



ENGINEERING DEPARTMENT

Andrew Granger, Director

Capital Improvement Program (CIP)

Project Update Report

December 7, 2010

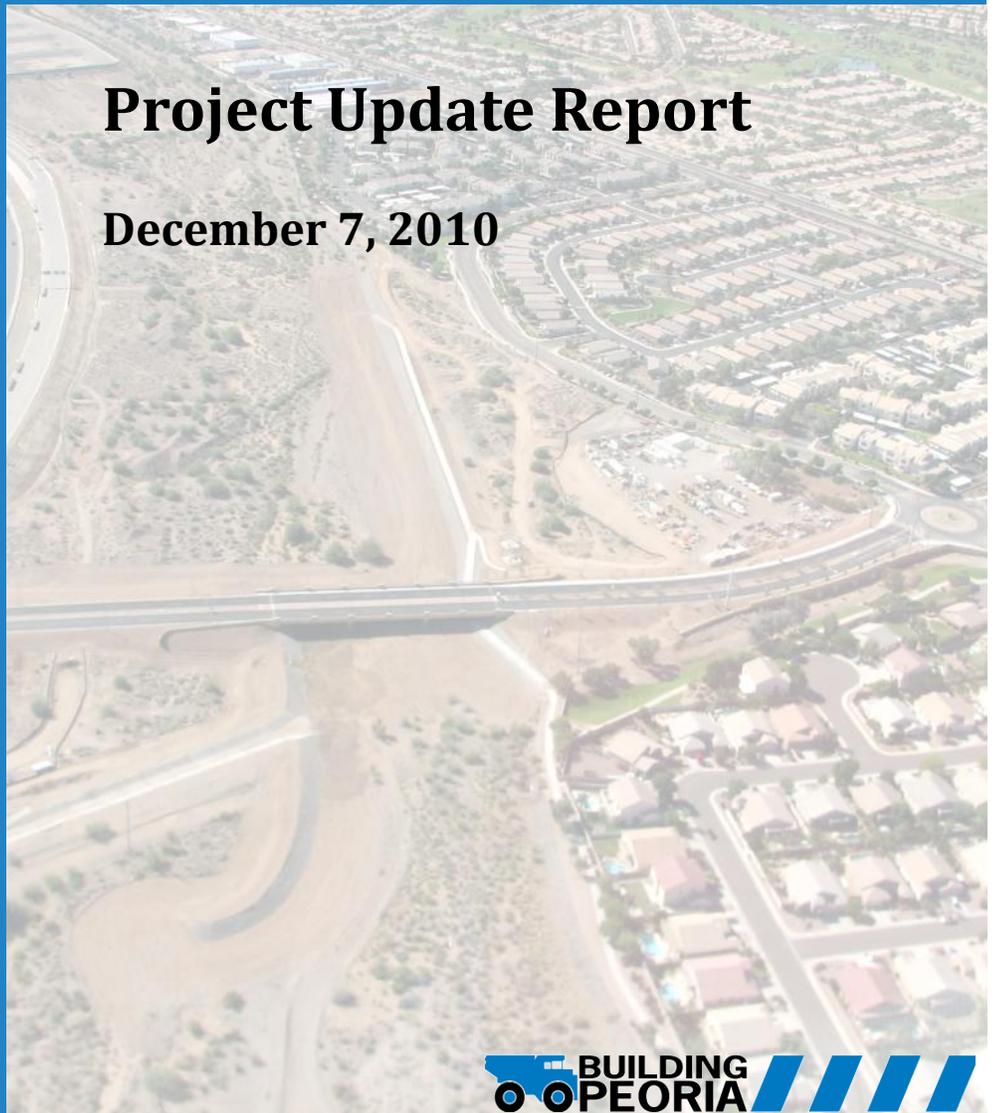


TABLE OF CONTENTS

Completed Projects

83rd Ave Widening; Williams Rd to Calle Lejos	1	Liberty High School Second Access (95th Ave)	7
84th Ave Streetscape	2	Municipal Courts Expansion	8
91st Ave & Olive Ave Intersection	3	New River Trail—Peoria Avenue Underpass	9
99th Ave and Rose Garden Well Equipping	4	Sports Complex Well Modifications	10
Beardsley Connector	5	Stone Well Site Rehabilitation	11
Bell Park Sound Wall	6	Washington St & 83rd Ave Streetscape	12

Construction Phase

Centennial Plaza	13	Scotland Yard Neighborhood Park	18
Loop 303 Interchanges	14	Sun Air Estates Privacy Wall	19
New River Trail—Bell Road to Union Hills	15	Vistancia Reservoir and Booster Pumps Station	20
Olive Ave & L101 TI Improvements	16	Washington St Storm Drainage Alley	21
Pinnacle Peak Channel; 87th Ave to Agua Fria	17		

Design Phase

75th Ave & Deer Valley Rd Intersection	22	Lake Pleasant Pkwy; Westwing to L303	32
75th Ave & Thunderbird Rd Intersection	23	New River Trail—Northern to Olive Avenue	33
83rd Ave Reclaimed Water Line	24	New River Trail—Olive Avenue Underpass	34
83rd Ave Street & Drainage Improvements	25	Northern Parkway	35
103rd Ave & Northern Ave Partial Reconstruction	26	Osuna Park Renovations	36
Agua Fria Truck Road Reliever	27	Palo Verde Park	37
Beardsley Rd; 99th Ave to Lake Pleasant Rd	28	Skunk Creek Trailhead @ 83rd Ave	38
Community Center Building Addition	29	Sports Complex Improvements	39
Community Park #2	30	Vistancia Neighborhood Park #2	40
Council Chamber ADA Enhancements	31		

Capital Project Programs

Community Works	41	Utility Undergrounding Program	43
Traffic Signal Program	42		

83RD AVE WIDENING; WILLIAMS RD TO CALLE LEJOS

PROJECT LOCATION: 83RD AVE; WILLIAMS RD TO CALLE LEJOS



83rd Avenue Bottleneck Eliminated

Completing the 83rd Avenue widening project removes a bottleneck that drivers have been experiencing heading south from Happy Valley Road and north from Deer Valley Road. With a five-lane cross section now in place, and improved left turn lane movements at Pinnacle Peak, traffic flows will be vastly improved on this mile of roadway between Williams Road to the south and Calle Lejos to the north.

Also included in this project are bike lanes that will allow for uninterrupted bike lanes from Happy Valley Road to Deer Valley Road. Sections of the roadway that had adequate right-of-way were improved with new sidewalk.

The drainage along the roadway was improved with the installation of curb, gutter and catch basins, allowing the utilization of the new drainage structures installed by the Flood Control District in 2007 and 2008 under 83rd Avenue.

The intersection at Pinnacle Peak was widened in all four directions with new signals installed to accommodate the additional lanes. Future conduit for signals at Williams Road and Calle Lejos were installed as well as future conduit for interconnect was installed along 83rd Avenue.

Project Number: EN00162
Total Project Budget: \$4.8M
Council District: Mesquite

Key Features:

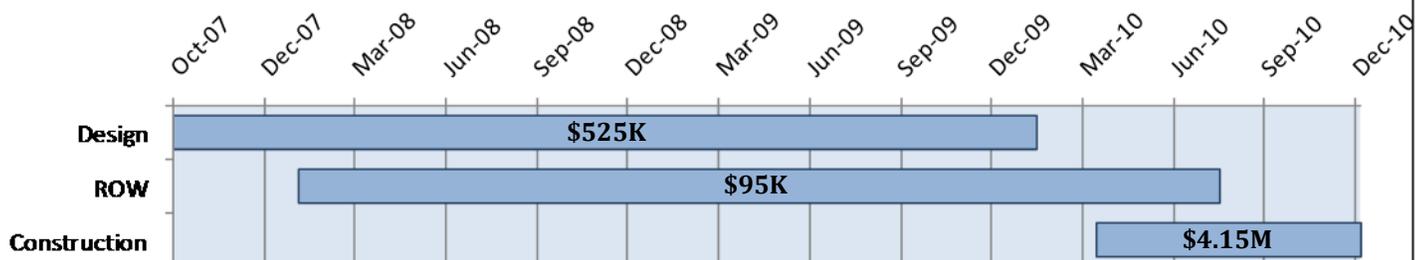
- 5 lane cross section with bike lanes
- Intersection widened at Pinnacle Peak Road
- New curb, gutter and catch basins
- Interconnect conduit for traffic signals, radio transmitter installed for interim wireless capability
- Minor landscape improvements
- New sections of sidewalk added

Interesting Fact:

The asphalt removed from the old roadway was re-used as a sub-base material providing cost savings and avoiding placement in a land fill.



Project Budget & Timeline



84TH AVE STREETScape

PROJECT LOCATION: 84TH AVE; PEORIA AVE TO MONROE ST



Oldtown Peoria Streetscape Enhancements Completed!

The 84th Avenue streetscape improvement project was designed to meet the goals and objectives set forth in the Central Peoria Revitalization Plan. This plan aimed to rehabilitate the road network serving the downtown area. In particular, the plan recommended the enhancement of 84th Avenue connecting Oldtown with the new City Hall complex.

In February 2004, Council awarded a contract to HDR Engineering to complete a design concept report. As part of this report, the city considered different design alternatives to create a low-velocity, pedestrian-friendly corridor with design features to beautify the corridor. Another aspect of the design was to create a safe travel environment enabling citizens to

take advantage of opportunities at Osuna Park, the Performing Arts Theater and the Community Center.

After nearly five years of design and construction, the streetscape improvements have been completed just in time for the annual holiday festival in Oldtown Peoria. Improvements include decorative brick paver sidewalks and driveways, benches, ramadas, enhanced pedestrian lighting, landscaping, and undergrounding overhead power and telecommunication lines.

The majority of the project was funded through a federal grant. The city was only required to pay for the overall project design and the underground conversion of overhead facilities.

Project Number: PW00207
Total Project Budget: \$2.9M
Council District: Acacia

Key Features:

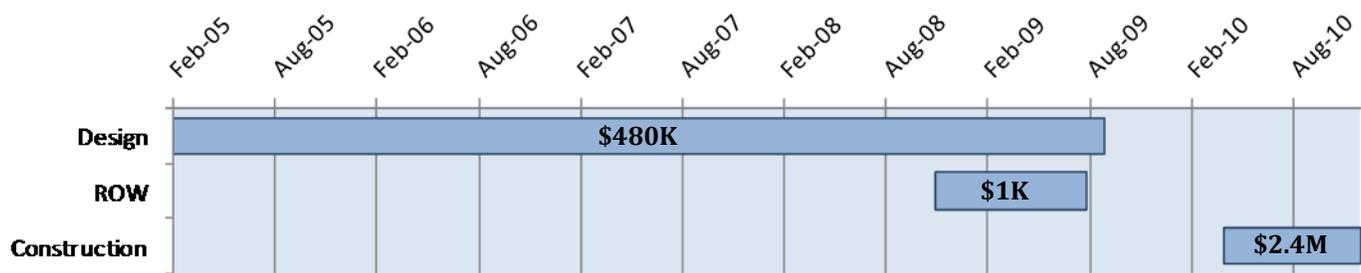
- Pedestrian enhancements (sidewalk lighting, shade armadas & benches)
- Large 48" box trees
- Holiday lighting circuitry (trees)
- Energy efficient LED lighting fixtures (50% savings in electricity use)
- Structural soil under sidewalks to improve tree root development

Interesting Fact:

The project construction by ADOT was 100% CMAQ funded for the low bid amount of \$1.8M.



Project Budget & Timeline



91ST AVE & OLIVE AVE INTERSECTION

PROJECT LOCATION: 91ST AVE & OLIVE AVE



Intersection Widening is Nearing Completion

The 91st Avenue and Olive Avenue intersection improvements are nearing completion. The rubberized asphalt surface course was recently completed and temporarily striped. The landscaping phase has begun and is expected to take approximately three weeks. The final thermoplastic striping will be placed in mid-December. The application of the final striping will require daytime restrictions and will take a few days to complete.

Fortunately, the city received federal Congestion Mitigation and Air Quality funds to help pay for the actual improvements for the low bid amount of \$1.35 million to improve intersection capacity and to reduce wait times and air pollution from stopped and idling vehicles. Utility reloca-

tions were required and performed by the city prior to the actual widening. The Arizona Department of Transportation is administering the project. Federal funding is expected to pay for 100% of the intersection widening portion of this project, which is good news for the city's budget.

The project has added additional turn lanes to one of the busiest intersections in Peoria. Remaining work primarily includes landscaping, final striping and sidewalk connection improvements.

Although this project will be completed within the next few weeks, traffic restrictions will remain at the intersection due to the Olive Avenue Traffic Interchange construction project.

Project Number: PW00245
Total Project Budget: \$3.84M
Council District: Pine

Key Features:

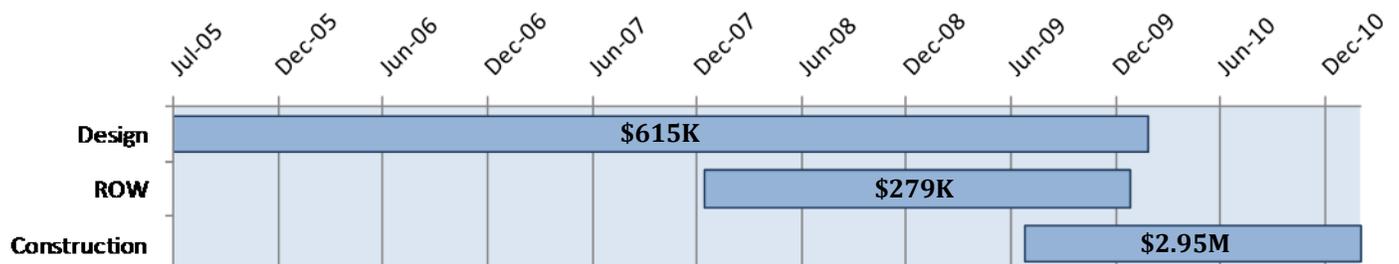
- Added dual lefts at each approach
- Added dedicated right turn lanes
- Added 1 through lane in each direction
- Improved intersection capacity
- Improved safety with raised medians
- Improved access on and off of L101

Interesting Fact:

The project construction by ADOT was 100% CMAQ funded for the low bid amount of \$1.35M.



Project Budget & Timeline



99TH AVE AND ROSE GARDEN WELL EQUIPPING

PROJECT LOCATION: 99TH AVE AND ROSE GARDEN ALIGNMENT



New Potable Water Well Completed

In late summer 2010, construction of a new potable water well in Peoria's Zone 3E was completed. While the city uses surface water as our primary water supply, there is still a great need for new wells to meet future water demand and provide redundancy in our water system for Peoria citizens. This new well, located along Lake

Pleasant Parkway at the 99th Avenue and Rose Garden Lane alignments, will provide potable water to the city's Zone 3E and help ensure residents in the area have a continuous supply of water.

Project Number: UT00288
Total Project Budget: \$1.4M
Council District: Mesquite

Key Features:

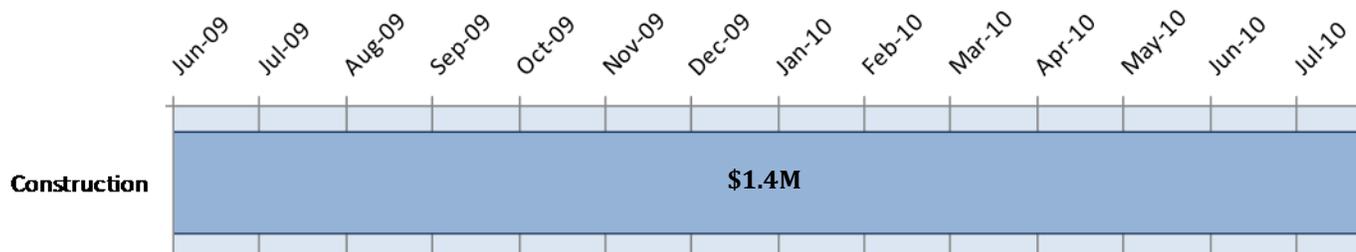
- Well drilling and installation was completed in 2007
- Installed a 1,500 gallon per minute pump, all associated well piping and related equipment
- Aesthetics include landscaping and a site wall that matches the existing sound wall along Lake Pleasant Parkway

• **Interesting Fact:**

Project was completed using federal ARRA funding (through WIFA).



Project Budget & Timeline



BEARDSLEY CONNECTOR

PROJECT LOCATION: BEARDSLEY RD; LOOP 101 TO 83RD AVE



Beardsley Connector Opened November 16, 2010 (Phase 1)

On November 16th, a vital new connection to the Loop 101 at Beardsley Road opened for traffic. This provides Peoria residents with direct access to the Loop 101, as well as reduces congestion from Union Hills Drive and Deer Valley Road in north Peoria. Project improvements include street improvements along 83rd Avenue, Peoria's first multi-lane roundabout at 81st Avenue and Beardsley Road, an aesthetic bridge over the New River, connections to the existing trail system, ramadas and benches along the trails, a frontage road from the 75th Avenue traffic interchange to the Union Hills Drive interchange and the widening of Union Hills Drive.

The next phase of the project, Arizona's first pre-signal (Texas) u-turn, is anti-

ci- pated to be completed in May 2011. This unique u-turn structure will allow traffic to access the northbound lanes of Loop 101 without going through the signalized intersection at Union Hills Drive and Loop 101. Access to the u-turn structure will be available from the frontage road, via the Beardsley connection over the New River, constructed in the first phase.

Both phases of this project are being constructed as part of an intergovernmental agreement between the City of Peoria, the City of Glendale and the Arizona Department of Transportation. The \$25 million construction project is primarily funded with federal funds, with just \$1.2 million provided by the City of Peoria.

Project Number: PW00152
Total Project Budget: \$30.9M
Council District: Ironwood/
 Mesquite/Willow

Key Features:

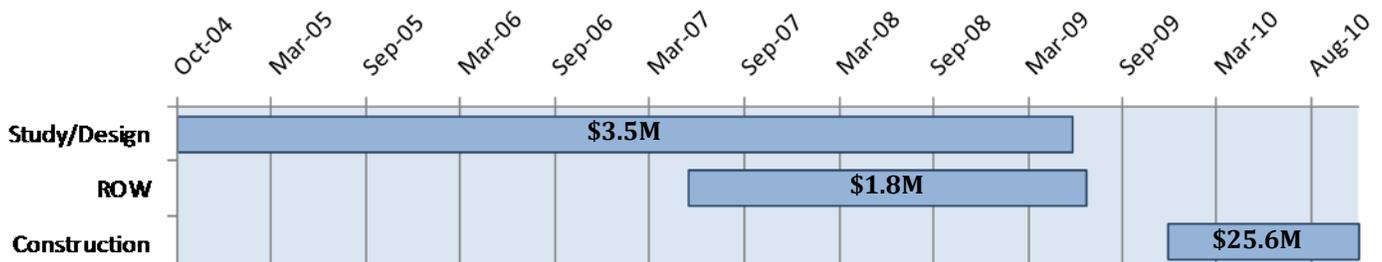
- Extend Beardsley Road to Loop 101
- New River Trail connection
- Loop 101 frontage road
- Pre-signal u-turn structure
- Widen Union Hills Drive traffic interchange
- 83rd Ave improvements from Village Parkway to Lake Pleasant Parkway

Interesting Fact:

This project will include an entry monument that will be installed next year (see below) on the north side of Beardsley Rd west of the bridge.



Project Budget & Timeline



BELL PARK SOUND WALL

PROJECT LOCATION: UNION HILLS DR BETWEEN 84TH AVE AND 83RD AVE



Residents Feel Privacy Benefit from Higher Wall

Over the years, several widening projects have been constructed at the Union Hills Drive and 83rd Avenue intersection. As a result of these projects, the residents in the Bell Park neighborhood at the southwest corner of the intersection have felt that their privacy had been hindered.

Following the design that dealt with coordination of existing utilities and adjacent homeowners, the construction of the new wall took place last spring and summer.

The city has received positive feedback from residents who now have an eight-foot wall that hides adjacent traffic along Union Hills Drive and provides a better sense of security than the original 6' wall once provided.

The civil engineering firm for the project, Point Engineers, took great strides in ensuring the block material and wall pattern matched as closely as possible to the existing wall already installed along 83rd Avenue.

Project Number: EN00246
Total Project Budget: \$318K
Council District: Willow

Key Features:

- New 8' high split face wall
- Landscape improvements
- Noise study
- Bell Park monument sign
- Painting of existing wall from 84th Avenue to Country Club Drive

Interesting Fact:

The winning contractor for the project was selected in a competitive low bid process. The contract price was approximately \$163,000, much less than the original project budget of \$434,000.



Project Budget & Timeline



LIBERTY HIGH SCHOOL SECOND ACCESS (95TH AVE)

PROJECT LOCATION: 95TH AVE; SPECKLED GECKO DR TO PINNACLE PEAK RD



Liberty High School Gets Help From City

On August 6, 2010, in an effort to complete improvements during the summer school break, Banicki Construction completed the final paving for the extension of 95th Avenue from Speckled Gecko Drive to Pinnacle Peak Road for Liberty High School.

On December 15, 2009, at the request of the Peoria Unified School District and the citizens of Peoria, Council approved staff's recommendation to create a new capital improvement project for constructing a secondary access road (public street) to Liberty High School. The purpose of this project was to alleviate traffic congestion at the existing 97th Avenue and Deer Valley Road intersection created during the

peak hours of drop off and pickup at the high school. Staff determined that a temporary roadway along the future 95th Avenue roadway alignment was the best solution. A permanent solution will be in place when the surrounding community, Camino A Lago North (The Meadows), is constructed.

Based on the current economy, the necessary roadway network may not be in place for another five to 10 years. The temporary roadway included constructing a 28-foot wide asphalt roadway with an adjacent pedestrian path/sidewalk from the cul-de-sac at Speckled Gecko to Pinnacle Peak Road.

Project Number: EN00318
Total Project Budget: \$621K
Council District: Mesquite

Key Features:

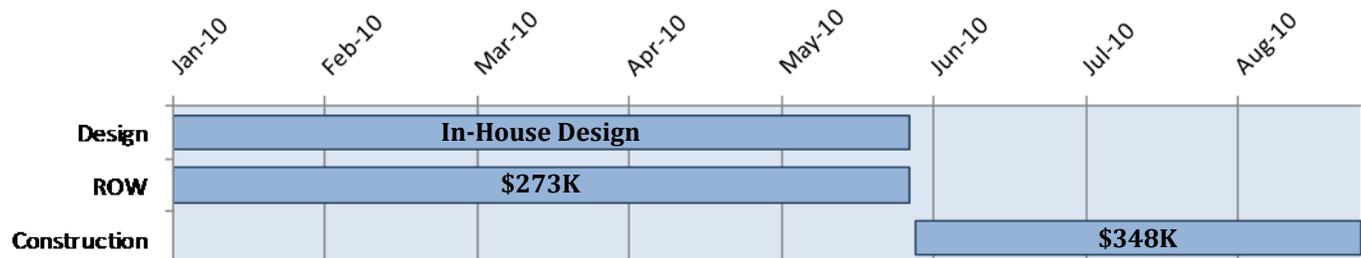
- Secondary access road along 95th Avenue alignment
- Installed left turn lanes on Pinnacle Peak Road at 95th Avenue
- Significantly reduced traffic delays for students, parents, and faculty during arrival and dismissal times
- All work completed during summer break for minimal inconvenience

Interesting Fact:

During the first week of school, traffic around Liberty High School improved dramatically. Streets were clear an average of 15 minutes prior to the start of the first class.



Project Budget & Timeline



MUNICIPAL COURTS EXPANSION

PROJECT LOCATION: MUNICIPAL OFFICE COMPLEX



Municipal Court Building Expanded to 38,000 Square Feet

Expansion of the Municipal Court building is now substantially complete, with court operations taking occupancy of the third and final construction phase this week. This marks 36 months since award of contract to the successful design-build team. The project doubled the size of the building, now at a total of 38,000 square feet, and was constructed without interruption to court operations.

The expansion alleviates substantially undersized staff operations space and provides improved court room capacity by increasing from two to four court rooms. Court rooms are furnished with upgraded technology; a much improved audio recording system and video capabilities allowing the implementation of video arraignments. In addition, access control and video surveillance systems were added to

the building to provide increased security capabilities.

This project will produce the first city building to achieve Leadership in Energy and Environmental Design (LEED) certification. The LEED process is extensive; it begins at the start of design and continues to a final systems verification one year after completion of construction. Following are two examples of benefits experienced from participating in the LEED process. An extensive commissioning process exposed opportunities to adjust and fine tune the building air conditioning system that will result in more efficient operations and reduced energy costs. More than 1,300 tons of waste material, 86% of the total waste produced, was delivered to and processed at recycling facilities and therefore diverted from being discharged at landfills.

Project Number: PW00360

Total Project Budget: \$11.05M

Council District: Acacia

Key Features:

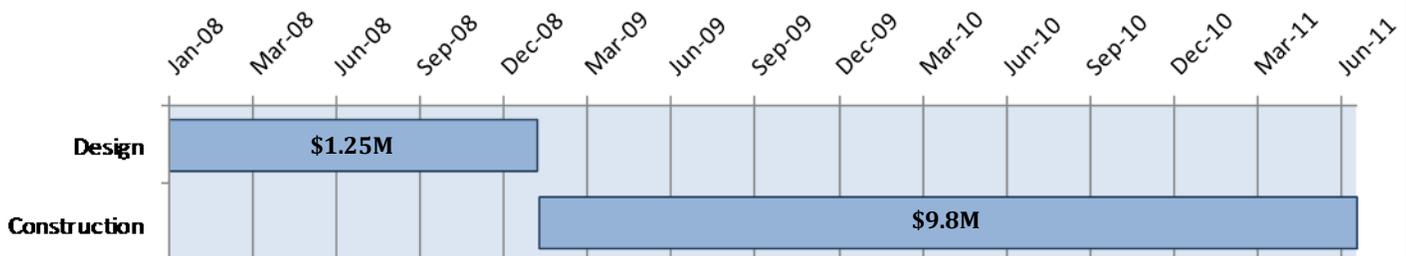
- Completion of construction this month marks 36 months from start of design
- First LEED certified city building, project goal is Silver Certified
- Court operations continued uninterrupted throughout the duration of the project
- Court room technology upgrades include improved audio recording and video arraignment capabilities
- Access control and video surveillance systems provide improved security

Interesting Fact:

This project was constructed in multiple phases to allow court operations to continue uninterrupted throughout the duration of construction.



Project Budget & Timeline



NEW RIVER TRAIL—PEORIA AVENUE UNDERPASS

PROJECT LOCATION: PEORIA AVE AT NEW RIVER



Trail Underpass Opens; Final Touches Underway

The New River Trail Peoria Avenue Underpass is one of several projects either in design or that have been constructed in the last few years that improve pedestrian access along New River. The underpass project has just recently opened and has allowed for faster bicycle travel for pedestrians wanting to continue on the trail at Peoria Avenue.

The existing pedestrian signal will remain in place at Peoria Avenue for trail users until a study by the city's traffic division can determine if the signal is still necessary with the underpass now installed.

This underpass project, along with the proposed underpass at Olive Avenue and the New River Trail project that was com-

pleted from Grand Avenue to Olive Avenue were at once to be completed as one project. However, due to escalating construction costs over the past 10 years, while these projects were still in the planning phase, the projects needed to be separated into stand alone projects. This was required since the federal funds were fixed and could not be adjusted to account for these cost escalations. Based on this change in direction this project was built entirely with city funds.

Because this project is constructed within limits of US Water Ways, significant time was deducted to coordination during the design phase with the Flood Control District of Maricopa County and the Army Corps of Engineers.

Project Number: CS00065

Total Project Budget: \$1.1M

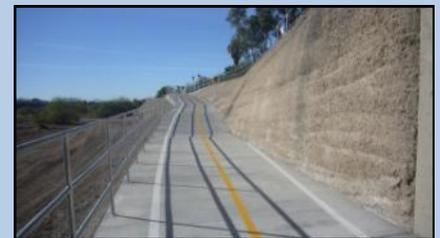
Council District: Pine

Key Features:

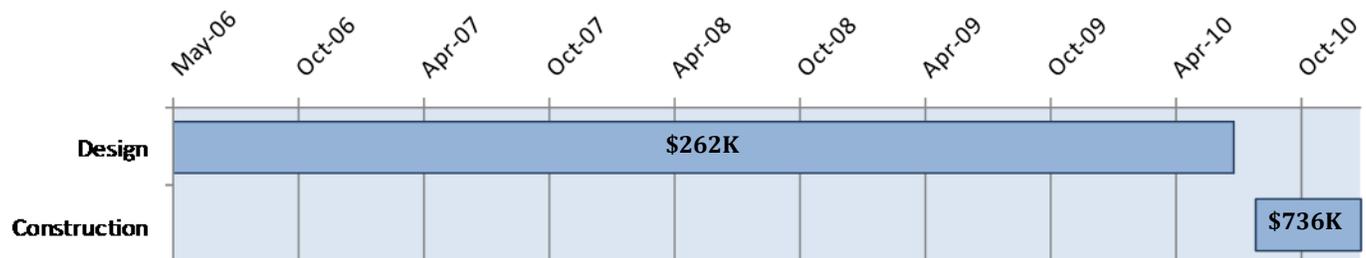
- Trail allows for bicycle and pedestrian traffic without crossing at street level on Peoria Avenue
- Striping and guard rail allow for safe pedestrian travel and bicycle fall protection along river bank
- American with Disabilities Act slope requirements were met throughout the underpass project
- Flood Control District access ramp to the river provided for safer maintenance vehicle travel

Interesting Fact:

Coordination between the city and the low-bid contractor resulted in savings of approximately \$10,000 between the original bid amount and the final project cost.



Project Budget & Timeline



SPORTS COMPLEX WELL MODIFICATIONS

PROJECT LOCATION: PEORIA SPORTS COMPLEX



Peoria Sports Complex gets Innovative Irrigation System

In October 2009 the city received news of a grant award from the Bureau of Reclamation for three projects under its Challenge Grant program. The matching grant totaled nearly \$1.8 million.

This project converted the well system at the City of Peoria Sports Complex from potable to non-potable water. The process of converting the well at the Peoria Sports Complex from potable to non-potable

water and providing non-potable storage will allow large turf areas to be irrigated with non-potable water as an interim step until the city's reclaimed water distribution system reaches the Peoria Sports Complex. The project was placed into operation in October of 2010.

Project Number: UT00297

Total Project Budget: \$948K

Council District: Willow

Key Features:

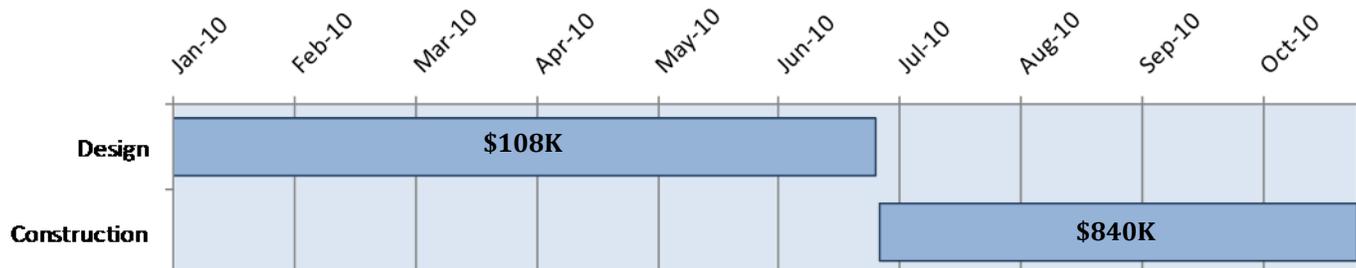
- Partially funded with 50/50 split Challenge Grant from the Bureau of Reclamation
- 100,000 gallon steel water tank approximately 35' diameter by 16' high
- SCADA and telemetry to the City well site
- Skid mounted variable frequency drive horizontal pump station incorporating 5 new pumps
- 700 feet of new 12" irrigation piping

Interesting Fact:

An estimated 73 million gallons of potable water will be saved annually by this project.



Project Budget & Timeline



STONE WELL SITE REHABILITATION

PROJECT LOCATION: STONE STREET AND 83RD AVENUE



City Rehabilitates Aging Well and Reservoir Site

In late summer 2010, the city completed rehabilitation of the Stone Street Well and Reservoir site. The aging site needed a complete overhaul as most of its elements were not up to current city standards. The city has an ongoing program to update and modernize existing water facilities such as the Stone Street site, to ensure they remain operationally efficient and reliable.

The design for the project had been completed as part of a previous project. When

the federal government announced the American Recovery and Reinvestment Act (ARRA), the Utilities Department included this project in their submittal to obtain ARRA funding, identifying it as a 'shovel ready' project. ARRA funding was approved through a Water Infrastructure Finance Authority of Arizona (WIFA) low interest loan and the project was completed in July 2010.

Project Number: UT00289
Total Project Budget: \$1.5M
Council District: Acacia

Key Features:

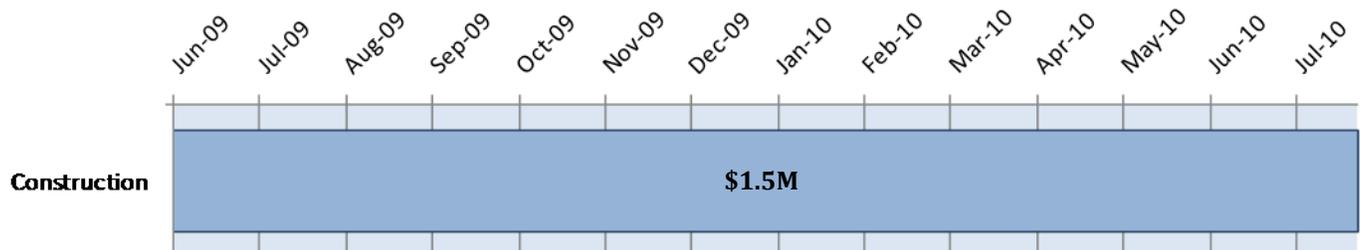
- Site rehabilitation included the existing well, reservoir, and booster pump station
- A precast concrete electrical building houses all electrical equipment.
- Rehab included installation of SCADA control and monitoring equipment
- Project completed using federal ARRA funding (through WIFA)

Interesting Fact:

This well and reservoir site is one of the oldest in the City, dating back to the 1960's.



Project Budget & Timeline



WASHINGTON ST & 83RD AVE STREETScape

PROJECT LOCATION: 83RD AVE & WASHINGTON ST



Streetscape Improvements Completed for 2010 Oldtown Holiday Event

This project introduces steel trellis structures into the Oldtown area as part of a streetscape improvement effort. Other improvements include expansion of the irrigation system, replacing portions of concrete sidewalk with pavers, and installing vegetation in planters.

The project design originally started in July 2006, with a much broader scope of services. As preliminary designs progressed, the extent of the scope was modified to reduce the area to be impacted,

ultimately ending with a reduced scope that defined the work that has now been installed.

Work was substantially complete on December 1st, in time for the annual holiday event on December 3rd. The contractor will be back the week of December 6th to perform corrective work and additional follow-up work.

Project Number: CD00002

Total Project Budget: \$241K

Council District: Acacia

Key Features:

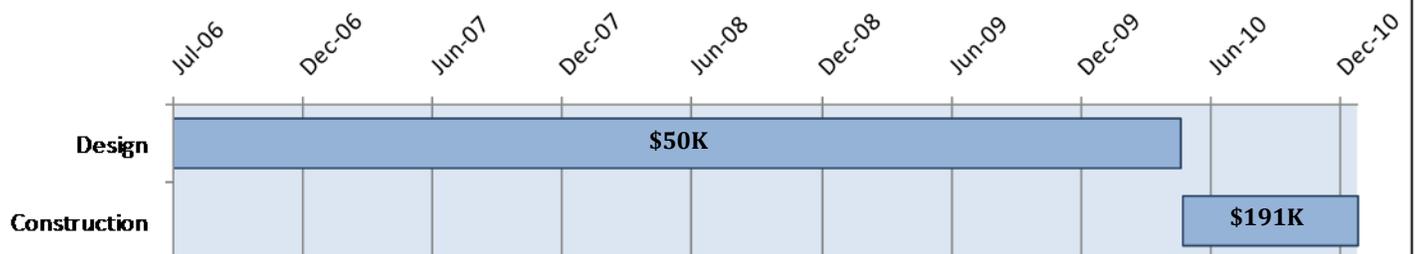
- Trellis structures installed at the southwest and southeast corners of Washington Street and 83rd Avenue
- Extension of the irrigation system will eliminate the past practice of hand watering pots along 83rd Avenue

Interesting Fact:

The trellis structures have built-in solar lights running dusk to dawn to provide accent lighting below the trellis.



Project Budget & Timeline



CENTENNIAL PLAZA

PROJECT LOCATION: CITY HALL COMPLEX

Council Approves Construction Start December 2010

Previously called Municipal Office Complex Park, this project involves the development of land between the Public Safety Administration Building and the Development and Community Services Building on the Municipal Office Campus. It is consistent with the 2003 DFDG Municipal Center Master Plan. The park will commemorate Arizona's 100th anniversary and will retrofit existing amenities to tie the entire campus landscaping together. A storm water retention basin for the Municipal Complex will also be part of the project improvements.

The project was procured as a design-build competition with competing firms proposing design solutions that met the city's technical and centennial objectives. The Mayor and City Council awarded a guaranteed maximum price contract to the successful design build team in October 2009, allowing for the refinement of the competition design. On November 16, 2010, the Mayor and City Council gave a thumbs up to the start of construction in December 2010.



Project Number: CS00134

Total Project Budget: \$3.5M

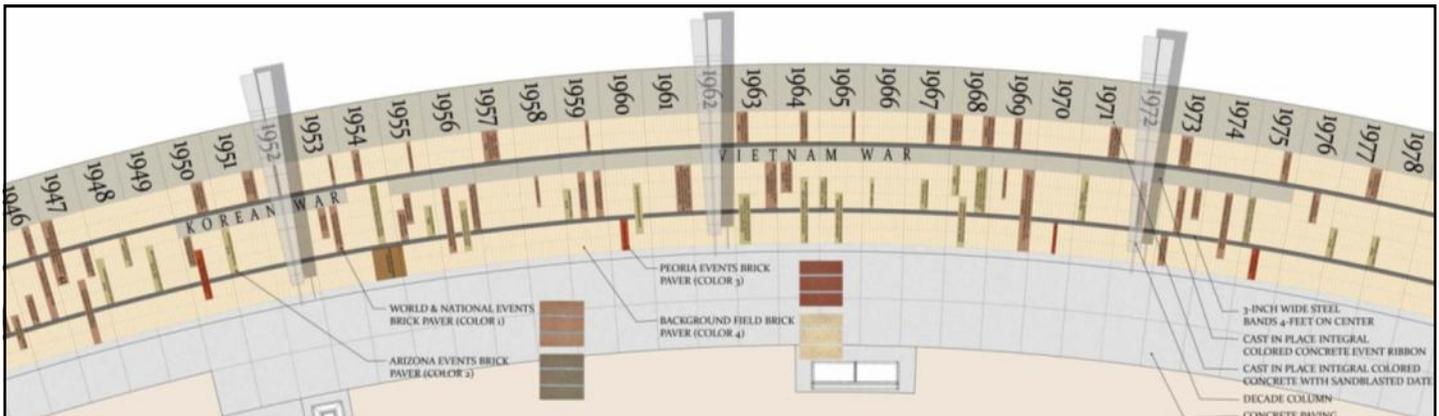
Council District: Acacia

Key Features:

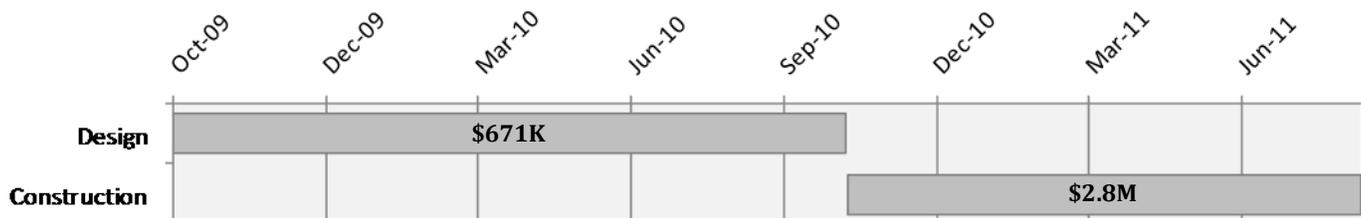
- Centennial "Decades Walk"
- Arched steel shade arbor
- Turf gathering lawn
- Elliptical walking path
- Fabric/steel shade canopy over campus amphitheater
- Reclaimed water for landscape irrigation

Interesting Fact:

The project's Decades Walk will commemorate 100 years of city, state, and world history for the Arizona Centennial on February 14, 2012.



Project Budget & Timeline



LOOP 303 INTERCHANGES

PROJECT LOCATION: LOOP 303 AT HAPPY VALLEY, LONE MOUNTAIN AND LAKE PLEASANT PKWY



Peoria Adds to Enhancement for New Loop 303 through Peoria

In 2008, Council approved two separate inter-governmental agreements with the Arizona Department of Transportation (ADOT) for the design and construction of certain improvements to the new segment of freeway, State Route 303 Loop (SR 303L).

Specific improvements included; 1) water, sewer and reclaimed water line stub-outs, 2) interchanges at 303 with Happy Valley Road and Lone Mountain Parkway have been upgraded from the Diamond Interchange to the Single-point Urban Interchange (SPUI). The SPUI, pronounced "Spooey", is a relatively new variant of the diamond interchange, 3) The City requested the design of a trail crossings and 4) Enhanced aesthetic upgrades including

painting of retaining walls and bridge structures and pedestrian fences.

ADOT's 303 Corridor is the first major freeway to open in the west Valley since the late 90's when the Loop 101 was completed. Currently the only east-west corridors north of the 101 are Happy Valley Road and Carefree Highway (SR74). The Loop 303 is anticipated to open in May 2011.

Construction of the project commenced in early 2009 and is scheduled to be complete in 2012 with an interim roadway of two lanes in each direction.

Project Number: EN00242
Total Project Budget: \$8.5M
Council District: Mesquite

Key Features:

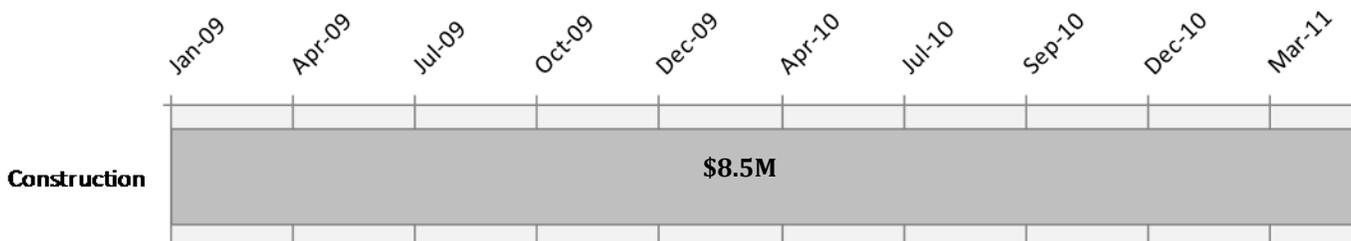
- Enhanced walls and pedestrian fence along the Loop 303
- Designed according to Peoria's general plan to accommodate future trails and open space
- Project will save Peoria money by installing necessary water and sewer crossings under the Loop 303 to serve north Peoria's future development

Interesting Fact:

The 303 Loop from Happy Valley Road to I-17 is one of the largest earthwork moving projects in ADOT's Phoenix freeway system.



Project Budget & Timeline



NEW RIVER TRAIL—BELL ROAD TO UNION HILLS

PROJECT LOCATION: ARROWHEAD SEGMENT—BELL ROAD TO UNION HILLS



Major New River Trail Segment Now Under Construction

This project is for trail development along the west bank of the New River between Bell Road and Union Hills Drive. A portion of the trail has been built north of Bell Road and underpass benches have been provided at Union Hills Drive and 83rd Avenue Bridges. This segment will link Rio Vista Community Park to neighborhoods north of Greenway Road.

Our proposed multi-use pathway is located on top of the west bank of New River and is to be constructed as part of the New River Trail System. The proposed project consists of a 4,800 linear foot concrete multi-use path connection between existing path

segments, including passage beneath the 83rd Avenue and West Union Hills Drive bridges. The project also includes installation of lighting beneath West Bell Road, 83rd Avenue and West Union Hills Drive bridges and landscape treatments and minor structures at the intersection of 83rd Avenue and West Union Hills Drive. The project was competitively bid in October 2010 with construction awarded in December to Spire Engineering.

Project Number: CS00120

Total Project Budget: \$1.0M

Council District: Willow

Key Features:

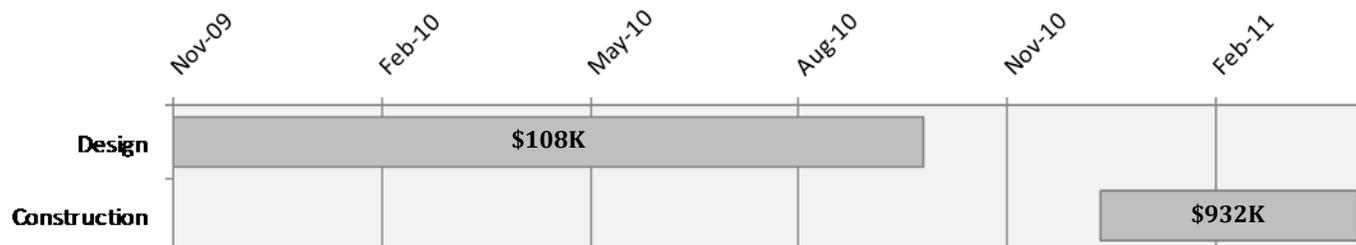
- 4,800 linear foot concrete multi-use connecting path
- Decorative resting node area with seat wall
- 12' x 12' metal shade structure
- Lighted path under existing bridges

Interesting Fact:

Under Title 34, trail segments are not considered horizontal construction and therefore the pool of bidding contractors included many vertical contractors, thus increasing price competitiveness.



Project Budget & Timeline



OLIVE AVE & LOOP 101 TRAFFIC INTERCHANGE

PROJECT LOCATION: OLIVE AVE & LOOP 101



Olive Avenue and Loop 101 Interchange Widening

Olive Avenue is one of the major east-west corridors through the City of Peoria and is a vital arterial to the surrounding communities. According to traffic counts, Olive Avenue has more traffic per lane than Bell Road. This project is a joint venture between the Arizona Department of Transportation (ADOT) and the City of Peoria. Through intergovernmental ties, the City was able to work with ADOT to place this project into ADOT's five year plan as an official project. ADOT did not have enough funding to widen Olive Avenue under the Loop 101; therefore, through an intergov-

ernmental agreement, the city agreed to contribute towards utility relocations and to fund the portion of the widening outside of ADOT's right of way.

Currently, the contractor is working on the north half improvements. It is anticipated that the north half improvements will be completed in early January and the contractor will move to the south side. Based on past progress, it is anticipated that the work will be completed in May 2011.

Project Number: EN00219
Total Project Budget: \$2.94M
Council District: Pine

Key Features:

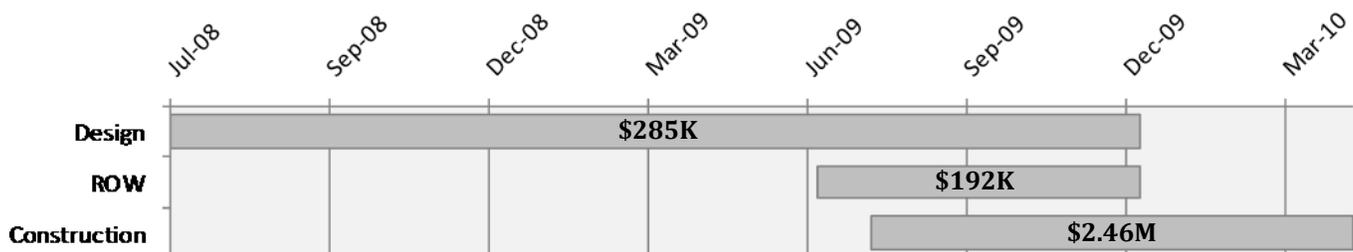
- Dual left turn lanes onto northbound and southbound Loop 101
- 3 through lanes in each direction under the Loop 101
- Similar to improvements at Thunderbird Ave and Loop 101
- Improve traffic flow
- Improve safety with additional medians

Interesting Fact:

The traffic interchange improvements are almost identical to the improvements at the Thunderbird Road traffic interchange (see below).



Project Budget & Timeline



PINNACLE PEAK CHANNEL; 87TH AVE TO AGUA FRIA

PROJECT LOCATION: PINNACLE PEAK RD FROM 87TH AVE TO AGUA FRIA



Drainage Improvements Receive Favorable Bid

The Flood Control District of Maricopa County (FCDMC) is the regional authority charged with overseeing and performing regional drainage master planning, construction, regulation and administration for the several watersheds that impact Maricopa County. This is accomplished through a series of area drainage master studies and plans and watercourse master plans, amongst other efforts.

The cities of Peoria, Glendale and Phoenix, along with the FCDMC, conducted the Glendale-Peoria Area Drainage Master Plan, which identifies regional drainage infrastructure improvements. The Pinnacle Peak Channel was identified during this

process. The project contains a series of segmented projects which are intended to provide flood protection for the areas generally downstream of Pinnacle Peak Road.

This project will construct a new storm water storage basin, channels and storm drains improvements to connect to existing drainage infrastructure in order to achieve protection for the impacted areas for up to a 100-year storm event.

The project was bid on Dec. 2, 2010 with a low bid of \$2,675,695 which is significantly less than the original engineer's estimate. Peoria and the FCDMC will share the cost of this project.

Project Number: EN00219
Total Project Budget: \$3.0M
Council District: Mesquite

Key Features:

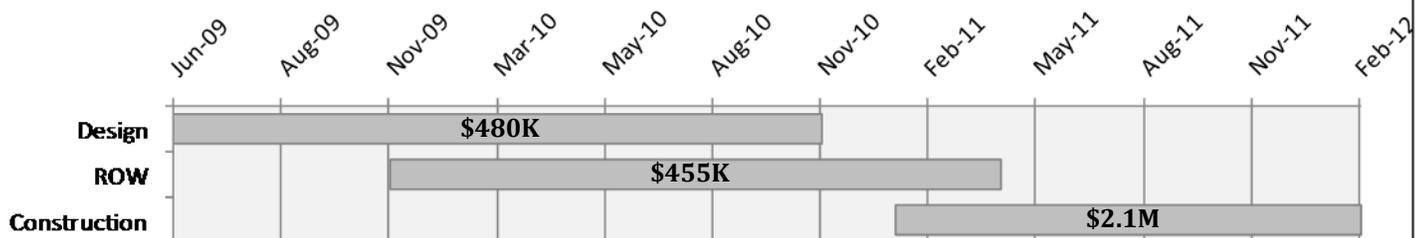
- Inter-agency project— lead agency is the Flood Control District of Maricopa County
- Drainage improvements along Pinnacle Peak Road from 99th Avenue to 104th Avenue
- 15-acre multi-use, storm water storage basin
- Roadway improvements are not included with this project

Interesting Fact:

Using the existing box culvert undercrossing built with Lake Pleasant Parkway avoids disruption to Lake Pleasant Parkway travel.



Project Budget & Timeline



SCOTLAND YARD NEIGHBORHOOD PARK

PROJECT LOCATION: 93RD AVENUE AND CHOLLA



Contractor Selected for Construction, Award in December

Scotland Yard Neighborhood Park will be constructed at the former site of the City of Peoria Maintenance Operating Center. The park will be approximately 8-acres in size. Providing a park to this area will not only enhance the existing site, but allow for the local residents to feel a greater sense of pride in their neighborhood and hopefully an improved feeling of community.

Taking advantage of several sustainability efforts, portions of the landscaped areas will utilize recycled concrete for ground cover, curbing, boulders and drainage material. Incorporating a dog park at the south end of the site will be a key feature for visitors with pets.

A tot friendly playground area separated from a 5-12 year old play area incorporated with large shade structures, will allow for visitors to enjoy the park year round. On the north end of the project, visitors will immediately appreciate the citrus grove showcasing several citrus varieties that once appeared in groves throughout the city.

With a contractor identified through a low bid process, awaiting Council approval on December 7th will allow the city to mobilize the contractor onsite by January 2011. Construction is anticipated to continue through summer with an opening by August 2011.

Project Number: CS00123
Total Project Budget: \$1.8M
Council District: Palo Verde

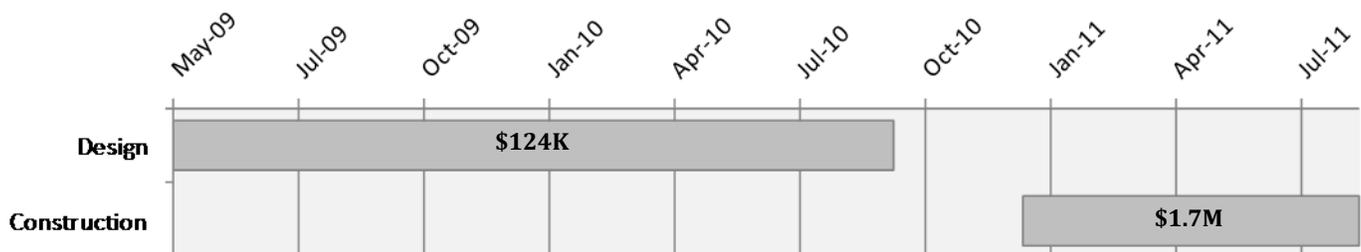
Key Features:

- Substantial landscape area utilizing recycled concrete for ground cover
- Large dog park amenity
- Turf size minimized for water conservation
- Basketball court and tennis court amenities
- Citrus groves

Interesting Fact:

Over 700 cubic yards of recycled concrete currently stored on-site will be used for portions of the landscaped area of the park.

Project Budget & Timeline



SUN AIR ESTATES PRIVACY WALL

PROJECT LOCATION: 95TH AVE; NORTH LN TO MOUNTAIN VIEW RD



Sun Air Estates Privacy Wall Goes Vertical

One of the projects included in the 2008 bond election was the design and construction of the Sun Air Estates Privacy Wall between Peoria Avenue and Mission Lane. Homes in this area primarily back directly to 95th Avenue, with no existing privacy walls in place.

This project will provide privacy walls along the west side of 95th Avenue to protect the residential homes in this area. The funding for the design and construction of Phase 1 of the Sun Air Estates Privacy Wall between North Lane and Elm Avenue was programmed in Fiscal Year (FY) 10, and the design and construction of Phase 2 between Elm Avenue and Mountain View Road is programmed in FY11.

There are many utilities located in the city right-of-way and within the public utility easement that run parallel to and cross the proposed wall location. As a result, options for the location of the wall were limited. The selected location of the wall is three feet behind the sidewalk. The wall will be six feet high and consist of a four-inch interlocking fence block, medium brown with split face accents.

Although the design of the wall was completed in July 2010, the award of the construction contract was delayed until October 5, 2010. This delay allowed the various utility companies to relocate their facilities prior to construction of the wall. Construction is anticipated to be complete by February 2011.

Project Number: EN00277

Total Project Budget: \$303K

Council District: Pine

Key Features:

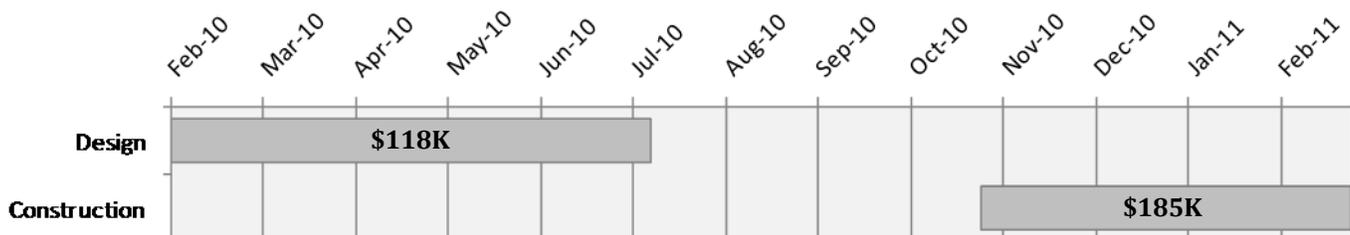
- 14,902 square foot concrete block masonry wall
- Widen sidewalk
- Install handicap ramps at Elm Avenue
- Restore landscape/irrigation system

Interesting Fact:

The winning contractor for the project was selected in a competitive low bid process. The contract price is \$185,182, much less than the original engineer's estimate of \$446,771.



Project Budget & Timeline



VISTANCIA RESERVOIR AND BOOSTER PUMPS STATION

PROJECT LOCATION: VISTANCIA 11416 WEST DYNAMITE BLVD



Vistancia Gets Additional Storage / Pumping Capacity

In January of 2010, the city's construction team started on the first major renovation of the Vistancia Zone 4/5 Reservoir and Booster Pump Station site. All potable water provided to the Vistancia development originates from this site.

It is located in the Vistancia development at 11416 West Dynamite Boulevard. Potable water wells throughout the Vistancia development convey water to this site,

which in turn delivers this water to the potable water distribution system at the Vistancia development. The current Vistancia Utility Master Plan identified needed improvements to Zone 4/5 Reservoir and Booster Pump Station. Construction is anticipated to be completed in early 2011.

Project Number: VIS0016

Total Project Budget: \$2.5M

Council District: Mesquite

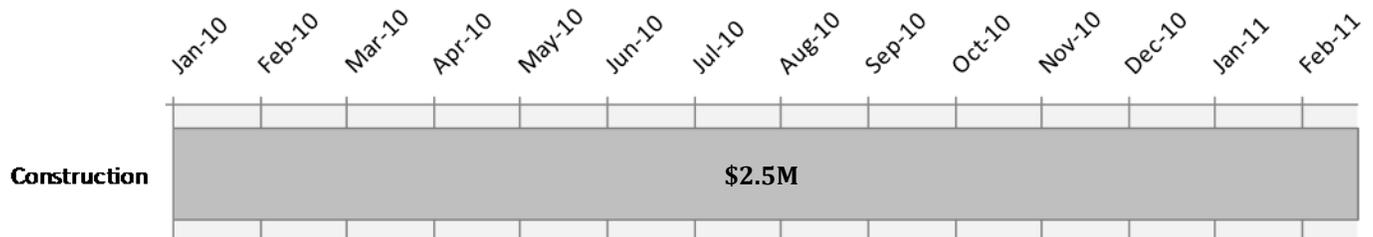
Key Features:

- Installed a 2.5 million gallon potable water storage tank increasing overall storage to 4 million gallons
- Additional emergency generator to supplement existing emergency power needs. The new generator will more than double the backup capacity to 1500 MW
- Installation of added pump capacity for delivering water to the water distribution system
- Improvements to the disinfection and monitoring of water quality
- Updating of supervisory control and data acquisition (SCADA) equipment and programming for this site and the operational wells

Interesting Fact:

All potable water for Vistancia is provided by wells connected to this site.

Project Budget & Timeline



WASHINGTON ST STORM DRAINAGE ALLEY

PROJECT LOCATION: ALLEY SOUTH OF WASHINGTON ST; GRAND AVE FRONTAGE RD TO 83RD AVE



Let the Undergrounding Begin!

On October 19, 2010, Council awarded the construction contract and two utility agreements for the construction of the project. Improvements will correct a drainage problem at the intersection of the alley and the frontage road and further enhance the appearance of the alleyway by converting the overhead electric and telecommunication lines to underground. The limits of the conversion are from 83rd Avenue to Grand Avenue primarily within the alleyway. These enhancements will significantly improve the aesthetics to one of our main entrances to Oldtown Peoria and provide revitalization to the adjacent commercial properties.

This project will improve the alleyway, located just south of Washington Street,

between 83rd Avenue and the Grand Avenue frontage road. Improvements will include installation of a new concrete gutter down the center of the alley to mitigate a surface drainage problem. In addition, existing overhead power and telecommunication lines will be converted to underground as part of this project. New utility service connections will be provided to each of the impacted businesses within the limits of the project.

Construction of this project is underway and is anticipated to be completed in February 2011.

Project Number: EN00286

Total Project Budget: \$735K

Council District: Acacia

Key Features:

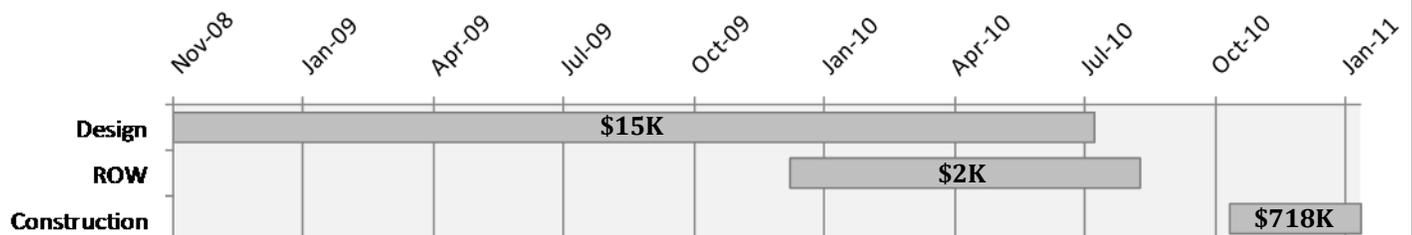
- Regrade and repave existing alleyway to provide positive drainage to city streets
- Underground overhead power and telecommunication lines
- Upgrade water services with new meter boxes

Interesting Fact:

In some cases, building codes may not allow for undergrounding without major improvements to older buildings. In such cases, these aged buildings might remain served by overhead power lines.



Project Budget & Timeline



75TH AVE & DEER VALLEY RD INTERSECTION

PROJECT LOCATION: 75TH AVE & DEER VALLEY RD



Existing Intersection Conditions

There is currently a significant travel delay in the AM peak for commuters traveling eastbound on Deer Valley Road and turning right to go southbound on 75th Avenue to the Loop 101 interchange. There is only one right turn lane in the current configuration and the backup can be extreme.

The cities of Glendale and Peoria have developed a design concept to maintain two eastbound through lanes and add a second eastbound to southbound right turn lane. This concept includes relocating the return and reconstructing the handicap ramp at the southwest corner, reconstructing the handicap ramp at the northwest corner, installing a new traffic signal pole,

adding new signal heads, changing the pedestrian heads to countdown heads, obliterating the existing striping on Deer Valley Road from approximately 300' west of the New River bridge to approximately 500' east of 75th Avenue and restriping. No right-of-way acquisition will be required. This concept will reduce the travel delays significantly.

On November 16, 2010, Council approved the creation of this new CIP project. The 75th Avenue & Deer Valley Road Intersection Improvements project budget is \$279,000.

It is anticipated that construction of this project will be completed in summer 2011.

Project Number: EN00290
Total Project Budget: \$279K
Council District: Mesquite

Key Features:

- Reconstruct southwest corner
- Traffic signal modifications
- Micro-seal Deer Valley Road; 300' west of New River Bridge to 500' east of 75th Avenue
- Re-stripe west leg to accommodate 2 through lanes and dual eastbound to southbound right turn lanes

Interesting Fact:

Current AM peak eastbound to southbound delay time is 4.5 minutes (see picture below). After project completion, it should be reduced to approximately 40 seconds.



Project Budget & Timeline



75TH AVE & THUNDERBIRD RD INTERSECTION

PROJECT LOCATION: 75TH AVE & THUNDERBIRD RD



Fifth Busiest Intersection in Peoria to Receive Additional Lanes

The population of the northern part of the Valley has exploded in recent years. Today, the intersection at 75th Avenue and Thunderbird Road operates at a level of service that is failing and will be rated at an F within just a few years unless additional capacity is added.

This project widens the intersection to three through lanes, dual left turns and dedicated right turn pockets in three directions. To do that, the city will need to purchase new right of way from 12 different owners. There are also numerous utilities that will have to be relocated, and there is a large SRP irrigation structure, a main fiber node operated by Qwest, as well as electrical lines and pipes that must be relocated.

Due to the intricate nature of these relocations, coupled with the need to maintain traffic flow during the construction, the Construction Manager at Risk (CM@R) method of construction has been chosen. The advertisement to select the contractor has been sent out and a CM@R should be chosen by February 2011.

Construction will start with utility relocations and construction of curb and gutter outside the existing roadway in the summer of 2011. SRP will relocate their large irrigation structure during their dry-up in January/February of 2012, and the construction of the road will begin at that time, finishing in the late spring.

Project Number: EN00089

Total Project Budget: \$6.3M

Council District: Willow/Palo Verde

Key Features:

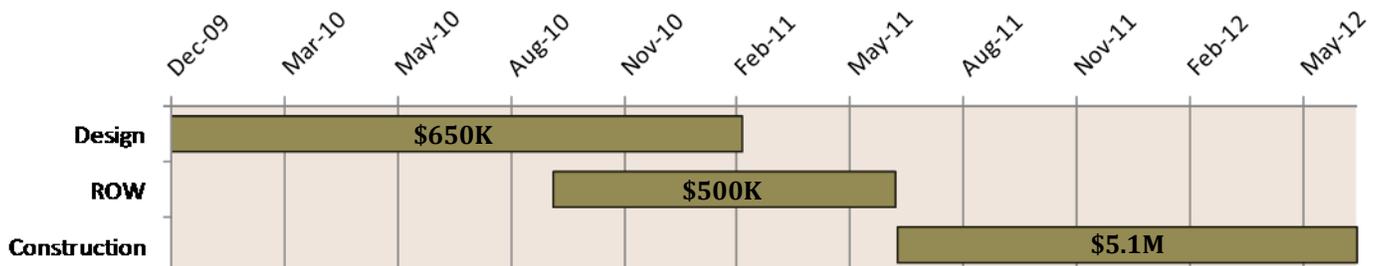
- 3 through lanes in each direction
- Dual left turn lanes at each approach
- Right turn pockets on all but the northbound approach
- Relocate nearly 1/4 mile of SRP pipe
- Connect intersection to the Traffic Management Center

Interesting Fact:

This project is programmed for \$1.9 million in reimbursements through the Maricopa Association of Governments Arterial Life Cycle Program in fiscal years 2011-2012.



Project Budget & Timeline



83RD AVE RECLAIMED WATER LINE

PROJECT LOCATION: 83RD AVE; BUTLER DR TO MOUNTAIN VIEW RD



City Plans to Build Backbone for Reclaimed Water System in Oldtown

Design is underway for a project that will install approx. 6,860 linear feet of new ductile iron reclaimed waterline that will form the backbone of the reclaimed water system in the Old Town area. This new line will provide reclaimed water from the City's Butler Drive Water Reclamation Facility to customers that can use the water for landscape irrigation, water features, and lakes. Potential customers include the

city's planned Community Park #2, the City Hall campus, other parks in the area, and privately owned landscaping.

Design is currently at the 90% stage. Design completion is expected in mid December and the project will begin construction in February 2011. Construction completion is expected in late summer 2011.

Project Number: UT00305
Total Project Budget: \$1.1M
Council District: Acacia

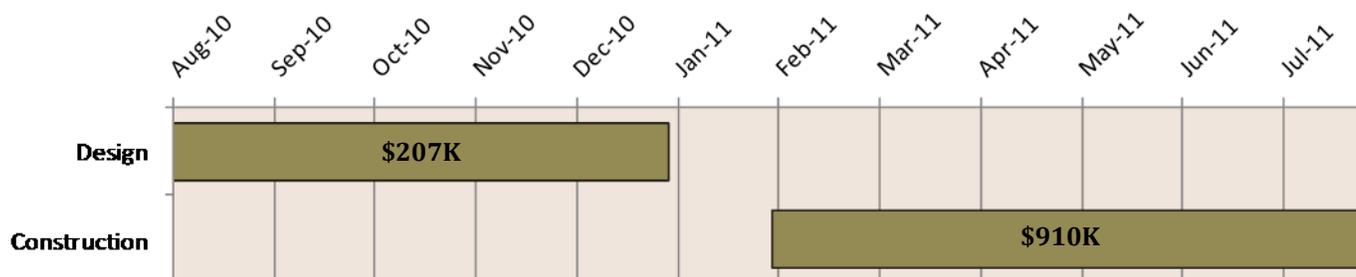
Key Features:

- Install approx. 6,860 linear feet of new 12-inch and 16-inch ductile iron waterline
- New pipeline will be installed mostly in 83rd Avenue from Olive Avenue to Mountain View Road
- Service stubs will be provided for landscape irrigation on 83rd Avenue
- Service stubs will be provided for Community Park #2's planned lake and park irrigation
- Service stubs will be provided for landscape irrigation at the City Hall campus

Interesting Fact:

Reclaimed water from the City's Butler WRF is classified as A+ effluent water. This is the highest grade for water quality that reclaimed water can achieve. The water quality also meets the requirements for HVAC cooling towers making it a possibility that it could be used for cooling at City Hall in the future.

Project Budget & Timeline



83RD AVE STREET & DRAINAGE IMPROVEMENTS

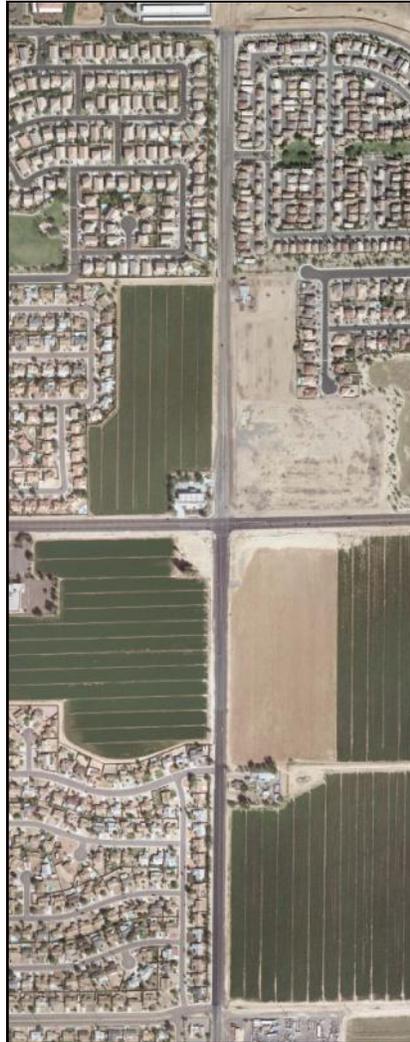
PROJECT LOCATION: 83RD AVE; BUTLER DR TO MOUNTAIN VIEW RD

Paving the Way for Community Park #2

Design began in May 2010 on this project, which will widen and/or reconstruct 83rd Avenue, from Butler Drive to Hatcher Road to include two lanes in each direction, sidewalks, bike lanes, a raised landscaped median and storm drain improvements. In addition, a raised landscape median will be constructed from Hatcher Road to Mountain View Road.

Also included with this project are the half street improvements to Butler Drive (currently unpaved) from 79th Avenue to 83rd Avenue which includes a new 8" waterline. It is anticipated that the remaining half street improvements to Butler Drive will be completed by future development.

This project will be carefully coordinated with the planned City of Peoria Community Park #2 Capital Improvement Project, that will be located at the southeast corner of 83rd Avenue and Olive Avenue. Accommodations are being made for a future transit system (bus pullouts) as well as pedestrian refuge crossings on 83rd Avenue to allow for safe pedestrian crossings, as the park is located adjacent to existing residences. It is anticipated that the widening of 83rd Avenue will be complete prior to the opening of Community Park #2 in the spring of 2013.



Project Number: EN00313
Total Project Budget: \$6.7M
Council District: Acacia

Key Features:

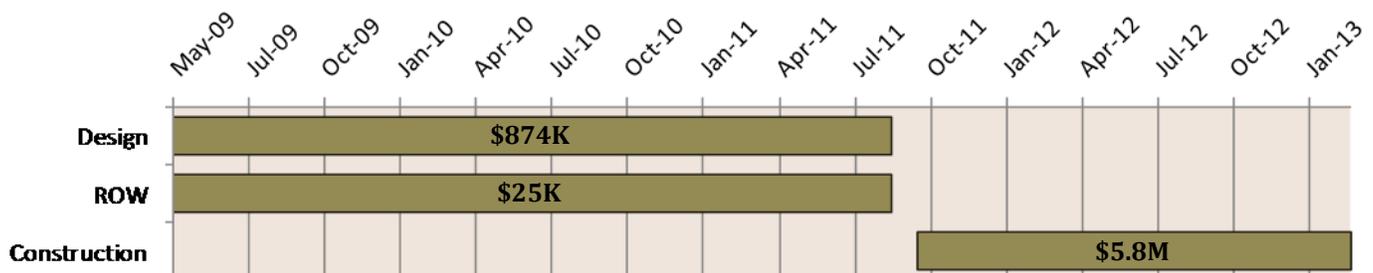
- Widen 83rd Avenue to two lanes in each direction with bike lanes
- Extend Butler Dr between 83rd Avenue and 89th Avenue
- Install raised landscaped median with large trees and shrubs (Butler Drive to Mountain View Road)
- Utilize reclaimed water for landscape irrigation
- Coordinated with Community Park #2 planned improvements

Interesting Fact:

This project is programmed for \$4.1 million in reimbursements through the Maricopa Association of Governments Arterial Life Cycle Program in fiscal year 2011.



Project Budget & Timeline



103RD AVE & NORTHERN AVE PARTIAL RECONSTRUCTION

PROJECT LOCATION: 103RD AVE & NORTHERN AVE



Pavement Restoration Saves Maintenance Dollars

The section of Northern Avenue that is now just west of the Loop 101 was historically an agricultural road with light traffic. The county paved it years ago with a very thin layer of asphalt because it just didn't get much use back then. Since the annexation of that part of Northern Avenue into the city, the large number of residential developments that were built during the last boom has changed the road into a major arterial roadway. Northern Avenue now is used by large numbers of east and west-bound commuters every day.

Today, the asphalt around the intersection at 103rd Avenue has deteriorated to such a poor condition that the city's Public Works-Utilities Department reports that maintenance of the road has become very expen-

sive. It is now more economical to reconstruct the pavement than continue the excessive maintenance. As a result, this project will remove and replace approximately 400 feet of the pavement on either side of the intersection.

Although the project was ready for construction earlier, the city is holding off on the repairs until current restrictions on Olive Avenue are finished so that there will be at least one unobstructed east-west route for travelers. The project will be complete in April of 2011. Construction should only take four weeks, but the road will be narrowed to one lane in each direction for the duration of the construction.

Project Number: PW11140

Total Project Budget: \$405K

Council District: Pine

Key Features:

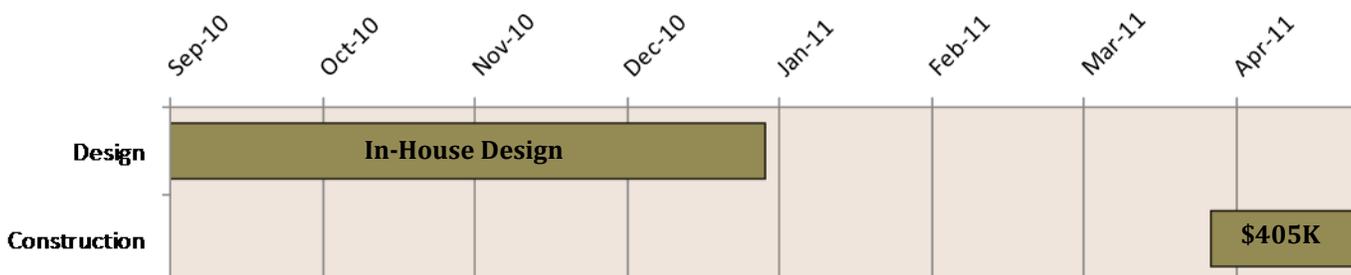
- The surface of Northern Avenue is only a few inches thick and is failing
- Maintenance of the road is not possible as patching is no longer feasible
- Remove and replace 400 feet of road on either side of the intersection
- Roadway will be narrowed to one lane in each direction during four-week construction period

Interesting Fact:

At peak use times, Northern Avenue can get as much traffic per lane as Bell Road.

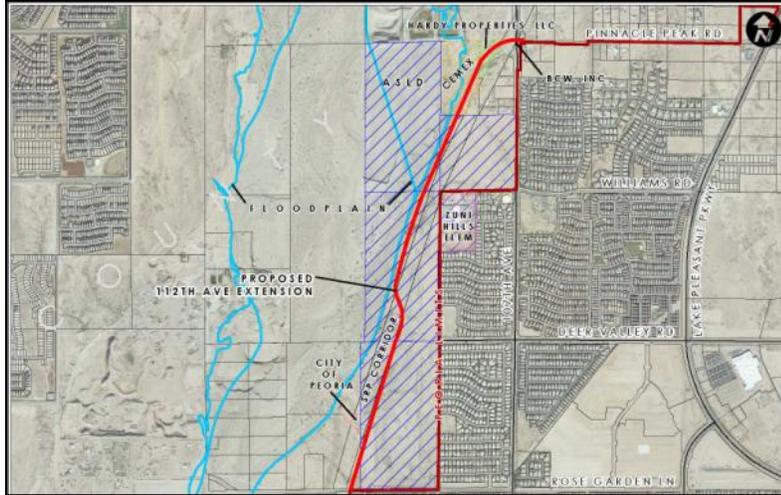


Project Budget & Timeline



AGUA FRIA TRUCK ROAD RELIEVER

PROJECT LOCATION: 112TH AVE & ROSE GARDEN LN TO 107TH AVE & PINNACLE PEAK RD



Preferred Alternative is Closer to Reality

In late October, the project team comprised of city staff, the design consultant, State Land Department, APS, SRP, MCDOT, MCFCD, Peoria Unified School District, Arizona Rock Products representatives, and private land owners met to determine the preferred alignment for the Agua Fria Truck Road Reliever. Of the alternatives presented, the decision was made to combine two alternatives to meet the needs of the City of Peoria, State Land, MCDOT, and SRP. The consultant will finalize the alternative and we will follow up with the aforementioned groups for final agreement.

The preferred alternative is located within the limits of the Agua Fria River. This alternative will maximize the use of the State Land, minimize the noise impacts to future

neighborhoods, and provide the least amount of impact to APS and SRP utilities and existing cultural resource sites.

The next steps will be to begin the final design, which will include permits from the Army Corp of Engineers and MCFCD. Additionally, we will need to write the legal descriptions to begin the lengthy process of obtaining right-of-way from State Land for the majority of the project limits.

The goal of this project is to reduce the truck traffic on Beardsley Road by providing an alternate truck route for trucks traveling north or west from the mining operations. The anticipated date of completion is late 2012. The schedule may be impacted by acquisition of State land or permits from Army Corp of Engineers or MCFCD.

Project Number: EN00271
Total Project Budget: \$10.2M
Council District: Mesquite

Key Features:

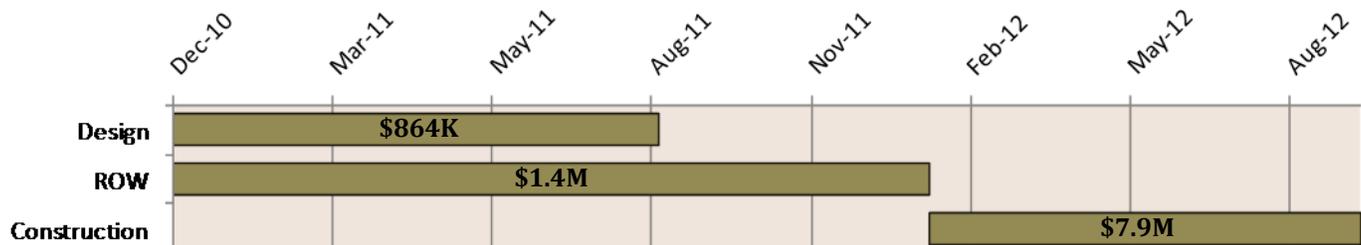
- Alternative truck route for mining operations traveling north or west
- A new two-lane roadway for trucks traveling from Rose Garden Lane and 112th Avenue to 107th Avenue (at the Pinnacle Peak Alignment)
- Coordination with multiple agencies

Interesting Fact:

When completed, this roadway should reduce approximately 50% of the overall truck traffic on Beardsley Road.



Project Budget & Timeline



BEARDSLEY RD; 99TH AVE TO LAKE PLEASANT RD

PROJECT LOCATION: BEARDSLEY RD; 99TH AVE TO LAKE PLEASANT RD



Long Awaited Final Segment of Beardsley Road to be Widened and Upgraded

The City has programmed storm drain, water system and roadway improvements for Beardsley Road between 83rd Avenue and Lake Pleasant Road. Last summer, the City completed the improvements on Beardsley Rd between 83rd Avenue and 99th Avenue. The improvements for the remaining section of Beardsley Road between 99th Avenue and Lake Pleasant Road is currently under design.

The improvements will consist of drainage, paving, curb, gutter, sidewalk, streetlights, landscaping, reconstructing the asphalt and sub-base along the south half-street, intersection reconstruction, and traffic signal improvements.

Upon completion of construction of the improvements Beardsley Road will accommodate 2 lanes of traffic in each direction, a two-way left turn lane and bike lanes. The intersection of Beardsley Road and Lake Pleasant Road will accommodate additional left turn storage for eastbound to northbound, dual left turn lanes for southbound to eastbound, and new right turn lanes for westbound to northbound and southbound to westbound.

Project Number: PW00065
Total Project Budget: \$4.5M
Council District: Mesquite

Key Features:

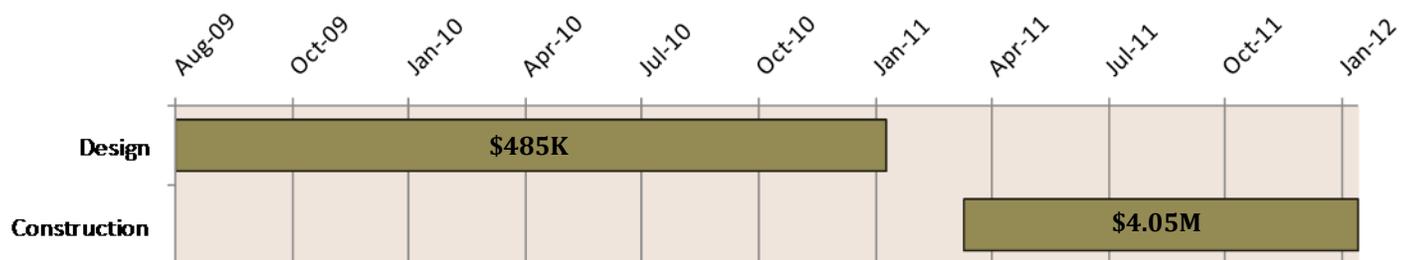
- Widening of Beardsley Rd along Sun City east of the Lake Pleasant Rd
- Drainage improvements for the structure at the Lake Pleasant Road intersection, along the south side from LPR to the west approximately 800 feet
- Concrete paving to withstand damage from trucks turning
- Wider curb radii for improved truck turning
- Used existing ROWs and easements

Interesting Fact:

The intersection will be constructed with concrete instead of asphalt due to heavy truck usage in this area.



Project Budget & Timeline



COMMUNITY CENTER BUILDING ADDITION

PROJECT LOCATION: 83RD AVE AND WASHINGTON ST



Eagerly Awaited Community Center Expansion has Arrived

The City of Peoria's Community Center has had a long-standing presence in the downtown area. The facility, constructed in 1982, has grown with the addition of a wing in 1984 and the construction of the annex to the east of the main facility in 1998.

As the activities and usage of the facility have increased the need for additional space was again apparent. A study commissioned by the city in mid-2008 sought to assess the conditions of the structures and site and recommended the best approach to alleviate functional deficiencies as well as space constraints.

The study delivered multiple options, of which the city made the decision to expand and integrate the existing structures. The resultant structure will incorporate the existing 14,000 feet with an addition of 10,000 feet resulting in a total of approximately 24,000 feet under one roof. The facility is to remain operational throughout construction, which will require phasing of the project with an eye toward maintaining day-to-day operations.

Project Number: CS00070

Total Project Budget: \$8.2M

Council District: Acacia

Key Features:

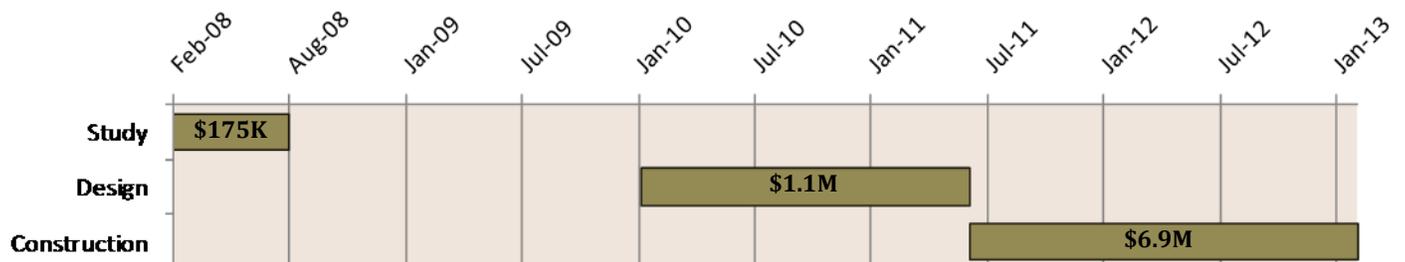
- Removal and recycling of the modular buildings and renovation of remaining existing buildings
- Addition of approximately 10,000 square feet
- New 2,100 square foot fitness room and 1,100 square foot game room
- Replacement of HVAC and lighting with new energy efficient systems
- Improved visibility of entrances with well defined access paths

Interesting Fact:

Community Center will be the second facility in the city's inventory to seek the LEED certification.



Project Budget & Timeline



COMMUNITY PARK #2

PROJECT LOCATION: SOUTHEAST CORNER 83RD AVE & OLIVE AVE



Long Awaited Neighborhood Park to Start Construction

The city's second community park is under design and will be constructed on an 85-acre site located at the southeast corner of 83rd Avenue and Olive Avenue. The new park will have five new dual use baseball/softball fields and four soccer fields, all capable of accommodating tournament play to help in revenues needed to fund the maintenance of the park.

Other amenities included are a 6-acre lake with catch and keep fishing, a large ramada area for supporting large parties, and an extensive play area for both tots and 5-12 years in age, which will include a splash pad. A dog park featuring separate cells for large and small dogs will be included with the park.

Large turf areas for casual use along with adequate parking separated into three areas of the park for efficient access depending on park usage.

The lake will be completely stored with reclaimed water from the adjacent Butler Water Treatment facility, which will ensure year round capacity. One unique feature of the park will be a rose garden located at the north entrance just south of Olive Avenue on the 81st Avenue alignment.

The design of the park is heading toward the 30% level and will be ready to start construction in the late fall of 2011.

Project Number: CS00034
Total Project Budget: \$24.1M
Council District: Acacia

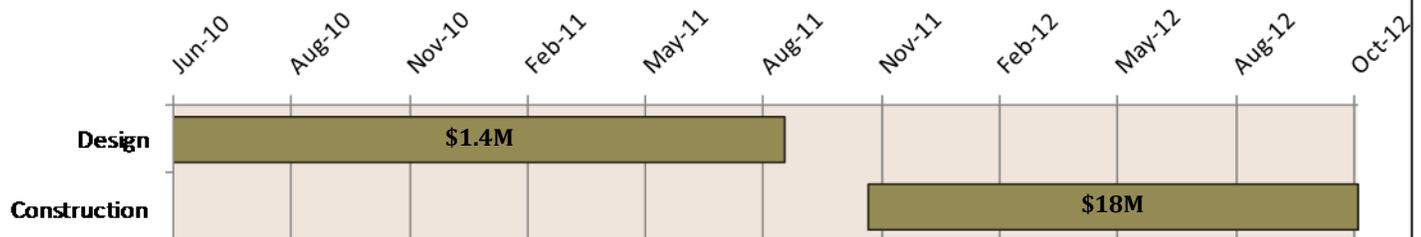
Key Features:

- 5 softball/baseball fields.
- Large dog park amenity
- 6-acre lake stocked for fishing
- 4 soccer fields
- Picnic ramada
- Kid play area
- Splash pad

Interesting Fact:

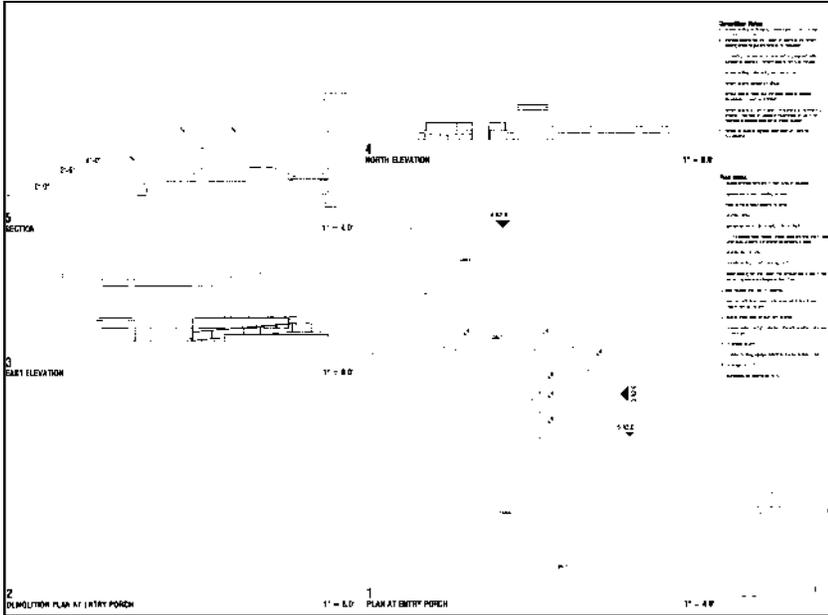
The entire irrigation system of the park will be a new system not currently used in other city parks. The system will resemble one similar to what is used on some golf courses that will allow each sprinkler head to operate as a stand-alone watering system. This will allow for highly efficient water usage and keep low water turf areas and high water turf areas properly irrigated.

Project Budget & Timeline



COUNCIL CHAMBER ADA ENHANCEMENTS

PROJECT LOCATION: MUNICIPAL OFFICE COMPLEX



Preparing for the Bid Process

Several enhancements will be made to the Council Chambers building in support of the Americans with Disabilities Act (ADA). The project will include construction of a new ramp at the exterior northeast corner of the building to provide access to the main entry, and installation of an automatic door operator at one of the main entry doors serving the main lobby. At the interior, sweep ramps will be constructed in place of existing step-downs to offer the attending public direct access to the podium and main floor. Other improvements

include plumbing fixture modifications and replacement of the assisted listening device system.

Documents are being assembled for notification of bids in December and receipt of bids in early January. Construction activity will be coordinated with the Council Chamber meeting schedules to avoid conflicts with, or disruptions to, public meetings.

Project Number: PW10300

Total Project Budget: \$360K

Council District: Acacia

Key Features:

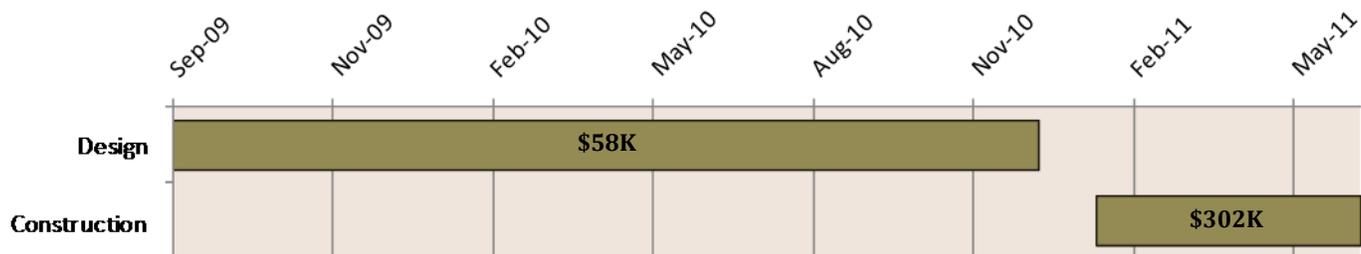
- Bid construction in December 2010 to January 2011
- New exterior ramp and automatic door operator
- Improved public access to main floor and podium
- Plumbing fixture modifications and upgrade assisted listening devices

Interesting Fact:

The project thanks Officer Bill Weight, Peoria Police Department, for his input and contributions during the design process.



Project Budget & Timeline



LAKE PLEASANT PKWY; WESTWING TO L303

PROJECT LOCATION: LAKE PLEASANT PKWY; WESTWING TO L303



Peoria to Extend Lake Pleasant Parkway to New Loop 303

The Lake Pleasant Parkway project will extend the four lane parkway from Westwing to State Route 303 Loop (303L). The street improvements will be built with the sewer, water and other utilities concurrently. The project includes a widened median, trail underpass, meandering sidewalks, and enhanced landscaping.

This newest segment of the Lake Pleasant Parkway corridor will be the first major street project built prior to development. With a goal of enhancing economic development along the corridor, the project provides the infrastructure necessary to develop along the Lake Pleasant and 303L corridors.

In addition to the street enhancements, the project will install utilities vital to the 303 corridor. The project will construct water and sewer lines to the State Route 303 area and will also coordinate or construct the dry utilities (power, gas, telephone, cable).

The Lake Pleasant Parkway design is approaching 60% design. We have received approval from the Federal Highways Administration (FHWA) to complete the design utilizing federal funds. The environmental permits have been submitted to ADOT and FHWA and we are anticipating approval in late 2010 or early 2011. Right of way acquisition has begun with submittals and meetings with State Land and the Flood Control District of Maricopa County.

Project Number: EN00241
Total Project Budget: \$42.3M
Council District: Mesquite

Key Features:

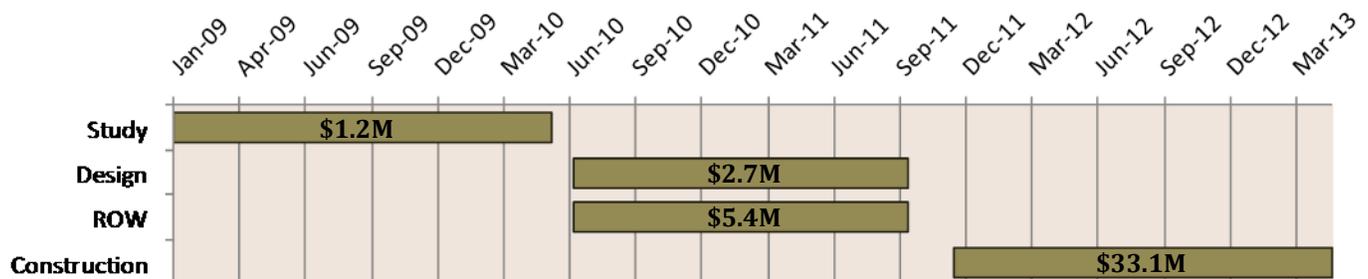
- Project will install one of Peoria’s deepest sewer lines (30’ deep)
- Provide vital infrastructure (traffic capacity, water, sewer) to the Loop 303 corridor
- New alignment to better utilize developable land in north Peoria
- Majority of the land is owned by State Land, Flood Control District and Bureau of Land Management

Interesting Fact:

This project is Peoria’s first street project designed with sustainable design and construction principles from the beginning to end.



Project Budget & Timeline



NEW RIVER TRAIL - NORTHERN TO OLIVE AVENUE

PROJECT LOCATION: 99TH AVENUE AND NORTHERN AVENUE



City Staff Revisiting New River Trail from Northern to Olive Avenue

This project is a one mile trail on the west bank of New River, located between Olive Avenue and Northern Avenue. The project includes a 10-foot wide path and landscaping along the entire section. The path is partially funded in FY12 with federal funding administered through ADOT.

The project may also include an underpass at Northern Avenue and a low water crossing structure to connect into the Glendale

regional trail along New River. The project is requested in FY11 by utilizing federal stimulus funding entirely. Future year funding utilizes a combination of federal funds and matching funds from City of Peoria sources. Design of the trail and landscaping of the one-mile trail segment is complete.

Project Number: CS00125

Total Project Budget: \$734K

Council District: Pine

Key Features:

- Paved asphalt path
- Safety guard rail
- Landscaping along trail path
- Finalizes paved trail for New River Trail from Northern Avenue to Beardsley Road

Interesting Fact:

This project will receive \$500 thousand in federal CMAQ funding.

Project Budget & Timeline



NEW RIVER TRAIL - OLIVE AVENUE UNDERPASS

PROJECT LOCATION: OLIVE AVE AT NEW RIVER



Joint Project Agreement with ADOT approved by Council

The project is for an underpass located at Olive Avenue on the west side of New River. The underpass will allow for a safe crossing of Olive Avenue and will provide uninterrupted use along the trail alignment. Design of this project is complete and ready for bid based on federal funding requirements. Construction of this underpass is planned in 2011.

With this project receiving federal funds, the Arizona Department of transportation (ADOT) will administer the construction of the project. City staff will still be a partner during the construction phase and will be available to assist ADOT during any coordination required during construction.

Project Number: CS00142

Total Project Budget: \$1.2M

Council District: Pine

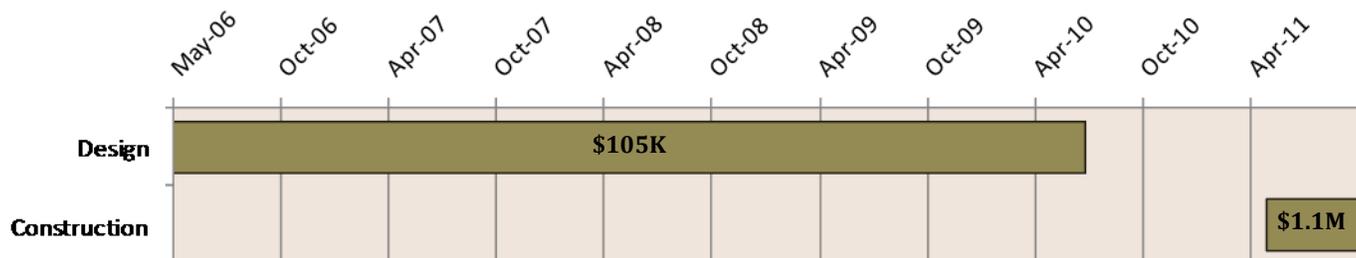
Key Features:

- Tunneled under Olive Avenue
- Lighted within tunnel
- Connect New River Trail from Northern Avenue to Grand Avenue
- Project will receive \$700 thousand in federal CMAQ funding

Interesting Fact:

This will be the only underpass in Peoria to have a lighted tunnel walkway.

Project Budget & Timeline



NORTHERN PARKWAY

PROJECT LOCATION: NORTHERN AVE FROM 71ST AVE TO 115TH AVE



Northern Avenue Concept

Northern Parkway is a planned regional transportation facility that extends approximately 12 miles from SR 303L (Estrella Freeway or Loop 303) to US 60 (Grand Avenue) and will replace Northern Avenue for a portion of this distance. The proposed Northern Parkway will be an enhanced arterial and will have grade separated intersections at major cross streets to eliminate traffic signals along Northern Parkway. The ultimate roadway will have approximately twice the traffic-carrying capacity of a typical arterial and will enable traffic to average speeds of 45 mph as compared to typical arterials with average speeds of 25 and 35 mph.

The Northern Parkway will provide a higher speed, higher capacity east-west

route in the central portion of the West Valley, where no freeways are planned.

A proposed construction phasing plan has been developed. In the first phase, interim construction is planned for Sarival Avenue to Dysart Road. The improvements include right-of-way acquisition, two lanes each direction with grade separated intersections at Sarival Avenue, Reems Road and Litchfield Road with a half bridge over the Agua Fria River.

The proposed concept for the portion of the Northern Parkway located within the City of Peoria jurisdictional boundaries is summarized to the right along with the proposed construction schedule.

Project Number: EN00142
Total Project Budget: \$19.8M
Council District: Pine/Acacia

Key Features:

Northern Parkway/L101 TI (FY14-16)

- Northern Avenue Traffic Interchange widening at Loop 101
- 3 through lanes plus an auxiliary lane

115th Ave to 111th Ave (FY12-15)

- 2 through lanes plus an auxiliary lane
- Concrete barrier or landscaped median
- Traffic signal at 115th Avenue

111th Ave to 99th Ave (FY21 - 25)

- 3 through lanes plus an auxiliary lane
- Concrete barrier or landscaped media
- Traffic signal at 107th Avenue
- Access controlled by-pass depressed under 103rd Avenue

Northern/L101 TI to 91st Ave (FY21 - 25)

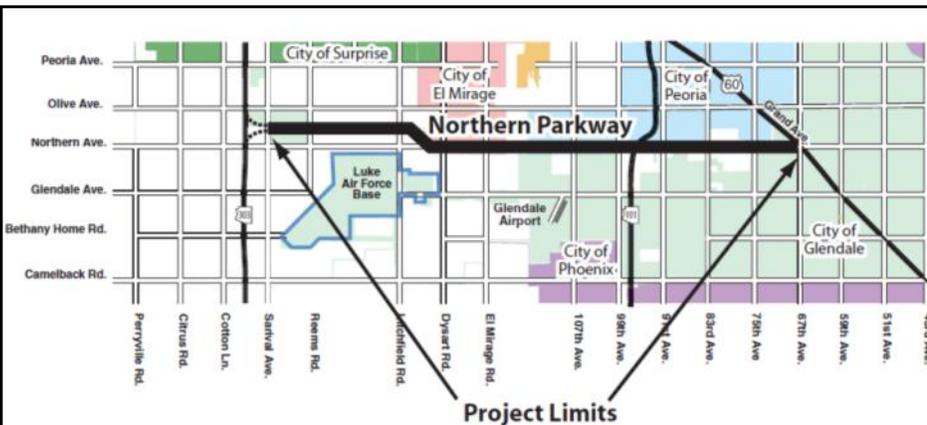
- Maintain Northern Avenue configuration to provide access to adjacent properties and Loop 101
- Access controlled by-pass elevated over 93rd Avenue & 91st Avenue
- 3 through lanes plus an auxiliary lane

91st Ave to 71st Ave (unfunded)

- Grade separated intersections at 83rd Avenue & 79th Avenue (see picture above to the left)
- No traffic signals
- Three neighborhood connector streets
 - Rovey Estates to 91st Avenue
 - 87th Avenue to 83rd Avenue
 - SRP Generating Station

Interesting Fact:

Maricopa County Department of Transportation (MCDOT) is the lead agency on this multi-jurisdictional project, including MCDOT and the cities of Glendale, El Mirage and Peoria.



OSUNA PARK RENOVATIONS

PROJECT LOCATION: JOHNNY E. OSUNA MEMORIAL PARK - 83RD AVE / WASHINGTON ST



Design Moves Forward Approaching Final Plans

The vision for the Osuna Park project was revisited after plans to develop commercial space integrated with the park ended. The project scope was adjusted to expand the boundary of the park to include adjacent parcels, which more than doubled the park area. This resulted in greater opportunity for the park, and therefore a change in direction for the project. A new design team, PMC, was brought on board to master plan the new park project. The master planning effort included engagement of the community to allow public input on the developing plan. The new master plan was presented to Council as a project update in March 2010, and was finalized in April.

A design services contract was issued to PMC to continue its effort on the project with the preparation of construction documents. The design process is in full swing with the recent completion of a 75% de-

sign review and a final design package due in January 2011, for permit submittals.

A lighting photometric study has been prepared to study the placement of light fixtures. Utility easements were prepared to record segments that were not formally identified.

The project will provide a number of amenities, which will include accommodation for set up of portable stages for concerts or other public presentations, accommodations for outdoor events organized by the theatre, art components, public restrooms, a rose garden, and more. The park will serve as a gateway to the Oldtown area and has the potential to define the local town atmosphere. There will be direct exposure from three major roadways: Peoria Avenue, Grand Avenue, and 83rd Avenue.

Project Number: CS00095

Total Project Budget: \$2.1M

Council District: Acacia

Key Features:

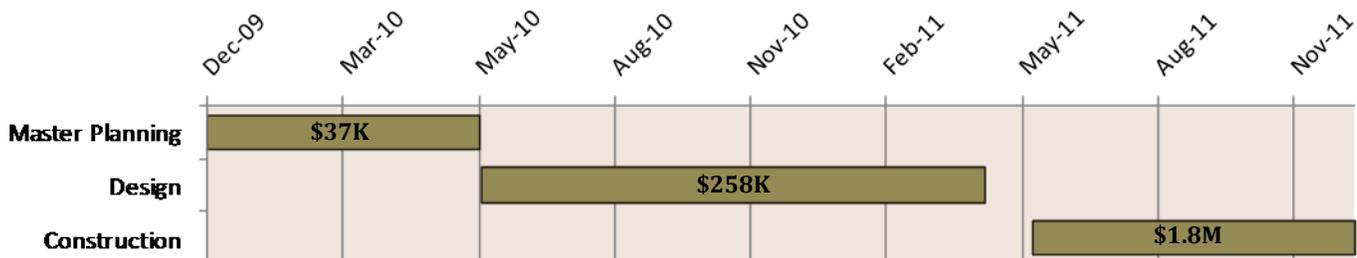
- Gateway to the Oldtown area
- Park boundaries expand to a total of 3.75 acres
- Direct exposure from Peoria Avenue, Grand Avenue, 83rd Avenue, and Peoria Oldtown
- Art components to be integrated
- Accommodations for a variety of events
- Restroom facilities

Interesting Fact:

Coordination with existing utilities will include the abandonment of Qwest lines and the replacement of an aged SRP 24" irrigation line in advance of the construction effort.



Project Budget & Timeline



PALO VERDE PARK

PROJECT LOCATION: 73RD AVENUE AND BRILES ROAD



Long Awaited Neighborhood Park to Start Construction

Palo Verde Neighborhood Park encompasses the eastern 4.5 acres of the approximately 20-acre Palo Verde Open Space Park. When the park was master planned as part of the Terramar subdivision, the developer and city did not realize that the project area near 73rd Avenue and Briles was rich in cultural artifacts from early native american occupation. Early analysis revealed that a park could be constructed if certain artifact extraction/documentation procedures were undertaken. Public meetings were held to seek input and identify the recreational and park needs for the community. Design concepts were developed by J2 Engineering and Environmental Design. Park amenities are listed in the "Key Features" portion of this report.

Cultural data recovery services were required to radar map the park subsurface for potential underground ruins. Detail excavations of potentially rich areas began

in September, concluding in a draft report of findings to the State Historic Preservation Office (SHPO). In late November, Peoria received the necessary SHPO feedback to begin the construction bid process.

To protect the natural wash channels known as Frog Tanks Wash, the project will also consist of the construction of soil cement drainage check-dams to slow erosion. During construction, great care must be taken to minimize the impacts of the construction upon the site. An archeologist will be on-site during construction during any deep soil excavations, should any additional artifacts be discovered.

Palo Verde Park construction bidding is underway with a bid due date in January 2011. Park development is anticipated to start March 2011 with completion by Fall 2011.

Project Number: CS00113
Total Project Budget: \$1.3M
Council District: Mesquite

Key Features:

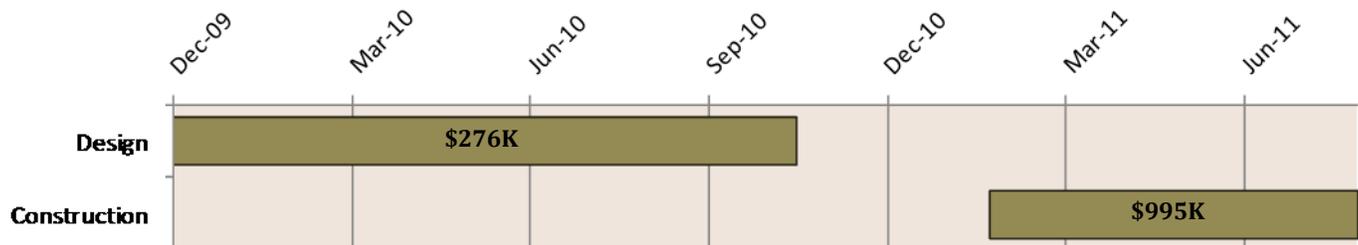
- 27,000 square feet open turf area
- Playground area for ages 2-5 & 3-5
- Creative play serpiente wall
- Lighted basketball half court
- Restroom facility

Interesting Fact:

The project area is at the center of the prehistoric archaeological village of Palo Verde Ruin, a historical site recognized as the premier village in the New River Basin that probably was the center of a community, including small farming and resource extraction sites along the river.



Project Budget & Timeline



SKUNK CREEK TRAILHEAD @ 83RD AVE

PROJECT LOCATION: 83RD AVE & SKUNK CREEK



Equestrians will Soon have a Connection to the Skunk Creek Trail

This project utilizes a channel maintenance easement from the Flood Control District of Maricopa County at the southeast corner of 83rd Avenue and Skunk Creek for development of a trail head and rest area for users of the Skunk Creek/ACDC Trail.

The Skunk Creek Trailhead project has been combined with the Sports Complex Trail project, which includes landscape and trail improvements on the north bank of Skunk Creek wash between 83rd Avenue and 75th Avenue. The close proximity of these two smaller projects allows for cost savings by combining the design and construction efforts.

This also promotes synergy by planning for future connections between the Skunk Creek and Sports Complex trails.

Design efforts are underway focusing on site layout, a study of the deceleration lane along with vehicle and pedestrian navigation. Ongoing meetings with the Flood Control District of Maricopa County center on maintenance access as well as opportunities for river crossings to connect the Skunk Creek Trail on the south side of the river to the Sports Complex Trail to the north.

Project Number: CS00091

Total Project Budget: \$1.5M

Council District: Willow

Key Features:

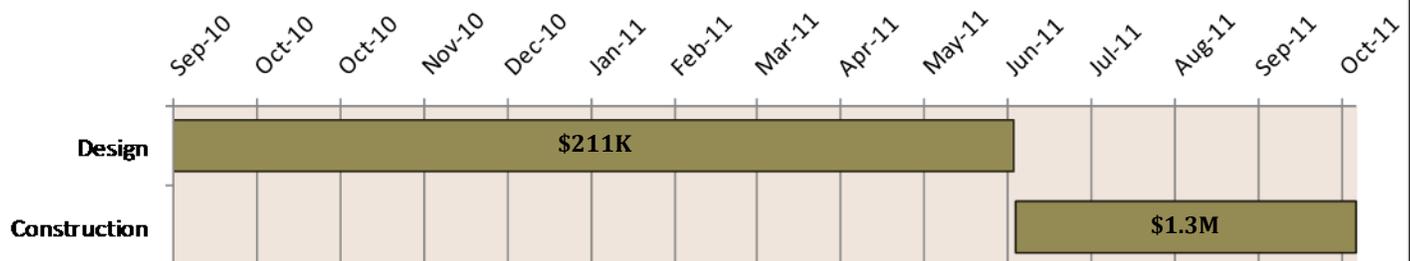
- Parking accommodations at the trailhead for 3-5 horse trailers
- Deceleration lane on northbound 83rd Avenue
- Ramada for resting and viewing adjacent to Skunk Creek at the trailhead
- Horse watering facilities and hitching posts
- Drinking fountains along the Sports Complex Trail, as well as the trailhead
- Lighting at the trailhead and along the Skunk Creek under the 83rd Avenue and Loop 101 overpasses

Interesting Fact:

The Skunk Creek Trailhead is located adjacent to designated wetlands.



Project Budget & Timeline



SPORTS COMPLEX IMPROVEMENTS

PROJECT LOCATION: 83RD AVENUE & MARINERS WAY



Sports Complex Project Reaches the 7th Inning Stretch

The Sports Complex Improvements project will ultimately entail major and minor improvements to the facilities at the Peoria Sports Complex as agreed upon between the City of Peoria, San Diego Padres, and the Seattle Mariners. The Sports Complex Improvements study precedes the physical improvements and will contain the results of a year of interactions with both baseball organizations. It is anticipated that the final improvements will include major expansions and renovations of each team's clubhouse to bring the player development areas up to Cactus League norms. Pending available funding, improvements to the main stadium may include additional fixed and shaded seating (in lieu of bleachers), expanded ticketing and concessions, and team stores.

The Peoria and Populous (architect) team have met with the Arizona Sports and Tourism Authority to validate anticipated future funding. Cost estimates are being prepared for the master list of possible improvements with the anticipation that value / cost decisions will be necessary to remain within the available funding.

Peoria is hoping to make final presentations to both the Mariners and Padres in the spring of 2011, with the goal of entering lease negotiations with each team after Spring Training. The project team is anticipating the balance of calendar year 2011, for team negotiations. Design and construction would carry into 2012 and 2013.

Project Number: CS00022
Total Project Budget: \$11.0M
Council District: Willow

Key Features:

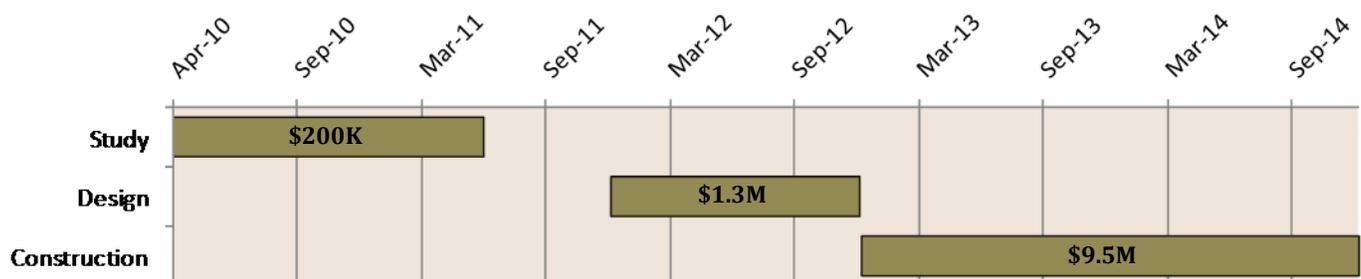
- Expansion of the Padres and Mariners clubhouses to improve player development program spaces
- Possible expansion of the fixed seating and overhead shade in the main stadium
- Possible expansion of the main stadium ticketing, concessions, and retail spaces to further revenues
- Major HVAC systems upgrades in the team clubhouses

Interesting Fact:

Peoria Sports Complex is used 12 months per year by both the San Diego Padres and the Seattle Mariners for player development and rehabilitation.



Project Budget & Timeline



COMMUNITY WORKS PROGRAM

PROJECT LOCATION: CITY WIDE



Small Projects Can Make a Big Difference

The City of Peoria Community Works Program provides an annual budget for projects that have a local benefit or that may arise during the fiscal year and are not identified in the city's annual Capital Improvement Program. Community works projects can be anything from completing a missing section of sidewalk, widening existing sidewalk adjacent to a school, adding signage adjacent to a school, re-stripping a crosswalk or roadway based on citizen or staff concerns, or completing a small section of roadway.

This fiscal year we are continuing the existing Quick Response Concrete and Asphalt and Quick Response Signing and Striping programs. These programs are for small requests that come up during the year that

can be easily remedied with city forces or existing on call contracts. Many of the requests come from the school districts or from the Traffic Control Committee.

We are continuing to maintain the Plant Salvage Nursery at the Pinnacle Peak Public Safety Building where we are able to store trees that are salvages from city projects or donated from private parties such as APS. We maintain the plants at the site and then use the plants for city projects or to replace dead trees at city sites or within the city maintained right-of-way.

We will be completing two section of roadway along 107th Avenue between Northern and Olive and then restriping that roadway to accommodate bike lanes.

Project Number: COP0001

Total Project Budget: \$1.1M

Council District: Various

Fiscal Year 2011 Streets Projects:

- Quick Response Signing & Striping
- Quick Response Concrete & Asphalt
- Arterial Street Bike Lane Retrofits
- 91st Avenue; Northern Avenue to Butler Drive
- 107th Avenue; south of Olive Avenue
- Northwest corner of 107th Avenue and Northern Avenue
- Plant Salvage Nursery
- 81st Avenue Roadway Restriping
- 71st Avenue; Thunderbird Road to Redfield Drive

Interesting Fact:

The first two staggered crosswalks in Peoria at Liberty and Centennial high schools were Community Works projects.



Liberty High School Crosswalk



87th Avenue at Joan de Arc



Paseo Verde Elementary Sidewalk Widening

TRAFFIC SIGNAL PROGRAM

PROJECT LOCATION: CITY WIDE



Annual Program Improves Safety of Transportation System

This is a yearly program that provides funds for capital improvements to the entire system of traffic signals. Each year the Engineering Services Division, Traffic Engineering, and Public Works have a series of meetings to develop the program and spend the money in the most effective way. A series of tasks is set up under this program with the intention of making the system either work better or improve the safety of the existing system.

This year, while only one new signal is being added at 89th Avenue and Union Hills, a number of other work elements are being performed that will add to the safety and operability of the existing system. Radar feedback signs are being installed along 91st Avenue in the Desert Harbor

area to remind drivers that the speed limit through that area is lower than on other arterials, and dedicated left turns are being installed at the intersections of 83rd Avenue and Olive Avenue and at Westwing Parkway and High Desert Drive.

Two other work elements that will add to the safety of the existing system are adding the "count-down" pedestrian heads to a number of intersections as well as replacing the old eight inch diameter heads with the new 12-inch diameter heads.

The program is underway now and the minor work can be completed by April of 2011, while the major intersection work will take until the summer to finish.

Project Number: EN00170
Total Project Budget: \$1.05M
Council District: Various

Key Projects:

- Construct traffic signal at Union Hills Drive & 89th Avenue
- Install 8 Radar Feedback Signs; 6 at 91st Avenue; Thunderbird Road to Greenway Road and 2 at Desert Harbor Drive
- Install video detection at 5 intersections
- Replace 8 inch diameter signals with 12-inch heads at 15 intersections
- Install countdown pedestrian heads at 10 intersections
- Relocate existing traffic signal pole at the southeast corner of 75th Avenue & Cactus Road
- 83rd Avenue and Olive Avenue traffic signal modifications to accommodate protected/permissive left turn movements
- Upgrade equipment at 91st Avenue & Peoria Avenue
- Install permissive/protected left turns at Westwing Parkway & High Desert Drive

Interesting Fact:

The City operates 106 signalized intersections across jurisdictional boundaries. With our new Traffic Management Center, we will soon have the capability to remotely control timing of 100% of these intersections.



HAWK at 91st Ave and Tumblewood Dr



Countdown Pedestrian Head

UTILITY UNDERGROUNDING PROGRAM

PROJECT LOCATION: CITY WIDE



Typical Overhead Power Lines in Downtown Area

This is a new program based on Council’s request to start an initiative to underground existing 12kV overhead power lines throughout the city. This condition is most prevalent in the older areas of Peoria.

Staff has started to develop a scope that will be used to hire a consultant who will be responsible for preparing a policy with prioritization criteria that will help to determine a ranking of projects along with cost estimates. They will also identify po-

tential risks and obstacles associated with undergrounding overhead power lines.

The city has an initial budget of \$200,000 this fiscal year to hire a consultant. Starting next year, the program will receive \$500,000 per year for the undergrounding of power lines based on the ranking of projects.

Project Number: CD00003
Total Project Budget: \$4.7M
Council District: Various

Key Features:

- Inventory existing overhead power lines
- Identify criteria to prioritize the undergrounding
- Remove overhead power lines less than 69kV
- Install underground utilities and new streetlights with poles
- Update ordinance and policy as required

Interesting Fact:

It is estimated to cost approximately \$2-3 million per mile to underground overhead 12kV power lines.



Project Budget & Timeline

