e. Chain link fences will not be allowed
  - 2. Lighting
    - a. Up lit lighting will be provided at the primary entry
    - b. Street lighting along Olive Avenue, an arterial, shall be screened to minimize glare
    - c. Lighting shall be placed in useable open space to improve visibility and safety
  - 3. Other Thematic Elements
    - a. Not applicable - no drainage crossings
  - 4. Clustered Mailboxes
    - a. Clustered mailboxes are consistent with the thematic color
    - b. Clustered mailboxes are located along the local street a minimum of 100 feet from collector and arterial intersections
- C. Architectural Form
  - 1. Design Profile
    - a. To promote architectural diversity a minimum of two standard plans will be provided, *8 standard plan are proposed*; three elevations per standard plan will be provided, two different roof material types will be provided, *mission's' tile and flat tile are proposed*; a minimum of two different roof styles will be provided, *three roof styles are proposed, Dutch gabled, hipped, and gable*; and three different roof colors will be provided, 15 color schemes are proposed.
    - b. No more than two consecutive lots shall share the same standard plan and elevation.
    - c. To mitigate monotonous building elevations design solutions shall integrate façade articulation, variable building angles, eaves, parapets and the strategic placement of windows and doors will be employed in each elevation.
    - d. Each elevation shall integrate architectural embellishments including recessed windows or window projections, articulated facades and decorative moldings or pilasters to create shadow lines.
    - e. Not more than 60% of any front elevation shall occur on the same plane. A Façade Articulation Exhibit will be provided with the Design Review submittal.
    - f. Roof mounted HVAC equipment shall be prohibited.
  - 2. Materials and Colors
    - a. Townley Park will integrate multiple exterior materials including brick, stone and masonry.
    - b. The development will provide a diversity of roof materials, colors and styles. In accordance with Table 2.
    - c. Hillside lots not applicable.

- d. The use of reflective surfaces is prohibited.
  - e. Exposed chimney flues must be consistent with the architectural character.
3. Garages and Driveways
- a. Driveways shall be 18' in length exclusive of curb and sidewalk.
  - b. Driveways for three car garages shall incorporate alternative paving design elements. No three car garages proposed with the exception of tandem.
  - c. The street view of a side entry garage shall appear as livable by using windows or other design elements. No side entry garages are proposed.
  - d. Front-facing garages shall be offset 4' from the plane of the living area or other principle structure.
  - e. Grouped driveways not applicable.

**N. Accessory Buildings**

Accessory Buildings shall conform to Section 14-3-3.A of the City of Peoria Zoning Ordinance.

**X. Circulation**

The existing circulation system of the area supports the proposed single-family residential development at this location. Primary access into the development is provided from 89th Avenue. Secondary emergency access is located at the northwest corner of the site with access to Olive Avenue. The emergency access will be a minimum of 20' in width and have an all-weather surface to accommodate emergency vehicles. All local streets will be constructed in accordance with the City of Peoria design standards, and privately maintained by the HOA. Arterial and local street cross sections are further detailed on the Preliminary Plat. A Traffic Impact Analysis has been enclosed with this application submittal.

**XI. Residential Architecture**

Building elevations and floor plans are in the preliminary design phase. Final architectural elevations, floor plans and details will be provided for the City's consideration and Design Review action prior to a request for building permits for any of the residential units. Building architecture will be consistent with, or exceed, the City's Residential Architectural Form Guidelines as outlined in the Design Manual.

<b>Standard Plans, Materials and Colors</b>	
	<b>Between 10-49 Lots</b>
<b>Number of Roof Colors Required</b>	Minimum of 3 different roof colors.
<b>Number of Roof Styles Required<sup>1</sup></b>	Minimum of 2 different roof styles.
<b>Number of Roof Material Types Required<sup>2</sup></b>	Minimum of 2 different roof material types.
<b>Number of Standard Plans Required<sup>3</sup></b>	Minimum of 2 standard plans.

<sup>1</sup>Roof styles include, but are not limited to, pitched, hip, flat, gambrel and mansard.

<sup>2</sup>All asphaltic shingles shall be considered one material type. Clay and concrete tiles shall be considered one material type. However, alternating tile types (i.e. flat tile and mission tile) may be considered as different roof material types.

<sup>3</sup>A minimum of three (3) elevations is required per standard plan (20-78-3.II.C.1.a)

Garrett Walker Homes anticipates that the home products in Townley Park will range in size from 1,316 to 3,021 square feet, built on a typical lot size of 5,355 square feet. The project will cater to buyers that include both first time and move-up buyers. Garrett Walker Homes will offer eight standard plans with three elevations each, which far exceeds the minimum of two standard plan requirement for developments that have between 10 and 49 lots that will yield a community that has an emphasis on diversity.

Conceptual elevations are provided in the Appendix as illustrative examples. Final elevations will be determined at the time of construction and are subject to the City's design review process. The following descriptions highlight the various elevations.

'D' elevations are Spanish style with gabled roofs and an angled stucco fascia. Corbel details at the gabled tails and wrought iron crosses at the gable ends add interest. Simple popouts anchor the home at the corners. This elevation will come with an 'S' profile roof tile.

'E' elevations are a Craftsman style with dutch gabled rooflines, board and batten siding and bracket details. Decorative 'Z' shutters are featured on several elevations, A 'Flat' profile 'Shake' roof tile has been chosen for this elevation.

'F' elevations are a Desert Prairie style with hipped roofs and simple, more contemporary stucco pop-out ornamentation. Optional stone half and full columns will be offered. A 'Flat', 'Slate' profile roof tile has been chosen for this elevation.

There will be 15 exterior color schemes from which to choose. Each elevation has a choice of five specific color schemes selected for that particular style. Premium Boral brand of roof tile will be used and each color scheme has its own unique roof tile profile and color selections. This variety in paint and roof tile furthers the diversity of the streetscape. Color schemes are provided in the Appendix.

All homes include a front yard landscape package with an automatic timer, with the option to upgrade. A multitude of other options for homebuyers to personalize their new homes is offered: garage doors and windows, stone/brick veneer, window coverings, driveway finishes and front doors.

## **XII. Project Signage Standards**

Project monument signage for Townley Park is illustrated on the Preliminary Landscape Plans enclosed with this application. An entry monument with signage is proposed at the gated entry at 89<sup>th</sup> Avenue and Townley Avenue to provide a strong sense of arrival into the community. The impressive design monument includes a 6-foot high cmu sign wall of standard vertical score cmu block and community signage that is anchored by split face cmu block columns. The entry monument is further accentuated by decorative columns on each end that feature decorative concrete pots with steel agave sculptures. All proposed monument signage shall be in accordance to Article 14-34 of the City's Zoning Ordinance.

## **XIII. Slope Analysis**

As previously noted, the subject site is former farmland and residential property. The natural

grade and elevation of the property is relatively flat with approximately two feet of fall from the northeast corner to the southwest corner of the site. A slope determination study and analysis for the property is not applicable as the site is less than 10% in slope.

#### **XIV. Preliminary Open Space Plan and Landscape Standards**

Preliminary Open Space - An Illustrative Landscape Open Space Plan has been designed and enclosed for review and approval with this application. Although the property is a relatively small infill parcel, providing a centralized amenity and open space area, easily accessible to all residents, is a critical design element for the development. The centralized open space area will provide residents with an opportunity to interact, socialize and gather as family and friends, creating a greater sense of community and togetherness. Additional useable open space area has been incorporated in the southeast portion of the development to provide further recreational opportunities for community residents. Open space has been designed to accommodate connectivity, facilitate buffers and provide passive and active areas for adults and children that include a tot-lot and ramada amenity area. ***The total open space area includes approximately 1.05 acres, or 10.4% of the gross project area, where only 9% is required.***

Landscape Standards - The Illustrative Landscape Masterplan depicts plant material and ground cover along the Olive Avenue, 89<sup>th</sup> Avenue and within open space tracts. Plant and ground materials include a variety of tree, shrub/accent and ground covers, selected to provide year round color, texture and ease of maintenance. All proposed landscape standards, plant material and ground cover for Townley Park shall be in accordance to Article 14-35 of the City's Zoning Ordinance.

#### **XV. Maintenance of Streets and Common Areas**

A Homeowner's Association (HOA) will be created to own, manage, and maintain all common areas, private streets and open space facilities on a regular and frequent basis. In addition to these tracts, the HOA will assume the maintenance responsibility for landscaping within the public right-of-way. All landscaped tracts, open space and retention areas, and private streets will be maintained by the HOA.

#### **XVI. Infrastructure/Utilities**

This application request will not adversely affect municipal and private facilities and services. Similarly, this PAD request will not have an adverse effect on existing or future public and private open space, recreation, schools or library facilities. The following list identifies public and private services for Townley Park:

<b>Water:</b>	City of Peoria.
<b>Wastewater:</b>	City of Peoria.
<b>Power:</b>	Salt River Project.
<b>Gas:</b>	Southwest Gas.
<b>Solid Waste:</b>	City of Peoria.

**Grading/Drainage/Retention:** Pursuant to City of Peoria Infrastructure Design Guidelines (dated 01/2014).

**Schools:** Peoria Unified School District #1. There is an existing donation agreement with the District that contemplates multi-family housing on this property. In connection with the entitlement process, the Applicant will enter into an updated donation agreement with the District to update the land plan and provide for a per-rooftop donation amount for each single-family home.

**Police:** City of Peoria.

**Fire:** City of Peoria.

## **XVII. Summary**

The PAD Rezoning and Preliminary Plat applications are the next step in the development process to put this site to a contributing use and allow for the development of a gated single-family residential community that complies with the vision, goals and policies of the City's General Plan. The proposed development provides an opportunity for the City to increase compatible single-family detached residential development in the area that is in the best interest of the residents and provides a new and more diverse living space as a benefit to the community. We respectfully request review from the City of Peoria for the requested PAD Rezoning and Preliminary Plat applications. We look forward to working with the City of Peoria on this exciting development.

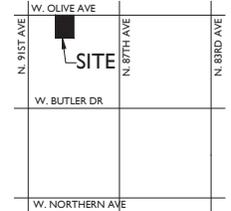
## **APPENDIX EXHIBITS**

- 1.** Aerial Location Map
- 2.** Legal Description & Parcel Map
- 3.** Preliminary Plat
- 4.** Architectural House Elevations
- 5.** Preliminary Landscape Design Package

# EXHIBIT 1



VICINITY MAP  
N.T.S.



PROJECT TEAM

**PROPERTY DEVELOPER:**  
GARRETT-WALKER HOMES  
1838 WEST PARKSIDE LANE, SUITE 200  
PHOENIX, AZ 85027  
TEL: (480) 467-4580  
CONTACT: RICK TAYRIEN

**PLANNER, ENGINEER, AND LANDSCAPE ARCHITECT:**  
EPS GROUP, INC.  
2045 S. VINEYARD, SUITE 101  
MESA, AZ 85210  
TEL: (480) 503-2350  
FAX: (480) 503-2258  
CONTACT: JOAN MCGHEE, PE / DREW HUSETH, AICP

**APPLICANT / ZONING ATTORNEY:**  
BERGIN, FRANKS, SMALLEY & OBERHOLTZER, PLLC  
4455 EAST CAMELBACK ROAD, SUITE A-205  
PHOENIX, AZ 85018  
TEL: (602) 888-7860  
CONTACT: CAROLYN OBERHOLTZER

PROJECT INFORMATION

LOCATION	SWC OLIVE AVE AND 89TH AVE
APN	140-38-0014
GENERAL PLAN	LOW DENSITY RESIDENTIAL 2.0-5.0 DU/AC
EXISTING ZONING	AGRICULTURAL (AG)
PROPOSED ZONING	PLANNED AREA DEVELOPMENT (PAD)
GROSS AREA	10.1 AC
NET AREA	8.9 AC



SWC OLIVE AVE & 89TH AVE

Peoria, AZ

Aerial Location Map

1/28/2016



# EXHIBIT 2



**Exhibit 'A'**  
**Legal Description**  
**Southwest Corner of**  
**89<sup>th</sup> Avenue & Olive Avenue**

Job No. 15-343

January 26, 2016

Commencing at a brass cap in handhole marking the northwest corner of Section 34, Township 3 North, Range 1 East of the Gila and Salt River Meridian, Maricopa County, Arizona, from which point a brass cap in handhole at the north quarter-corner of said Section 34 bears North 89 degrees 23 minutes 25 seconds East, 2641.31 feet;

thence along the north section line of said Section 34 North 89 degrees 23 minutes 25 seconds East, 747.01 feet to the POINT OF BEGINNING;

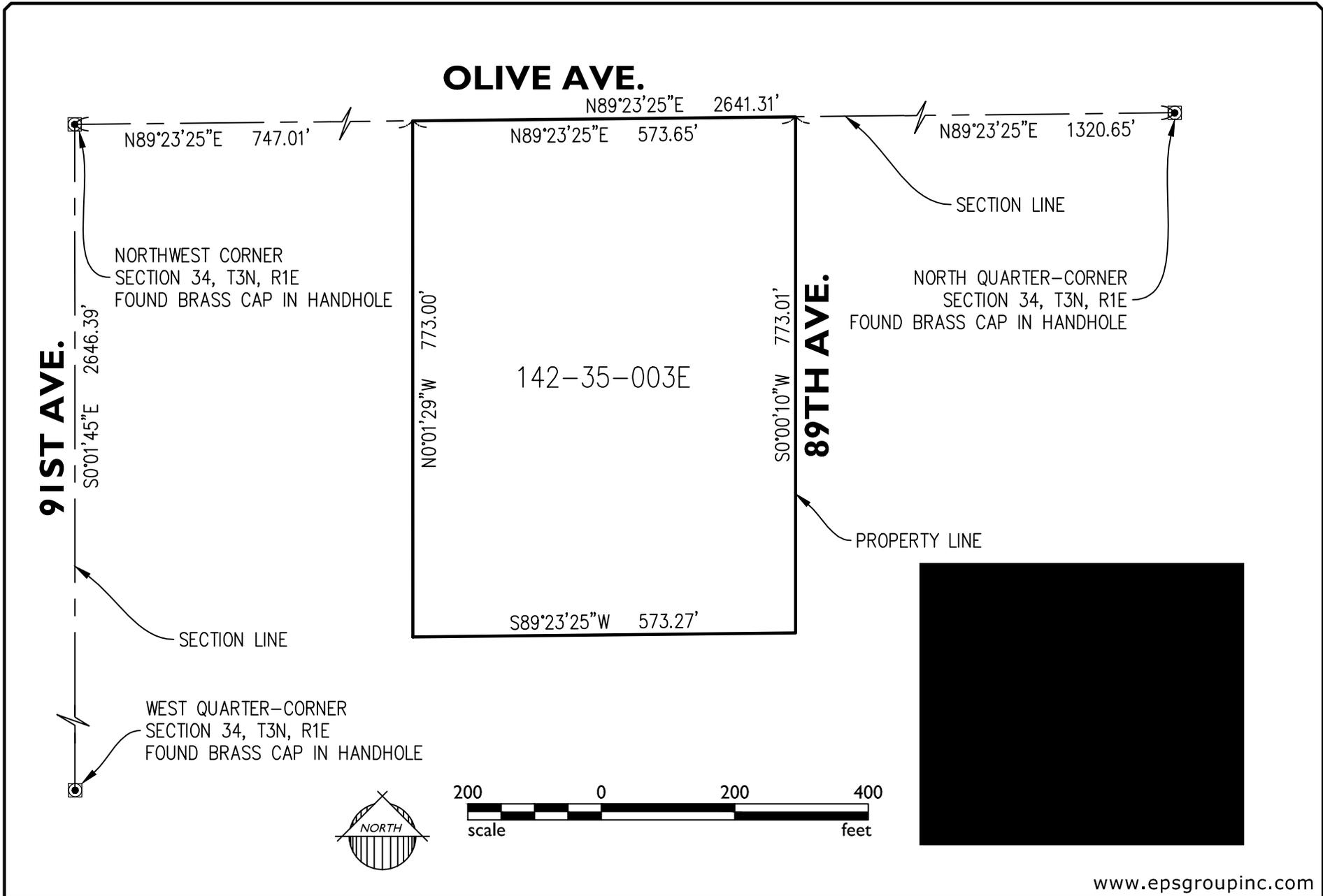
thence continuing along said north section line North 89 degrees 23 minutes 25 seconds East, 573.65 feet;

thence South 0 degrees 00 minutes 10 seconds West, 773.01 feet;

thence South 89 degrees 23 minutes 25 seconds West, 573.27 feet;

thence North 0 degrees 01 minutes 29 seconds West, 773.00 feet to the POINT OF BEGINNING.

Contains 10.1759 acres, more or less.



www.epsgroupinc.com

15-343

SOUTHWEST CORNER OF 89TH AVENUE & OLIVE AVENUE

A PORTION OF THE NORTHWEST QUARTER OF SECTION 34, T3N, R1E

JANUARY 26, 2016



## Maricopa County Parcels



<b>Parcel:</b> 142-35-003E	<b>Report Date:</b> 11/23/2015
<b>Owner:</b> ROUSSEAU PROPERTIES LLLP	<b>Unique Location Characteristics:</b>
<b>Property Address:</b> 8901 W OLIVE AVE PEORIA 85345	<b>Lot Size:</b> 411,366
<b>Local Jurisdiction:</b> PEORIA	<b>Main Living Area:</b>
<b>MCR:</b>	<b>Construction Year:</b>
<b>Subdivision Name:</b>	<b>Improvement Class:</b>
<b>Lot:</b>	<b>Bath Fixtures:</b>
<b>Elementary School:</b> PEORIA USD	<b>Parking:</b>
<b>High School:</b> PEORIA USD	<b>Pool:</b>
<b>2016 FCV:</b> \$281,537	<b>Last Sale Price/Sale / Date:</b>

**Disclaimer:** The data contained in this database is deemed reliable but not guaranteed. This information should be used for informational use only and does not constitute a legal document for the description of these properties. Every effort has been made to insure the accuracy of this data; however, this material may be slightly dated which would have an impact on its accuracy. The Maricopa county Assessor's Office disclaims any responsibility or liability for any direct or indirect damages resulting from the use of this data.

# EXHIBIT 3

15-343

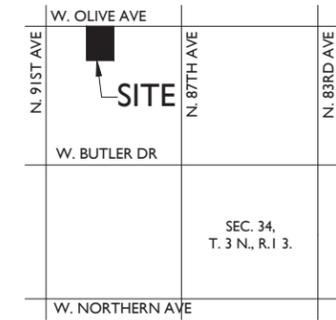
Lot #	Area	Lot #	Area	Lot #	Area
1	5143.08	19	5308.26	37	5175.00
2	5115.59	20	5308.26	38	5175.00
3	5175.00	21	5308.26	39	5175.00
4	5310.00	22	5308.26	40	5277.50
5	5310.00	23	5303.41	TOTAL AREA 219,427.05 SQ. FT.	
6	5310.00	24	5159.95		
7	5168.79	25	5915.62		
8	7341.01	26	5277.50		
9	8712.82	27	5175.00		
10	7829.87	28	5175.00		
11	5259.24	29	5175.00		
12	5256.13	30	5175.00		
13	5234.48	31	5277.50		
14	5212.82	32	5175.00		
15	5191.17	33	5175.00		
16	6762.16	34	5175.00		
17	5206.18	35	5277.50		
18	5241.69	36	5175.00		

# PRELIMINARY PLAT FOR TOWNLEY PARK

A PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION  
34, T.3 N. R.1 E., GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

## VICINITY MAP

N.T.S.



## PROJECT TEAM

**PROPERTY DEVELOPER:**  
GARRETT-WALKER HOMES  
1838 WEST PARKSIDE LANE, SUITE 200  
PHOENIX, AZ 85027  
TEL: (480)-607-6580  
CONTACT: RICK TAYRIEN

**PLANNER, ENGINEER, AND  
LANDSCAPE ARCHITECT:**  
EPS GROUP, INC.  
2045 S. VINEYARD, SUITE 101  
MESA, AZ 85210  
TEL: (480)-503-2250  
FAX: (480)-503-2258  
CONTACT: JOHN MCGHEE, PE

**APPLICANT / ZONING ATTORNEY:**  
BERGIN, FRANKS, SMALLEY & OBERHOLTZER, PLLC  
4455 EAST CAMELBACK ROAD, SUITE A-205  
PHOENIX, AZ 85018  
TEL: (602)-888-7860  
CONTACT: CAROLYN OBERHOLTZER

## PROJECT INFORMATION

LOCATION	SWC OLIVE AVE AND 89TH AVE
APN	142-35-003-E
GENERAL PLAN	LOW DENSITY RESIDENTIAL 2.0-5.0 DU/AC
EXISTING ZONING	AGRICULTURAL (AG)
PROPOSED ZONING	PLANNED AREA DEVELOPMENT (PAD)
GROSS AREA	10.1 AC.
NET AREA	8.9 AC.
(NET AREA IS GROSS AREA LESS OLIVE ROAD & 89TH R / W)	
NO. OF LOTS	40
GROSS DENSITY:	3.96 DU/AC
NET DENSITY:	4.49 DU/AC
USEABLE OPEN SPACE:	1.05 AC (10.4% GROSS AREA)

## GENERAL NOTES

- THIS PLAN IS NOT A CONSTRUCTION DOCUMENT.
- LOT DIMENSIONS ARE APPROXIMATE. FINAL LOT DIMENSIONS SHALL BE PER THE FINAL PLAT.
- ALL ROADS WILL BE CONSTRUCTED TO CITY OF PEORIA MINIMUM STANDARDS AS MODIFIED HEREIN.
- THE HOMEOWNERS' ASSOCIATION WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPE TRACTS.
- THIS DEVELOPMENT WILL PROVIDE FOR INSTALLATION OF REQUIRED STREET LIGHTS.
- DRAINAGE CONCEPTS ARE SHOWN THE PRELIMINARY GRADING PLAN.

## UTILITIES

WATER / SEWER	CITY OF PEORIA
GAS	SOUTHWEST GAS
ELECTRIC	SALT RIVER PROJECT (SRP)
TELEPHONE	CENTURYLINK / COX
CABLE	CENTURYLINK / COX

## BASIS OF BEARING

NORTH LINE OF THE NORTHWEST 1/4 OF SEC. 34, T.3 N., R.1 E., BEARING: N89°23'25"E

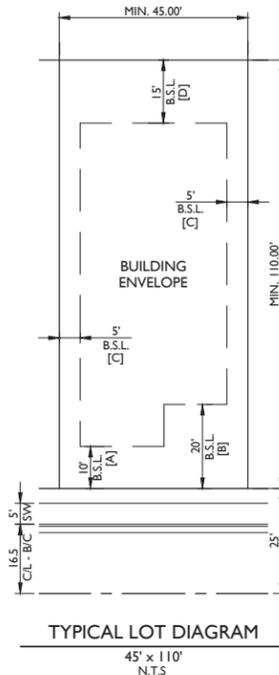
## SHEET INDEX

SHEET ONE	CS01	COVER SHEET
SHEET TWO	PP01	EXISTING CONDITIONS SURVEY
SHEET THREE	PP02	PRELIMINARY PLAT
SHEET THREE	UT01	UTILITY PLAN

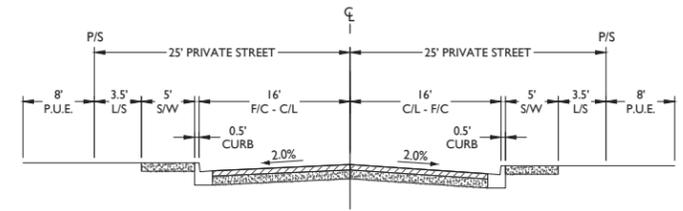
## PAD DEVELOPMENT STANDARDS

(TYPICAL LOT DIAGRAM TO THE LEFT)

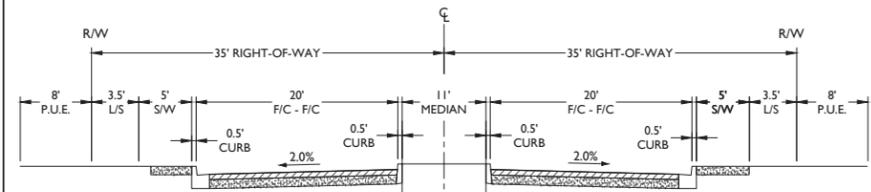
MIN. INDIVIDUAL LOT AREA	5,000 SQ. FT.
MIN. LOT WIDTH	45'
MIN. LOT DEPTH	110'
MAX. BUILDING HEIGHT	30' / 2 - STORIES
MAX. LOT COVERAGE	50%
BUILDING SETBACKS	
FRONT (LIVABLE) [A]	10'
FRONT (SIDE - ENTRY GARAGE) [A]	10'
FRONT (FACING GARAGE) [B]	20'
SIDE YARD [C]	5' & 5' (10' TOTAL)
REAR [D]	15'



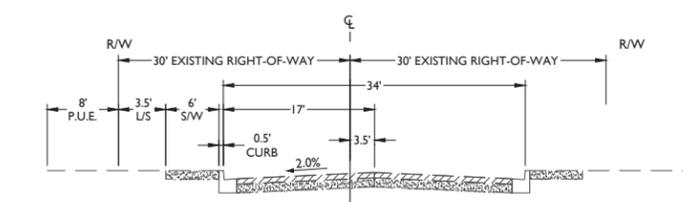
TRACT	USE	AREA (SF)	AREA (AC)
A	LANDSCAPE / USABLE OPEN SPACE / RETENTION	19703	0.45
B	LANDSCAPE	36883	0.85
C	LANDSCAPE	1050	0.02
D	LANDSCAPE	1050	0.02
E	LANDSCAPE / USABLE OPEN SPACE / AMENITY / RETENTION	25995	0.60
TOTAL TRACT AREA		84681 SF	1.94 AC
TOTAL USABLE OPEN SPACE AREA		45698 SF	1.05 AC



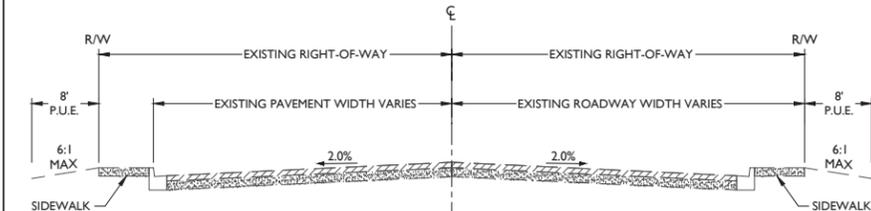
LOCAL PRIVATE STREET  
N.T.S.



ENTRY STREET - TOWNLEY AVE  
N.T.S.



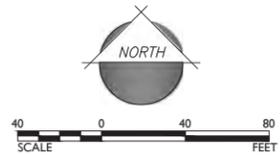
89TH AVE (LOOKING NORTH)  
PER - CIP. PROJECT # EM - 00472  
N.T.S.



W. OLIVE AVE (LOOKING WEST)  
N.T.S.

**SCHEDULE B DOCUMENTS:**

- 4 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS DOCKET 8181, PAGE 24. NO EASEMENT IS DESCRIBED THEREIN.
- 5 AN EASEMENT FOR ROAD OR HIGHWAY AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS 90-379989 OF OFFICIAL RECORDS. AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON. (TO BE ELIMINATED W / 55' R/W DEDICATION)
- 6 A PLAT RECORDED IN BOOK 30, PAGE 57 OF ROAD MAPS, PURPORTING TO SHOW A COUNTY ROADWAY. AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON. (TO BE ELIMINATED W / 55' R/W DEDICATION)
- 7 A PLAT RECORDED IN BOOK 3, PAGE 29 OF ROAD MAPS, PURPORTING TO SHOW A COUNTY ROADWAY. AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON. (TO BE ELIMINATED W / 55' DEDICATION)
- 8 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "DEVELOPER ASSISTANCE AGREEMENT" RECORDED SEPTEMBER 12, 2007 AS 2007-101447S OF OFFICIAL RECORDS. AFFECTS SUBJECT PROPERTY. NO PLOTTABLE COURSES.
- 9 AN EASEMENT FOR SLOPE AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS 2013-0194821 OF OFFICIAL RECORDS. AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON. (TO BE ELIMINATED)



**TOWNLEY PARK**  
PEORIA, AZ  
**EXISTING CONDITIONS SURVEY**

Project: \_\_\_\_\_

Revisions:

FEBRUARY 8, 2016 - 1ST PRE-PLAT SUBMITTAL
MAY 2, 2016 - 2ND PRE-PLAT SUBMITTAL
JUNE 27, 2016 - 3RD PRE-PLAT SUBMITTAL
AUGUST 18, 2016 - 4TH PRE-PLAT SUBMITTAL

Call at least two full working days before starting work.

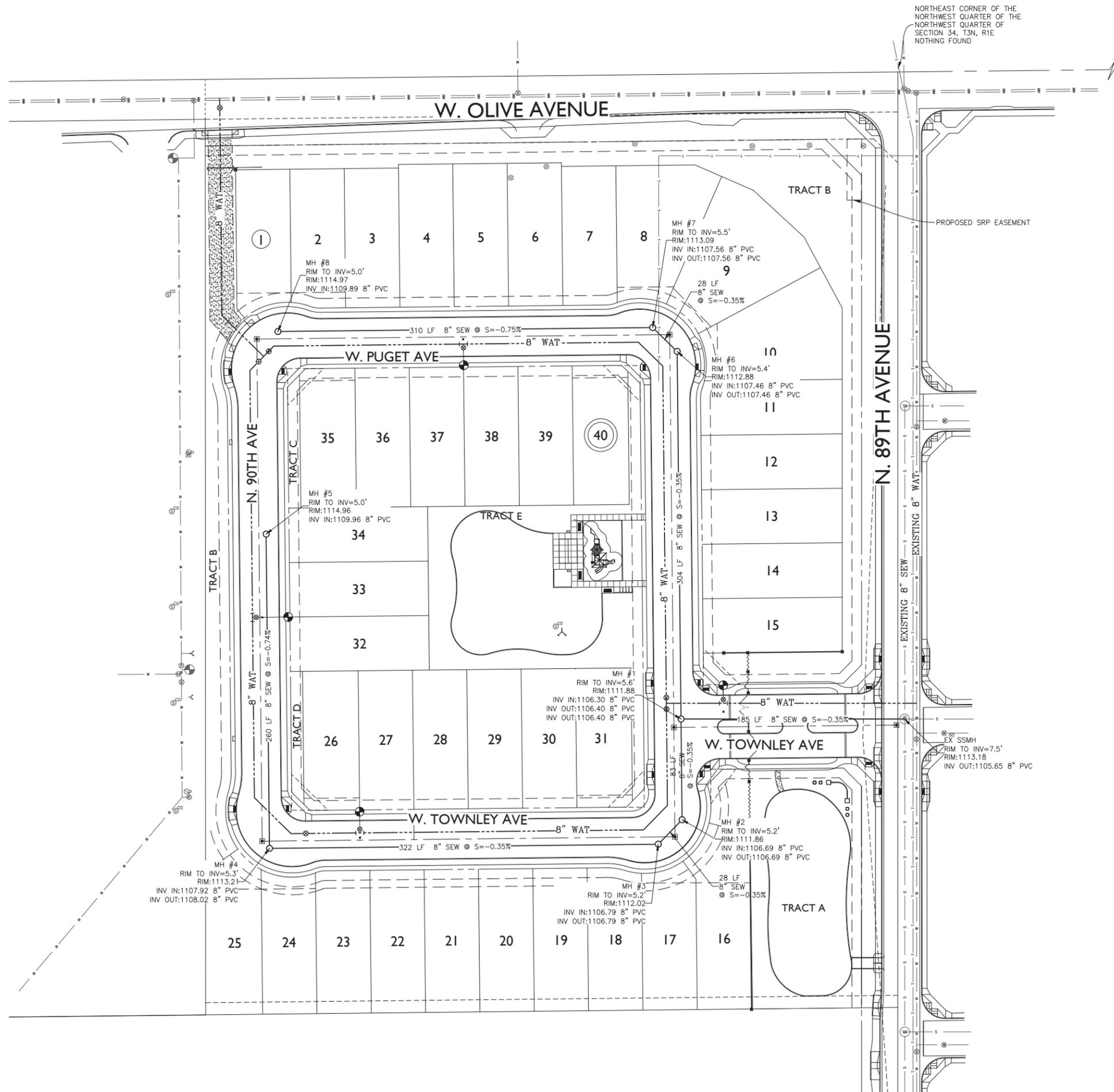
**ARIZONA 811**

One 8-1-1 or 1-800-878-0808 or 1-800-878-0808  
In Maricopa County: (602)224-1188

Designer: DCH  
Drawn by: DCH

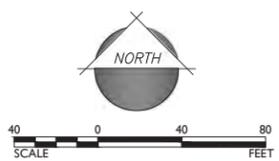


15-343



NORTHEAST CORNER OF THE  
NORTHWEST QUARTER OF THE  
NORTHWEST QUARTER OF  
SECTION 34, T3N, R1E  
NOTHING FOUND

87TH AVENUE



TOWNLEY PARK  
PEORIA, AZ

PRELIMINARY UTILITY PLAN

Project:

Revisions:

- FEBRUARY 8, 2016 - 1ST PRE-PLAT SUBMITTAL
- MAY 2, 2016 - 2ND PRE-PLAT SUBMITTAL
- JUNE 27, 2016 - 3RD PRE-PLAT SUBMITTAL
- AUGUST 18, 2016 - 4TH PRE-PLAT SUBMITTAL



Designer: DCH  
Drawn by: DCH

Job No.  
15-343

UT01

Sheet No.  
4  
of 4

# EXHIBIT 4



35 SERIES



**ELEVATION E**  
 COLOR SCHEME E3

KEYNOTES			
①	STUCCO FINISH	⑪	BOARD AND BATTEN VENEER
②	STUCCO TRIM	⑫	DECORATIVE POLYURETHANE CORBEL
③	STUCCO EAVE	⑬	DECORATIVE BLACK OUT WINDOW
④	CONCRETE TILE ROOF	⑭	OPTIONAL GARAGE WINDOW PANEL
⑤	TREATED WOOD FASCIA		
⑥	DECORATIVE WROUGHT IRON		
⑦	WOOD FRAMED COLUMN WITH STUCCO FINISH		
⑧	PAINTED RECTANGULAR GABLE END VENT		
⑨	DECORATIVE SHUTTER		
⑩	OPTIONAL DECORATIVE STONE VENEER		



**PLAN 35-1600**



**ELEVATION E**  
 COLOR SCHEME E1

KEYNOTES			
①	STUCCO FINISH	⑪	BOARD AND BATTEN VENEER
②	STUCCO TRIM	⑫	DECORATIVE POLYURETHANE CORBEL
③	STUCCO EAVE	⑬	DECORATIVE BLACK OUT WINDOW
④	CONCRETE TILE ROOF	⑭	OPTIONAL GARAGE WINDOW PANEL
⑤	TREATED WOOD FASCIA		
⑥	DECORATIVE WROUGHT IRON		
⑦	WOOD FRAMED COLUMN WITH STUCCO FINISH		
⑧	PAINTED RECTANGULAR GABLE END VENT		
⑨	DECORATIVE SHUTTER		
⑩	OPTIONAL DECORATIVE STONE VENEER		



**PLAN 35-1900**

# EXHIBIT 5

# Townley Park

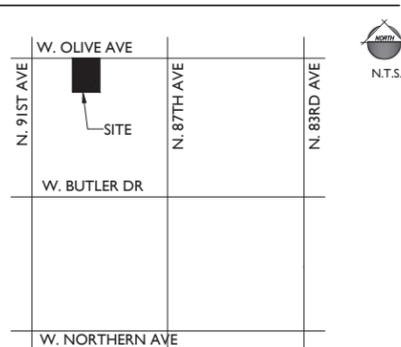
Peoria, Arizona



## Preliminary Landscape Design Package

Submitted: January 29, 2016 (rev 0)  
Resubmitted: April 28, 2016 (rev 1)  
Resubmitted: June 27, 2016 (rev2)  
Resubmitted: August 18, 2016 (rev3)

### VICINITY MAP



### PROJECT TEAM

**DEVELOPER:**  
Garrett-Walker Homes

**LANDSCAPE ARCHITECT:**  
EPS Group, Inc.

**PLANNER:**  
EPS Group, Inc.

**CIVIL ENGINEER:**  
EPS Group, Inc.

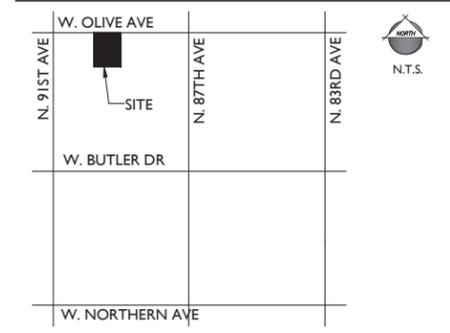




### PROJECT INFORMATION

LOCATION	SWC OLIVE AVE AND 89TH AVE
APN	142-35-003-E
GENERAL PLAN	LOW DENSITY RESIDENTIAL 2.0-5.0 DU/AC
EXISTING ZONING	AGRICULTURAL (AG)
PROPOSED ZONING	PLANNED AREA DEVELOPMENT (PAD)
GROSS AREA	10.1 AC.
NET AREA	8.9 AC.
LOT SIZE	45' x 115' (5,175 SF)
TOTAL LOTS	40
GROSS DENSITY	3.96 DU/AC
NET DENSITY	4.94 DU/AC
OPEN SPACE	1.94 AC
USEABLE OPEN SPACE	1.05 AC (10.4% GROSS AREA)
TURF	21,030 SF

### VICINITY MAP



### KEYNOTES

- ① TOT LOT
- ② RAMADA
- ③ ENTRY MONUMENT
- ④ ENTRY VEHICULAR GATE
- ⑤ MANUAL EMERGENCY ACCESS GATE
- ⑥ NON-PAVED DRIVABLE SURFACE (SEE GENERAL NOTES)
- ⑦ TURF
- ⑧ MAIN PARK AMENITY (USABLE OPEN SPACE)
- ⑨ SECONDARY AMENITY (USABLE OPEN SPACE)
- ⑩ MAILBOX
- ⑪ GATE KEYPAD
- ⑫ COMPACTED DG TRAIL
- ⑬ DECORATIVE PAVING

### MAIN PARK AMENITY FEATURES

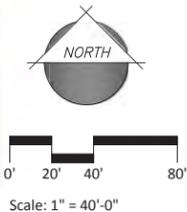
- PICNIC PLAZA WITH RAMADA & PICNIC TABLES
- BARBEQUE GRILLS
- LANDSCAPE BENCHES
- TOT LOT
- LARGE TURF AREA
- SHADE TREES

### SECONDARY AMENITY FEATURES

- LARGE TURF AREA
- SHADE TREES

### GENERAL NOTES

1. Turf (lawn) is limited to a maximum of 20% of the site area.
2. A development may substitute a 36" box or larger tree in place of a 15 gallon tree at a substitution rate of 1.5 trees for every required (15) gallon tree.
3. All landscaped areas shall be supported by an automatic irrigation system which may be spray, flood or drip system.
4. Plant materials utilized in landscaped areas in the ROW must be included on the most recent edition of the Phoenix Active Management Area Low Water Use / Drought Tolerant Plant List.
5. The Developer shall be responsible to install/maintain all landscaping within the Right-of-Way.
6. A 3 foot clear space is required around all fire suppression equipment. No plants may be installed that will encroach when mature.
7. Area #6 shall be included in the regular maintenance of the subdivision and shall remain weed-free at all times.



### PLANT LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
<b>TREES</b>			
	Acacia aneura	Mulga	24" Box / 15 Gal
	Acacia stenophylla	Shoestring acacia	24" Box / 15 Gal
	Acacia farnesiana	Sweet Acacia	24" Box / 15 Gal
	Caesalpinia calacalo 'Smoothie'	Thornless Cascalote	24" Box / 15 Gal
	Chitalpa tashkentensis 'Pink Dawn'	Chitalpa	24" Box / 15 Gal
	Chilopsis linearis 'Art's Seedless'	'Art's Seedless' Desert Willow	24" Box / 15 Gal
	Parkinsonia x 'Sonoran Emerald'	Sonoran Emerald Palo Verde	24" Box / 15 Gal
	Prosopis hybrid 'Phoenix'	Thornless Mesquite	24" Box / 15 Gal
	Ulmus parvifolia	Chinese Evergreen Elm	24" Box / 15 Gal
	Existing Tree to Remain	Species Varies. Health condition to be evaluated prior to construction operations.	

SYMBOL	COMMON NAME	SIZE
<b>SHRUBS/ACCENTS</b>		
	Aloe hybrid 'Blue Elf'	Blue Elf Aloe 5 Gal
	Asclepias subulata	Desert Milkweed 5 Gal
	Bougainvillea 'La Jolla'	'La Jolla' Bougainvillea 5 Gal
	Caesalpinia pulcherrima	Red Bird of Paradise 5 Gal
	Calliandra eriophylla	Pink Fairy Duster 5 Gal
	Dasyliion wheeleri	Desert Spoon 5 Gal
	Eremophila maculata 'Valentine'	'Valentine' Emu Bush 5 Gal
	Hesperaloe parviflora 'Brakelights'	Brakelights Red Yucca 5 Gal
	Leucophyllum langmaniae 'Rio Bravo'	Rio Bravo Sage 5 Gal
	Leucophyllum frutescens	Texas Sage 5 Gal
	Nerium oleander 'Petite Pink'	Dwarf Pink Oleander 5 Gal
	Muhlenbergia capillaris 'Regal Mist'	'Regal Mist' Muhly 5 Gal
	Simmondsia chinensis 'Vista'	Compact Jojoba 5 Gal

SYMBOL	COMMON NAME	SIZE
<b>GROUNDCOVERS</b>		
	Convolvulus cneorum	Bush Morning Glory 1 Gal
	Dalea greggii	Trailing Indigo Bush 1 Gal
	Lantana montevidensis	Trailing Purple Lantana 1 Gal
	Lantana x 'New Gold'	New Gold Lantana 1 Gal

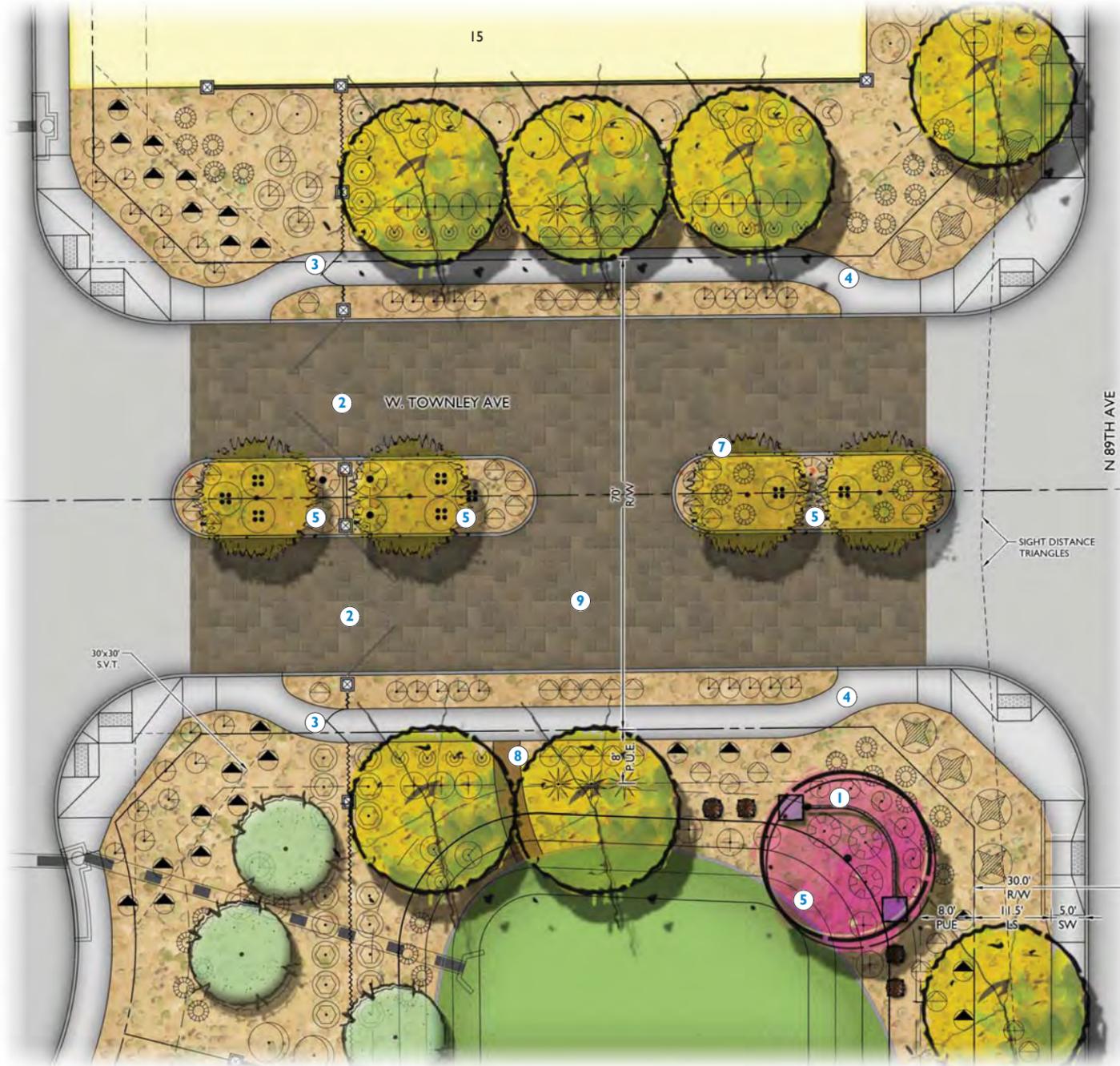
SYMBOL	COMMON NAME	SIZE
<b>TURF</b>		
	Cynodon dactylon 'Tifway 419'	Tifway 419 Hydroseed
	Decomposed Granite with Vegetative Shrubs & Groundcover per Minimum City Requirements	

### PLANTING DATA

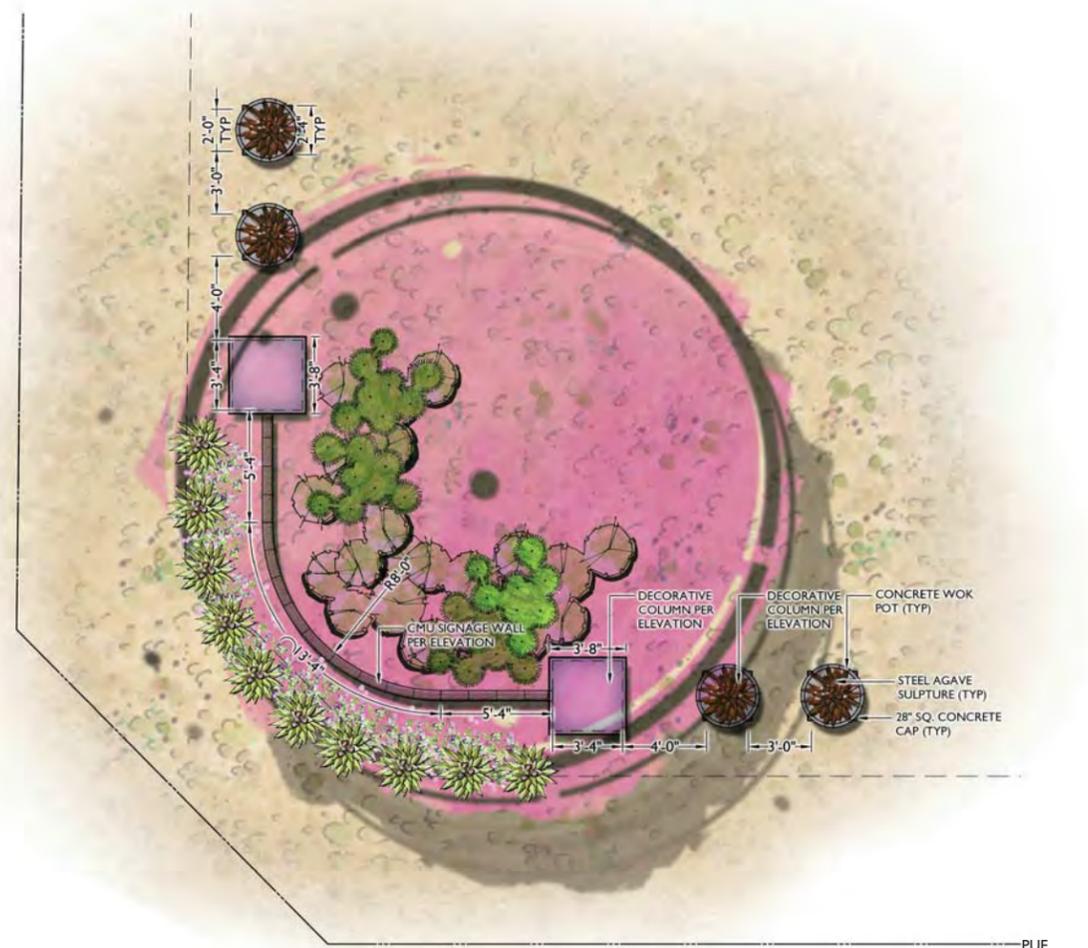
LANDSCAPE AREAS	Required	Provided
<b>A. Street Frontage Areas [14-35-4.A.1]</b>		
1. Adjacent to Arterial Streets (10 feet)	5,300 sq. ft	6,895 sq. ft
2. Adjacent to Collector Streets (8 feet)**	5,200 sq. ft	9,114 sq. ft
3. Adjacent to Local Streets (8 feet)**	11,208 sq. ft	19,204 sq. ft
<b>B. Required Drainage Retention / Detention Areas [14-35-4.A.6]</b>		
	34,891 sq. ft	34,900 sq. ft
<b>C. Usable Open Space Areas [Design Review Manual 20-70-12.C: ≥ 20 lots]</b>		
1. Loss less than 10,000 square feet (9% of gross project area)	39,596 sq. ft	45,698 sq. ft
<i>Note: If the development includes a mixture of lot sizes beyond the ranges described above, the percentage of Usable Open Space required shall be based on the percentage of lots in each category.</i>		
<b>PLANT QUANTITIES</b>		
<b>Street Frontage Landscape Areas [14-35-4.A.2]</b>		
D. Trees: 1 per 25 linear feet of street frontage (8' or 10' buffer + ROW)	49 trees	49 trees
E. Shrubs: 5 per 25 linear feet of street frontage (8' or 10' buffer + ROW)	245 shrubs	245 shrubs
<b>Drainage Retention / Detention + Usable Open Space Areas [14-35-4.A.1]</b>		
F. Trees: 1 per 1,000 square feet	35 trees	35 trees
G. Shrubs: 5 per 1,000 square feet	175 shrubs	175 shrubs
<i>Note: Usable Open Space areas may occupy the same areas as drainage (i.e. improved retention basins)</i>		
<b>Special Planting Requirements (PAD, Zoning, etc)</b>		
H. Trees: 1 Tree for each front yard	40 trees	40 trees
<b>TOTALS</b>		
Total Landscape Areas (A + (B + C))	55,556 sq. ft	70,113 sq. ft
Total Usable Open Space Percent	9%	9%
Total Trees (D + F) + H	124 trees	124 trees
Total 24" Box Trees (50% of total required trees)	42 trees	42 trees
Total Shrubs (E + G)	420 shrubs	420 shrubs

**KEYNOTES**

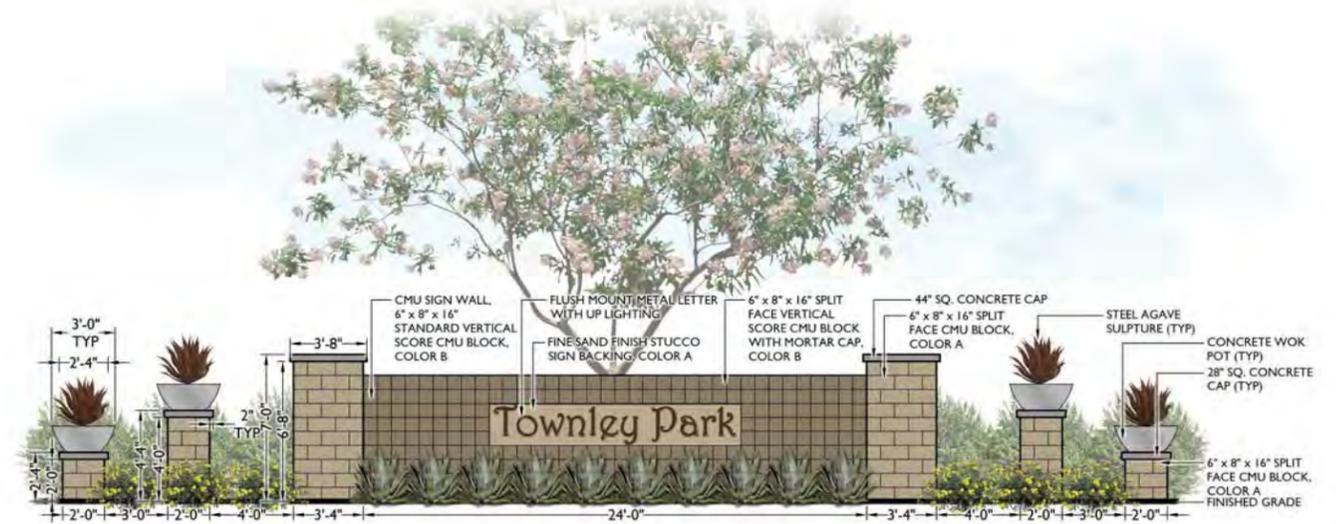
- 1 ENTRY MONUMENT
- 2 VEHICULAR GATE
- 3 PEDESTRIAN GATE
- 4 CONCRETE SIDEWALK
- 5 ACCENT TREES
- 6 TURF
- 7 GATE KEYPAD
- 8 COMPACTED DG TRAIL PEDESTRIAN ACCESS
- 9 DECORATIVE PAVING



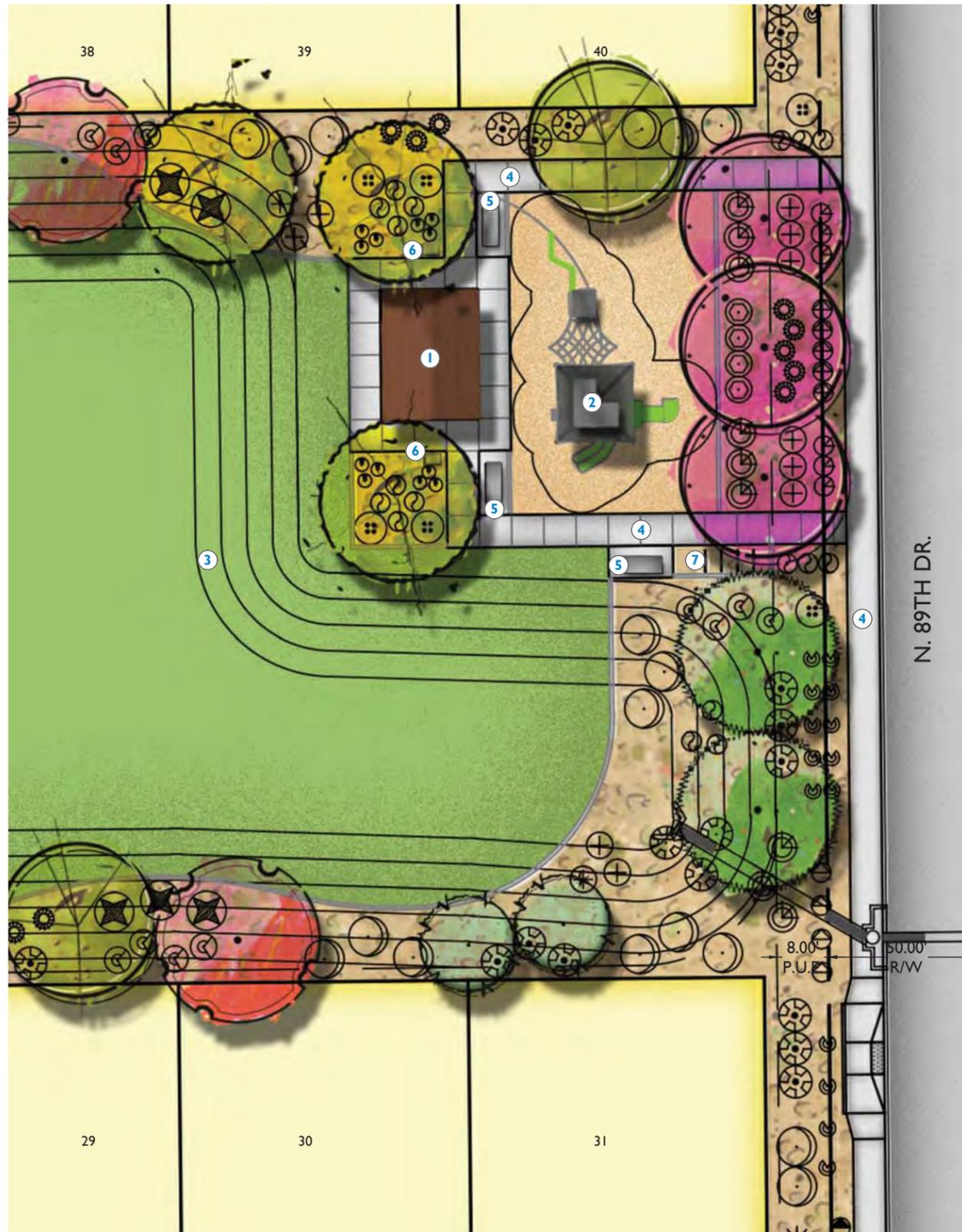
**1** ENTRY ENLARGEMENT PLAN  
Scale: 1" = 10'-0"



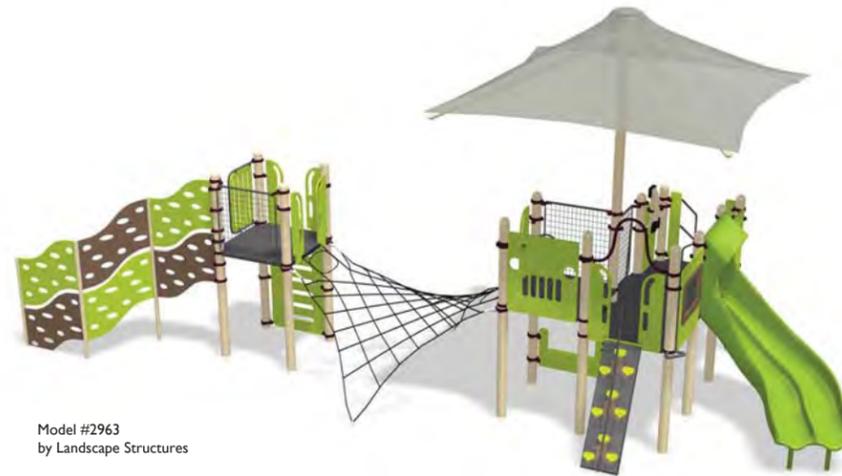
**2** ENTRY MONUMENT PLAN  
Scale: 1/4" = 1'-0"



**3** ENTRY MONUMENT ELEVATION  
Scale: 1/4" = 1'-0"

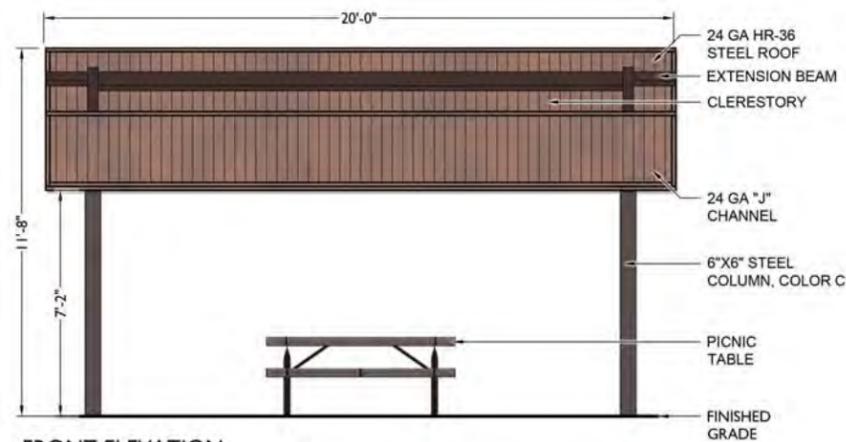


**1 AMENITY ENLARGEMENT PLAN**  
Scale: 1" = 10'-0"

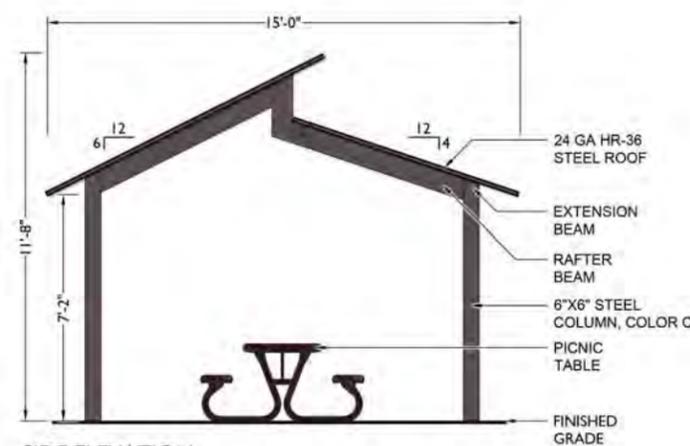


Model #2963  
by Landscape Structures

**2 PLAY STRUCTURE**  
NTS



FRONT ELEVATION



SIDE ELEVATION

**3 RAMADA**  
Scale: 1/2" = 1'-0"

**PLANT LEGEND**

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
<b>TREES</b>			
	Acacia aneura	Mulga	24" Box / 15 Gal
	Acacia stenophylla	Shoestring acacia	24" Box / 15 Gal
	Acacia farnesiana	Sweet Acacia	24" Box / 15 Gal
	Caesalpinia cacalaco 'Smoothie'	Thornless Cascalote	24" Box / 15 Gal
	Chitalpa tashkentensis 'Pink Dawn'	Chitalpa	24" Box / 15 Gal
	Chilopsis linearis 'Art's Seedless'	'Art's Seedless' Desert Willow	24" Box / 15 Gal
	Parkinsonia x 'Sonoran Emerald'	Sonoran Emerald Palo Verde	24" Box / 15 Gal
	Prosopis hybrid 'Phoenix'	Thornless Mesquite	24" Box / 15 Gal
	Ulmus parvifolia	Chinese Evergreen Elm	24" Box / 15 Gal
	Existing Tree to Remain	Species Varies. Health condition to be evaluated prior to construction operations.	

SYMBOL	COMMON NAME	SIZE
<b>SHRUBS/ACCENTS</b>		
	Aloe hybrid 'Blue Elf'	Blue Elf Aloe 5 Gal
	Asclepias subulata	Desert Milkweed 5 Gal
	Bougainvillea 'La Jolla'	'La Jolla' Bougainvillea 5 Gal
	Caesalpinia pulcherrima	Red Bird of Paradise 5 Gal
	Calliandra eriophylla	Pink Fairy Duster 5 Gal
	Dasyliion wheeleri	Desert Spoon 5 Gal
	Eremophila maculata 'Valentine'	'Valentine' Emu Bush 5 Gal
	Hesperaloe parviflora 'Brakelights'	Brakelights Red Yucca 5 Gal
	Leucophyllum langmaniae 'Rio Bravo'	Rio Bravo Sage 5 Gal
	Leucophyllum frutescens	Texas Sage 5 Gal
	Nerium oleander 'Petite Pink'	Dwarf Pink Oleander 5 Gal
	Muhlenbergia capillaris 'Regal Mist'	'Regal Mist' Muhly 5 Gal
	Simmondsia chinensis 'Vista'	Compact Jojoba 5 Gal

SYMBOL	COMMON NAME	SIZE
<b>GROUNDCOVERS</b>		
	Convolvulus cneorum	Bush Morning Glory 1 Gal
	Dalea greggii	Trailing Indigo Bush 1 Gal
	Lantana montevidensis	Trailing Purple Lantana 1 Gal
	Lantana x 'New Gold'	New Gold Lantana 1 Gal

SYMBOL	COMMON NAME	SIZE
<b>TURF</b>		
	Cynodon dactylon 'Tifway 419'	Tifway 419 Hydroseed
	Decomposed Granite with Vegetative Shrubs & Groundcover per Minimum City Requirements	

**KEYNOTES**

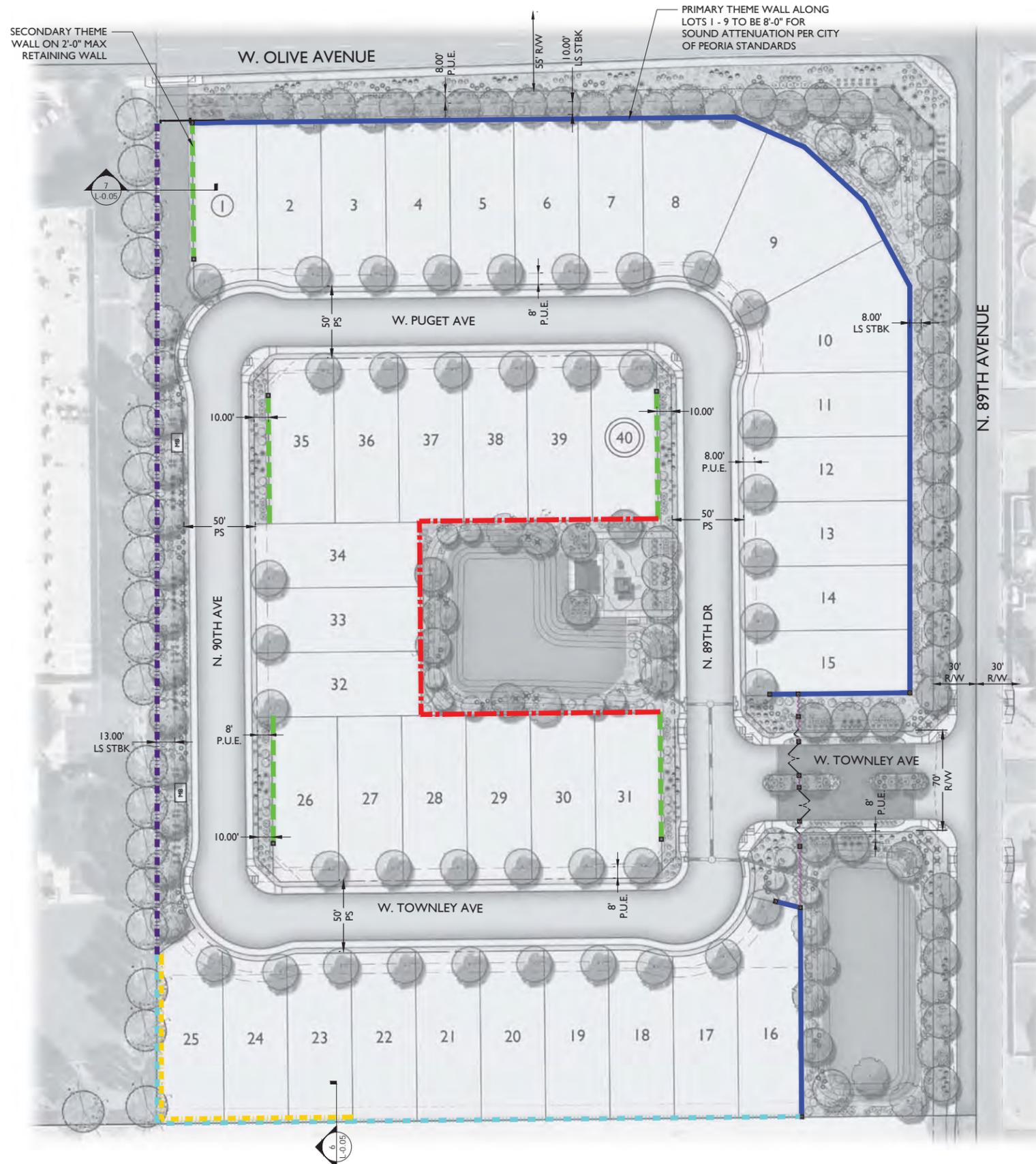
SEE SHEET L-0.06 FOR ADDITIONAL DETAILS

- 1 RAMADA
- 2 SHADED PLAY STRUCTURE
- 3 TURF
- 4 CONCRETE SIDEWALK
- 5 LANDSCAPE BENCH
- 6 BBQ GRILL
- 7 BIKE RACK

**COLOR & MATERIALS SCHEDULE**

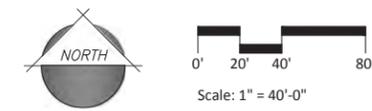
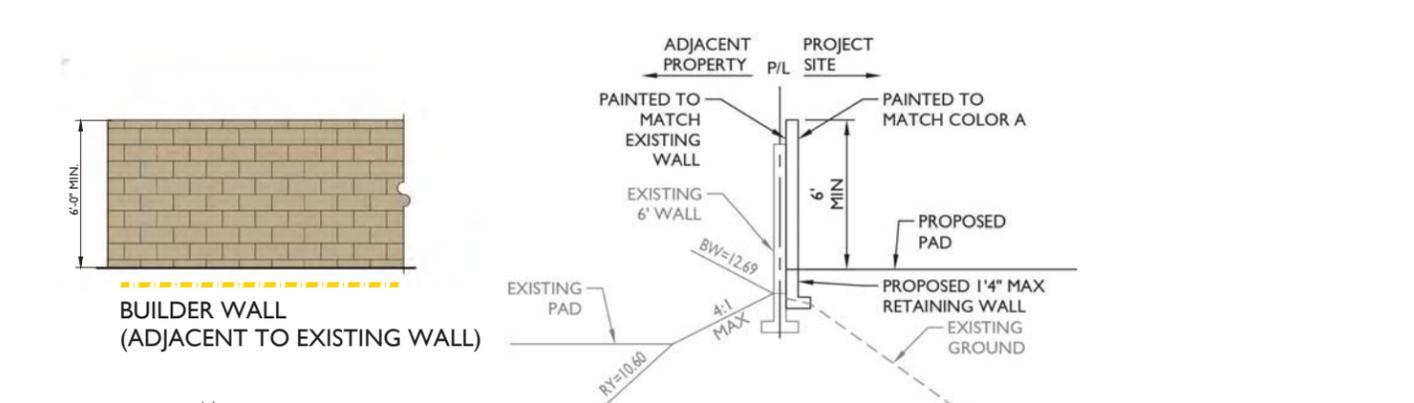
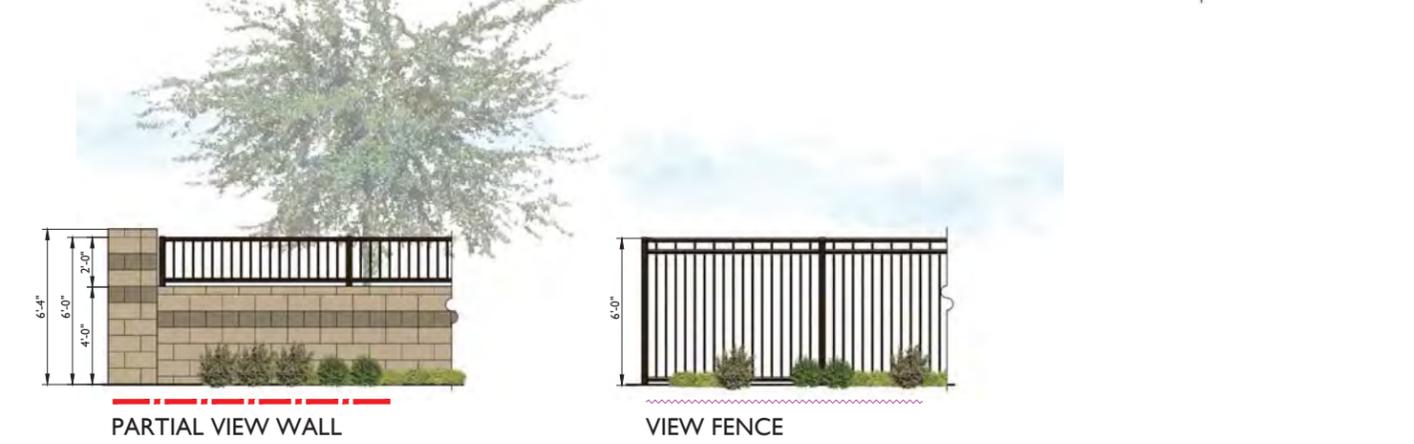
ITEM	COLOR & MANUFACTURER
COLOR A (CMU)	INTEGRAL COLOR: BONE BY SUPERLITE BLOCK OR EQUAL.
COLOR B (CMU)	INTEGRAL COLOR: COCOA BROWN BY SUPERLITE BLOCK OR EQUAL.
COLOR C (STEEL)	METAL TO BE POWDER COATED BRONZE, OR EQUAL.
RAMADA ROOF	HR-36 STEEL ROOF DARK BRONZE





### WALLS LEGEND

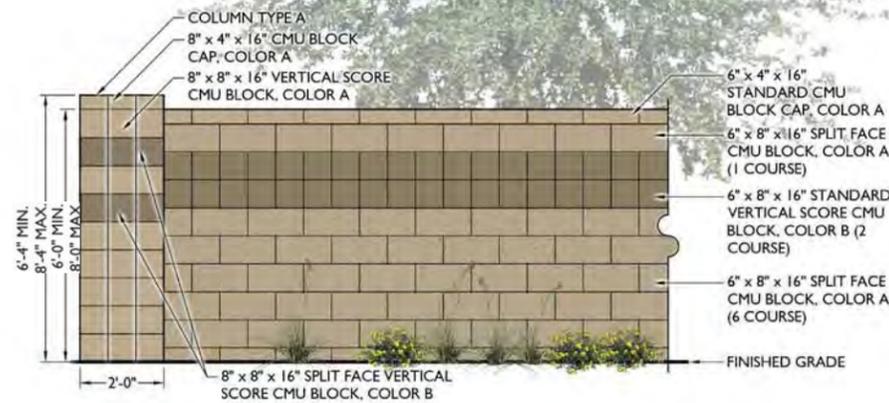
SYMBOL	ITEM
■	DECORATIVE COLUMN 'TYPE A'
■	DECORATIVE COLUMN 'TYPE B'
MB	MAILBOX
---	EXISTING WALL TO REMAIN (PAINT TO MATCH COLOR A)
---	EXISTING WALL TO REMAIN (PAINT TO MATCH SECONDARY WALL)



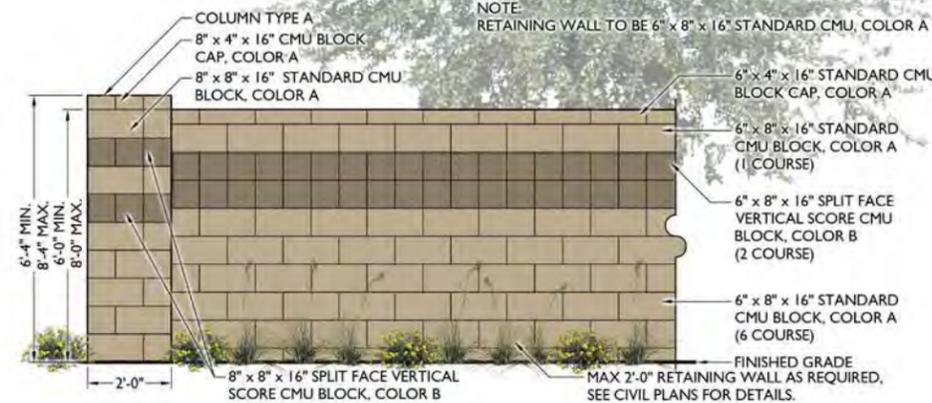
NOTE:  
SEE SHEETS L-0.05 & L-0.05A FOR DETAILED INFORMATION ON WALL HEIGHTS AND MATERIALS.

## COLOR & MATERIALS SCHEDULE

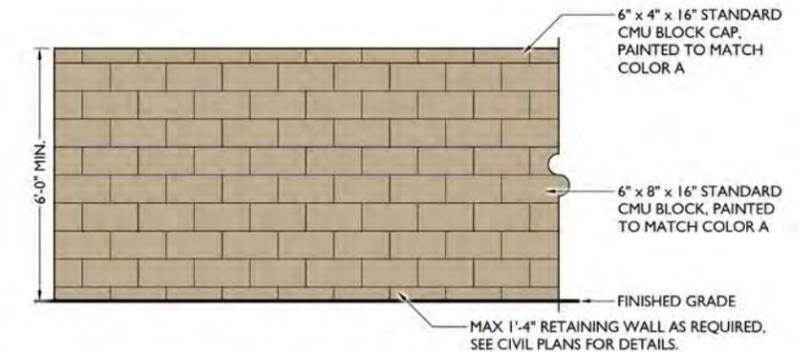
ITEM	COLOR & MANUFACTURER
COLOR A (CMU)	INTEGRAL COLOR: BONE BY SUPERLITE BLOCK OR EQUAL.
COLOR B (CMU)	INTEGRAL COLOR: COCOA BROWN BY SUPERLITE BLOCK OR EQUAL.
COLOR C (STEEL)	METAL TO BE POWDER COATED BRONZE, OR EQUAL.
RAMADA ROOF	HR-36 STEEL ROOF DARK BRONZE



**1** PRIMARY WALL  
Scale: 1/2" = 1'-0"



**2** SECONDARY WALL  
Scale: 1/2" = 1'-0"



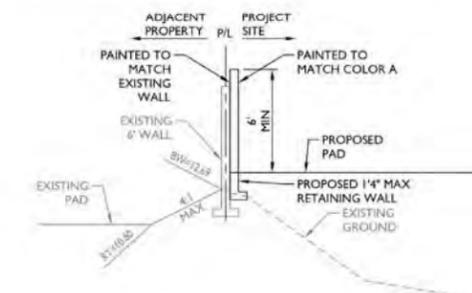
**3** BUILDER WALL ON RETAINING WALL  
Scale: 1/2" = 1'-0"



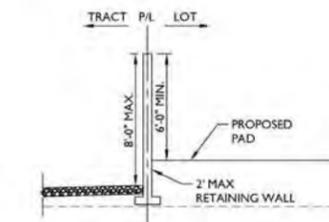
**4** PARTIAL VIEW WALL  
Scale: 1/2" = 1'-0"



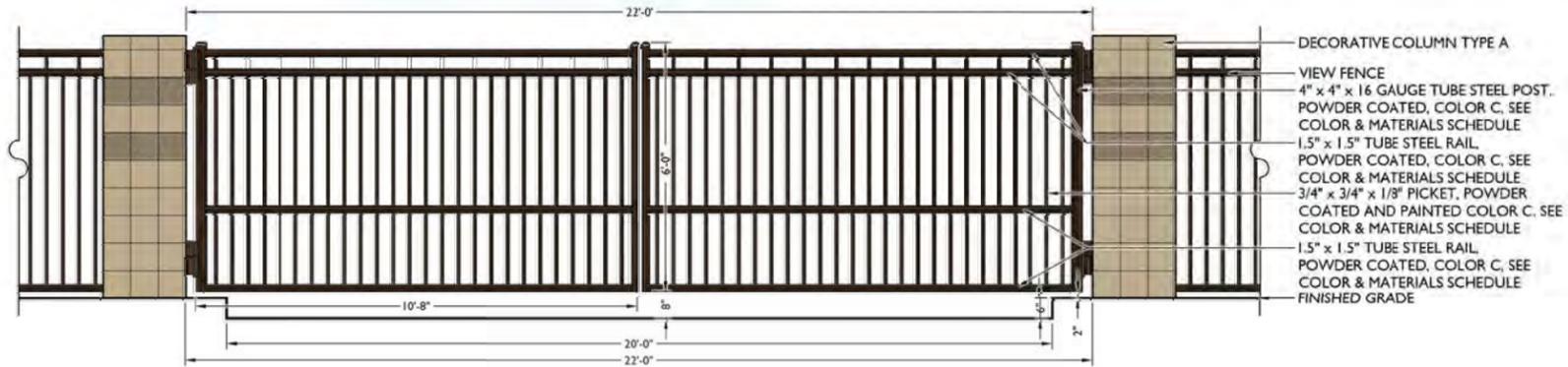
**5** VIEW FENCE  
Scale: 1/2" = 1'-0"



**6** BUILDER WALL ON RETAINING WALL WITH EXISTING WALL  
NTS



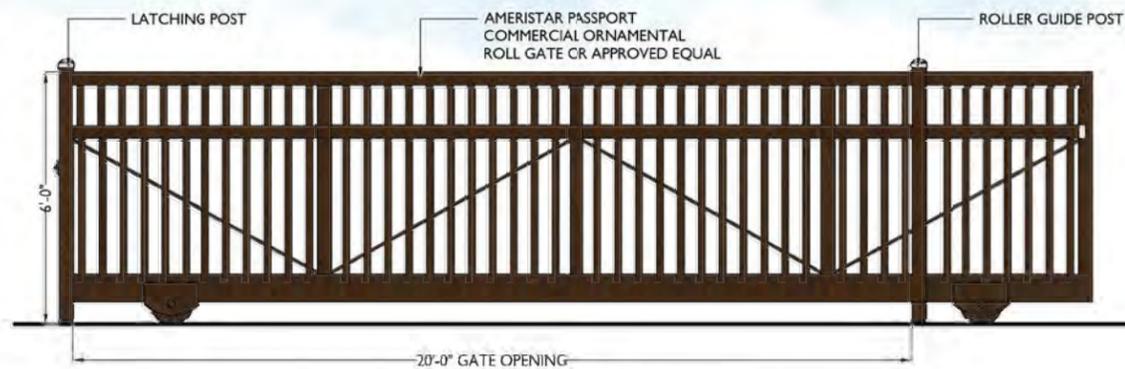
**7** SECONDARY WALL ON RETAINING WALL  
NTS



**1** PRIMARY ENTRY VEHICULAR GATE  
Scale: 1/2" = 1'-0"



**2** PEDESTRIAN GATE  
Scale: 1/2" = 1'-0"



- NOTE:**
1. PROVIDE REQUIRED SIGNAGE AND KEY ENTRY KNOX BOX PER CITY REQUIREMENT FOR MANUAL EMERGENCY ACCESS.
  2. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO CONSTRUCTION.
  3. INSTALL SLIDING GATE PER MANUFACTURERS RECOMMENDATIONS.

**3** EMERGENCY VEHICULAR MANUAL SLIDING GATE  
Scale: 1/2" = 1'-0"

**COLOR & MATERIALS SCHEDULE**

ITEM	COLOR & MANUFACTURER
COLOR A (CMU)	INTEGRAL COLOR: BONE BY SUPERLITE BLOCK OR EQUAL
COLOR B (CMU)	INTEGRAL COLOR: COCOA BROWN BY SUPERLITE BLOCK OR EQUAL
COLOR C (STEEL)	METAL TO BE POWDER COATED BRONZE, OR EQUAL
RAMADA ROOF	HR-36 STEEL ROOF DARK BRONZE





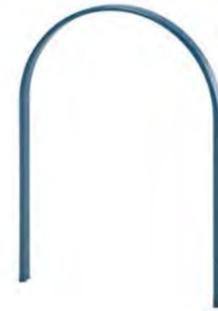
TRASH RECEPTACLE  
Urbanscape - "E" Style 32 Gallon by Wabash Valley; Color: Hazelnut or Equal



PICNIC TABLE  
Portage Collection 6' by Wabash Valley; Color: Top & Seat: Hazelnut, Leg: Textured Bronze or Equal



LANDSCAPE BENCH  
Camden Collection 6' by Wabash Valley; Color: Bench: Hazelnut, Leg: Textured Bronze or Equal



BIKE RACK  
Bike Loop BRH538I by Wabash Valley; Color: Hazelnut or Equal



BBO GRILL  
Model Gill 21 by Dumor  
Color: Black Or Equal



PET WASTE STATION  
JJB204 by Zero Waste USA  
Color Green



MAILBOX  
Model #3312 & #3308 by mailbox.com or approved equal



INTEGRAL COLOR CMU  
Bone by Superlite Block or approved equal



INTEGRAL COLOR SPLIT FACE CMU  
Cocoa Brown by Superlite block or approved equal.



DECOMPOSED GRANITE  
Color: Arizona Gold - 3/8" Screened For Landscape Area

## **Exhibit B: Townley Park Rezoning Conditions**

The amendment to the zoning herein provided be conditioned and subject to the following stipulations:

1. The Proposed development shall conform to the Townley Park PAD Standards & Guidelines Report dated August 18, 2016.
2. The development shall be limited to a maximum of forty (40) residential lots.
3. The Developer shall submit a resolution narrative for construction of the south perimeter wall prior to Preliminary Plat approval. This resolution is to provide the following:
  - a. Submission of final wall designs, including final cross-view drawings showing maximum height of the wall on both sides from adjacent grade.
  - b. Structure & design of wall shall meet all final Planning & Engineering requirements, and be in accordance with Article 14-3-5 of the Zoning Ordinance.
  - c. If the wall is to be reconstructed in full or in part, the developer must obtain documented approval from affected adjacent property owners, including agreements to access the affected lots and maximum height of wall.
  - d. If an agreement cannot be reached with the affected property owners, the developer is to submit this documentation as well to the City, along with an alternative screening and retention wall design proposal that has the new wall constructed immediately adjacent to the existing wall. This alternative design must be approved by the City's Planning & Engineering Divisions. If the said plan cannot prove to avoid damaging or negatively affecting the future integrity of the existing wall, then the developer must revert back to condition 3c, or adjust the layout of the subdivision.
4. Due to the emergency access corridor being less than 50 feet, the Developer shall provide safety mitigation in accordance with Section 20-78-3.II.A.1, in Chapter 3 of the Fire Design Standards Manual.
5. The Developer shall dedicate ROW along both Olive Avenue and 89th Avenue frontages per the City's Street Classification Map or as determined by the City Engineer to accommodate the ultimate development of the half-street.
6. The Developer shall dedicate an 8' PUE outside of the required ROW or private roadway Tract. No walls or retention shall be allowed within the PUE.
7. The Developer shall construct the half-street roadway along 89<sup>th</sup> Avenue frontage or as determined by the City Engineer.
8. The Developer shall dedicate thirty feet (30') of right-of-way along 89<sup>th</sup> Avenue.
9. The Developer shall dedicate a 30-foot by 30-foot right of way chamfer at all intersections with collectors or arterials. The Developer shall dedicate a 20-foot by 20-foot right of way chamfer at all local/local roadway intersections.
10. The Developer shall install traffic signal interconnect conduit along the frontage of the parcel. Plans for the installation of the traffic signal interconnect conduit shall be submitted as part of the improvement plans, specifically on the Paving plans.

11. Streetlights are required to be installed by the Developer. The streetlight plan must be submitted with the second submittal of the improvement plans. The streetlights shall also be indicated on the Paving or Grading plan.
12. Prior to Final Plat recordation, the applicant shall obtain approval of final Grading, Drainage, Utilities, and Paving plans, in conjunction with a Final Drainage Report and Final TIA. These final plans and reports shall be in conformance with the approved Preliminary Plans and report.
13. The Final Plat shall be submitted with the first submittal of the civil improvement plans. The Final Plat shall be approved prior to permits being issued for the site.
14. If necessary, the applicant shall provide the City with two (2) copies of the updated PAD and an electric copy within sixty (60) days of the City Council action.