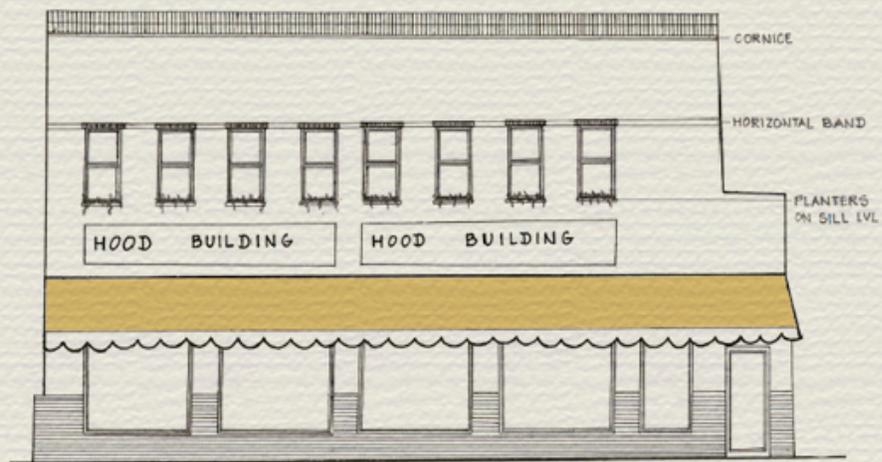


# PEORIA FACADE STUDY

## Evolution of the Built Environment



ARIZONA STATE UNIVERSITY  
School of Planning and Landscape Architecture  
May 2003

Prepared for the  
**City of Peoria**  
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Planning Division

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**May 2003**

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# INTRODUCTION



Washington Street and 83rd Ave. circa 1930s

## PEORIA'S ROOTS

The City of Peoria was established in the 1880s when William J. Murphy's vision of fertile farm lands fed by water from the Salt River became reality with the completion of the Arizona Canal in 1885. Once this canal was completed, Murphy went East to interest people in settling in this new community. Mr. Murphy was successful in catching people's attention – over 5,000 acres of land in the new district was purchased by citizens from Peoria, Illinois. Four families from Peoria, Illinois were among the first to move to Arizona to occupy and work their land.



First School

Residences in the new community sprang up, and a school and Post Office were established by 1889. More people followed the original families and Peoria continued to grow as a farming community. The farmlands were fertile and the people made a good living, despite having to battle swarms of red ants and the occasional rattlesnake in the kitchen.



Edwards Hotel circa 1950s

Peoria was incorporated in 1954, with boundaries covering one square mile of land. The warm climate and small-town atmosphere of Peoria continued to attract people, and still do today. Currently, Peoria covers 162 square miles, and is home to over 120,000 residents. Peoria is Arizona's 4th largest city in terms of incorporated area, and 9th largest city in terms of population

## EVOLUTION OF THE BUILT ENVIRONMENT

The history of Peoria is reflected in its buildings. Although the community's historic built environment is modest and somewhat limited, it does provide nonetheless evidence of its past. The buildings' placement, arrangement, forms and appearance represent Peoria's various stages of development



Washington Street circa 1930s

during the twentieth century. They show the impact of periods of boom and bust. Even changes in technology, transportation and popular taste are manifested in the simple traditional structures that make up the community today. Like many other Western communities settled in the late 1800s, little remains from this early period other than the street pattern of the original plat. However, the community retains an important vestige of this time. The 1899 church building that still stands at 83<sup>rd</sup> Avenue and Jefferson was constructed of sturdy red brick and designed in the Gothic Revival style. As such it signaled Peoria's transition from a frontier outpost to a permanent settlement.



A turning point in the evolution of building in the community was a 1917 fire that destroyed all but one building in the downtown core. After that event, there was a concerted effort to build with more substantial materials. Despite the desire to give the town a more attractive appearance, the commercial buildings that were erected in the decades that followed were primarily reflective of the functions they performed. Businesses provided basic services and goods to support the town's population as well as the families that lived and farmed in the surrounding area.



Structures were rudimentary, with simple rectangular and square shapes with flat and gable roofs.

- They were vernacular in style lacking ornament or aesthetic treatment.
- Metal was frequently used in the construction of buildings related to agricultural processing, distribution and transportation.
- Brick and concrete block were used on retail and business service establishments.



*The historic character of Peoria was established early in the 20th century*

- Typically the early buildings were placed on the corners of intersecting streets with infill development occurring later on mid-blocks.

Buildings were periodically expanded during periods of prosperity. Other changes were made to the building forms when changes of use occurred. For example, the large openings of industrial buildings were infilled with doors and windows when a retail or office was established.

A number of alterations were made to the front facades of the downtown buildings.

- Typical of western towns, some false fronts were added to smaller structures to make them look more prominent and provide space for signs related to their function.
- Sometimes a new front façade was constructed to join together two or more buildings into a larger structure.

Other modifications were made for cosmetic reasons:

- Exterior walls were reclad in modern sheathing.
- Windows and doors of storefronts were replaced with modern units to update their look.

With the increasing popularity of the Southwest style in the late 1960s and 1970s, several downtown buildings were renovated with new stucco exteriors and tile or adobe brick detailing.

# **PRESERVATION PRINCIPLES**

## **BUILDING REHABILITATION**

Existing buildings and portions of blocks designated for rehabilitation shall not be demolished, but rather shall be rehabilitated with strong respect for their original character, materials and design intent.

Rehabilitation is intended to preserve the character, texture and scale of Peoria's traditional architecture. The goal of rehabilitation is to preserve the original design of the older buildings without necessarily striving for historical replication. Initial investigation usually involves exposing and evaluating original facade treatments, and researching original materials, detailing and proportions of openings.

### **General Approach to Rehabilitation**

In general, the traditional pattern of horizontal layering which dominated building composition along American commercial streets should be followed in the restoration and development of building facades. This pattern dictates storefront openings and structural piers at street level with an awning or canopy and sign hand above. Upper levels, where they occur, may consist of openings set into a planar, surface and the top of the building may have a cornice. It is particularly important to adhere to the original size, proportions and location of openings in upper level facade walls. Secondary facades of a building which are exposed to public view should be compatible with the primary facade. Exterior materials except glass should be primarily matte in finish and should be in the middle of the range of color value.

In the process of rehabilitation, buildings should be structurally upgraded and reinforced to conform with health and safety codes. In addition, existing roof mounted mechanical, electrical and plumbing equipment should be screened from views by pedestrians at street level and by users of nearby buildings .



*Existing buildings should be rehabilitated in a manner that preserves their original character.*

## EXISTING BUILDINGS AS CONTEXT

Where new buildings are built adjacent to or between existing buildings, they should respond to existing buildings through design elements that provide a transitional treatment between the old and the new.

The existing buildings of a city are a reference for new ones. To the extent that the height, scale, and texture of new buildings can respond to what is nearby, the built environment becomes continuously knitted together. Conversely, the constant or blatant disregard of the existing building pattern tends to fragment the city and reduce its coherence.

The architecture of new buildings can provide devices to make a transition between the old and the new. Such devices include matching cornice lines, continuing a colonnade, using similar materials and relating building proportions.

The scale of modern buildings can often be very different from existing buildings. Therefore, this guideline cannot be applied arbitrarily or dogmatically. But when appropriate, new structures should respect older ones.



*The height, scale and texture of the existing buildings should serve as a reference for the new ones.*

## STOREFRONTS AND REHABILITATION

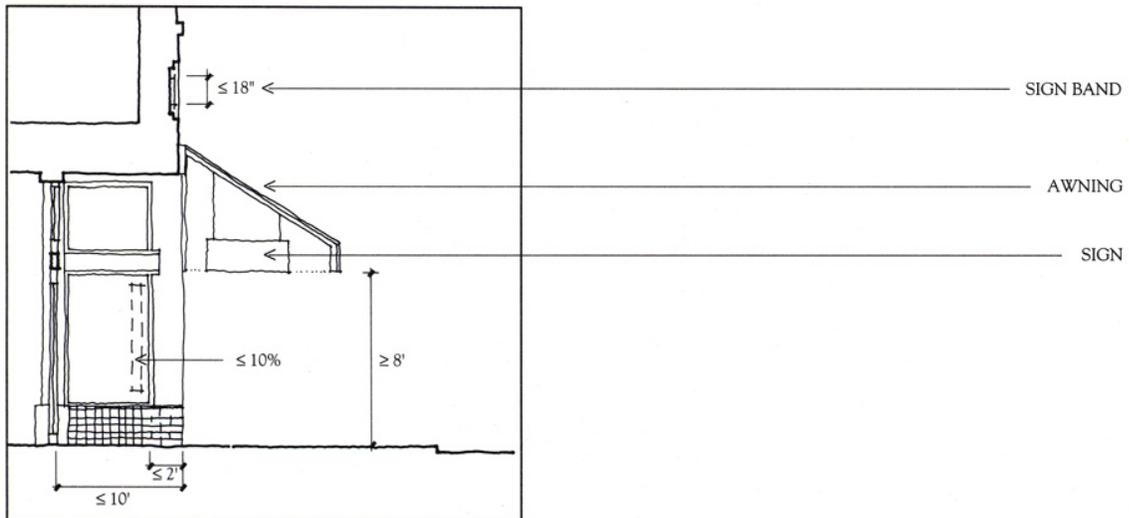
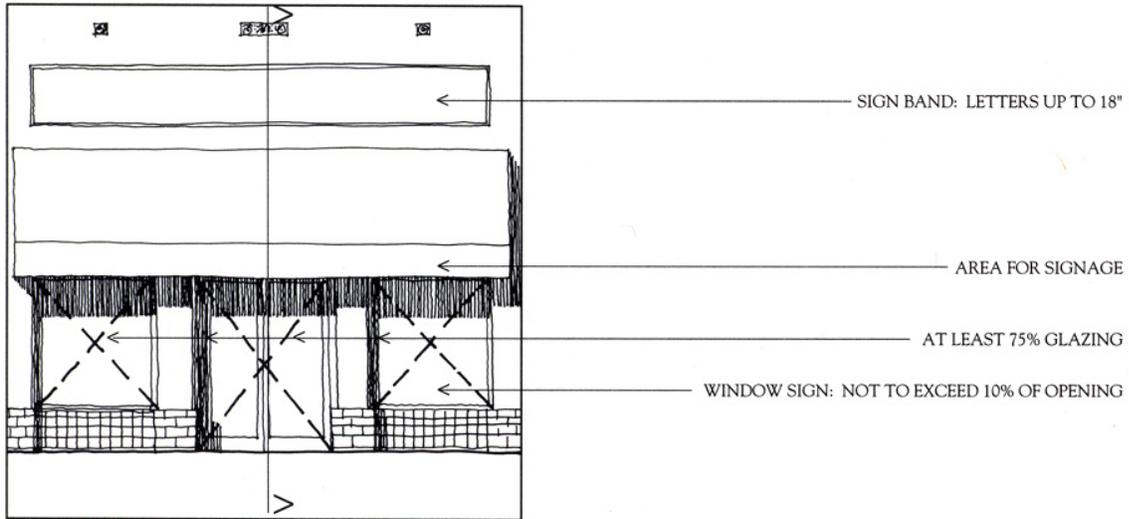
Storefronts and signage in buildings undergoing rehabilitation should follow these guidelines to ensure appropriate scale, character and continuity in relation to other rehabilitated buildings.

- **Storefronts**

Retail storefronts should include both glazing and solid walls. The glazing shall be non-reflective, tinted or lightly tinted. The storefronts should align with the surrounding pattern. Window frames and mullions should have a thin profile and the color should be considered in relation to other wall and storefront elements. For wall areas below storefront glazing at the sidewalk level, masonry such as tile, brick tile, and stone are encouraged.

- **Signage**

Signage should be on windows, on awnings or canopies, on the sign band, or suspended from awnings so as to overhang the sidewalk as illustrated on page 12. Window signs should not exceed 10% of the area of the window opening. Awning or canopy signs should be applied to vertical surfaces which are parallel to the storefront. Letter height should conform to the sign band. Signs overhanging the sidewalk should meet code requirements for clearance above the walkway. Lighting of signs should be indirect and external to the signs. Neon and back-lit signs are not encouraged.



*Traditional store fronts have identifiable components that contribute to their character.*

## NEW BUILDINGS AS INFILL

New buildings within a block designated for rehabilitation should be designed in character with existing rehabilitated structures.

Rehabilitation is encouraged to preserve the character, texture and scale of Peoria's traditional building pattern and street frontage. New construction within these blocks should reinforce the patterns of this tradition, and in general conform to the guidelines for rehabilitation of existing buildings. This does not necessarily imply that new buildings must mimic their older neighbors, but rather that their design should continue the scale, horizontal layering, range of materials, and level of detail and ornamentation found in the older buildings. This approach should result in an appropriate integration without eliminating a range of architectural options.

Heights of new buildings within the downtown shall be specified on a block-by-block basis, and in general shall be limited to the height of buildings in the vicinity.



*New construction should follow the pattern established by the existing*

## **EXTERIOR MATERIALS**

Using traditional building materials provides an air of permanence and civic pride on the facades and exterior walls of buildings.

The building materials in Peoria's downtown reflects its development as a support center for the surrounding agricultural community. The earliest structures were makeshift, using canvas tent and simple adobe bricks in their construction. As the earlier 20th century progressed, the original buildings were clad with corrugated metal or milled lumber. More often they were replaced with new structures constructed with brick and cement blocks. Many of the buildings within the downtown were added-on-to in order to improve their function and/or appearance, so it is not unusual to find multiple types of building materials on a single structure. Stucco finished with tile and block accents were commonly applied to older buildings in the latter half of the 20th century.

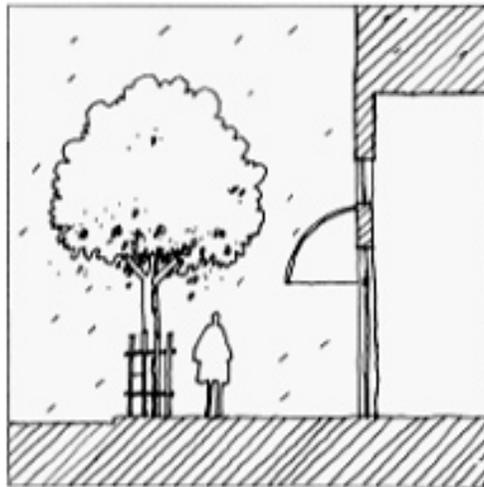
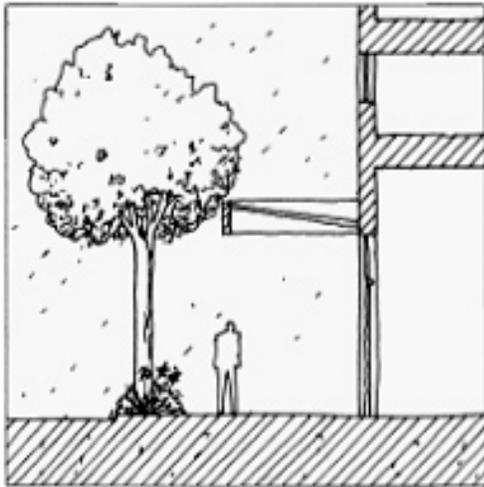
### **Guidelines for new construction**

- In new construction glass and glazing in wall systems should be used carefully with other exterior materials.
- Special attention should be paid to glass color and reflectivity, glazing opening sizes and frames, as well as changes of plane between glass and other exterior materials.
- Variation in surface texture and reflectivity of exterior materials, which can add vitality to the design of a building's facades, is encouraged.
- Curtain walls which are glazed for more than 50% of their surface area are not encouraged.

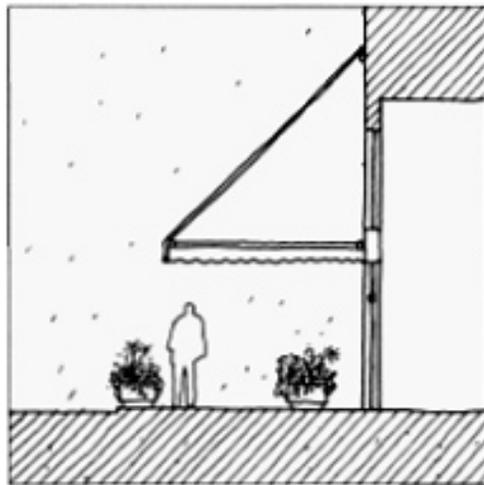
## LANDSCAPING AND AWNINGS

Wherever possible, enhance pedestrian areas and sidewalks with awnings, landscaping and other amenities.

But even minor building frontages should address the sidewalk with the pedestrian and the streetscape in mind. The use of awnings over entrances, decorative features on walls, landscaped planters, trees and similar treatments are small ways in which the street life and appearance of the City can be made attractive and vital. In general, metal awning covers are discouraged and fabric-type awning covers in traditional shapes are encouraged.



*Awnings, landscaping and planters historically have been used to provide pedestrian amenities.*



# FACADE STUDY

## STUDY METHODOLOGY

The Central Peoria Revitalization Plan recommended that the City initiate the rehabilitation of the facades of several significant historic buildings within the downtown core. This report was commissioned to provide guidance should that work be performed. City staff selected nine buildings to be included as part of the study. Generally, these buildings are located on the south side of Washington Street from Grand Avenue to 83<sup>rd</sup> Drive, on both sides of 83<sup>rd</sup> Avenue between Washington and Jefferson Streets and the Grand Avenue frontage from Washington Street to the alley. This area has historically served as the town's business district. However, most of the buildings date from the latter half of the twentieth century. The few earlier buildings that remain have been significantly altered over time.

The first step of the study was the systematic analysis and documentation of the primary facades of the nine buildings. Field reviews were conducted and archival materials were reviewed to ascertain the distinguishing features of each building's shape and form, its exterior materials, alterations to their original appearance and evidence of any treatment or detailing that might relate the building to an identifiable architectural style or method of construction. The buildings and their features were photographed and line drawings were prepared depicting the existing conditions of the facades.

The *Secretary of the Interior's Standards for Rehabilitation* and the accepted practices of historic preservation work today guided the development of the recommended treatments for the buildings. Generally, work on historic and older buildings should address the building's stabilization and maintenance needs first and involve enhancement work only after a building is weather tight and protected from deterioration. Rehabilitation and adaptive reuse of a building should be done in a manner so as to preserve the character-defining features of a particular style, type or era of building. Additionally, the general principles of good urban design provided a secondary theoretical basis for the development of the recommendations. The philosophical tenets of these approaches are more fully described in the preceding sections of this report.

The individual building recommendations that have been developed recognize that should any work be performed

it will vary according to the specific goals for undertaking a rehabilitation project, the available funding and what assistance or involvement the City might be able to offer. Consequently a range of suggestions has been provided that take into account the practicalities of economics and other circumstances. Further, wherever possible the buildings were analyzed to determine if they also offered opportunities to implement some of the other recommendations for enhancement and public art that were identified by companion studies being prepared through the Arizona State University contract with the City of Peoria.

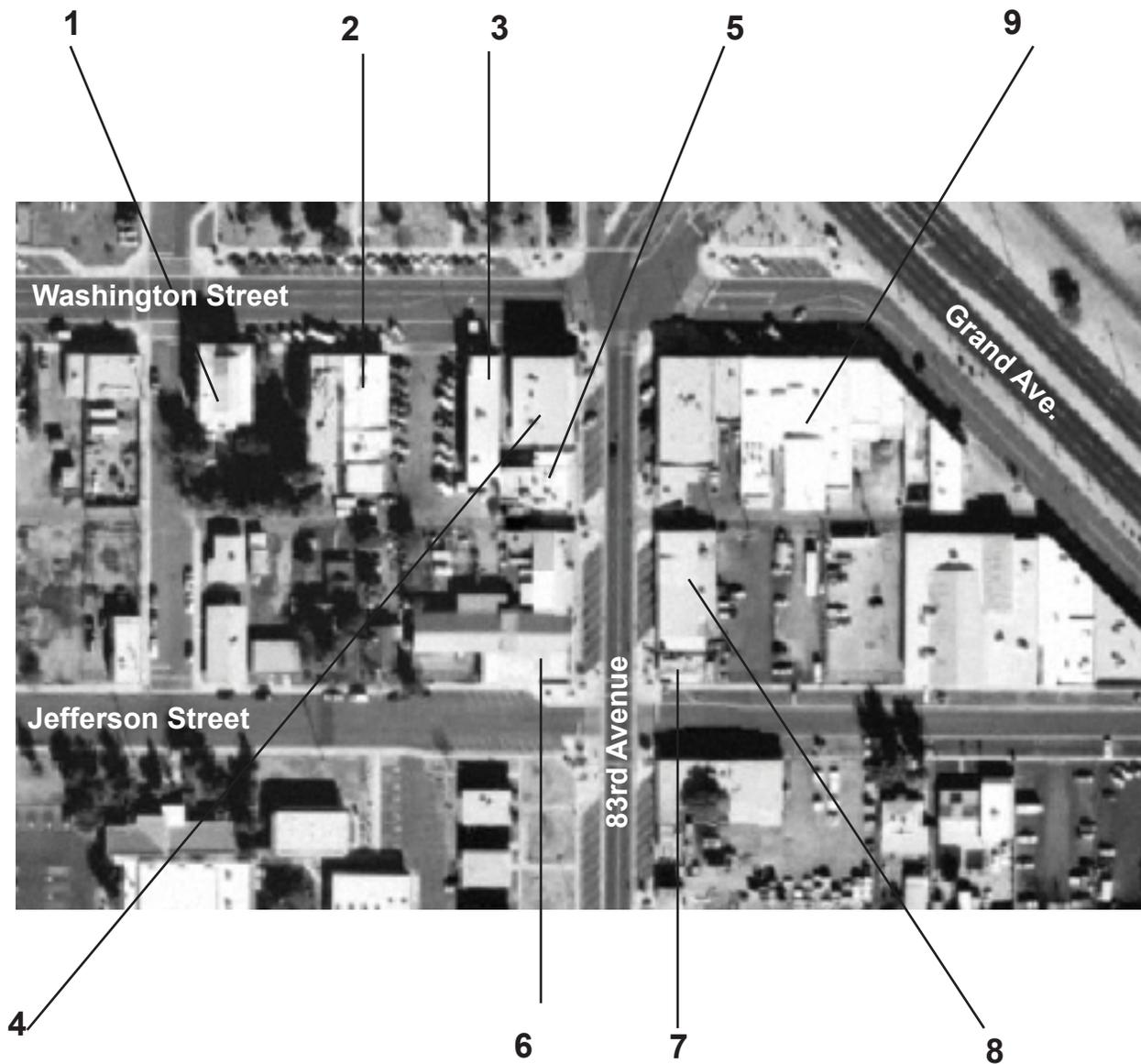
## GENERAL FINDINGS

There are several characteristics that distinguish the buildings as a group.

- They are small in scale with simple forms. Modestly constructed, their appearances relate to their functions rather than design intent.
- The building elements and their arrangements also provide evidence of the early automobile orientation of the downtown's development.
- The buildings are products of a number of different eras.

Consequently, they are individual in character. Stylistically, the buildings reflect a simplistic Western and/or Southwestern character that is primarily related to the materials used in their construction. While the buildings were individually studied, it should also be noted that as a collection they also provide evidence of the historic development of the Townsite. Their location demarcates the original layout of the town. The block patterns, which include structures as well as vacant lots, is indicative of the dispersed nature of historic buildings in small western towns.

## KEY BUILDINGS



1. Edward's Hotel
2. Lighthouse Apostolic Ministries
3. Fire Station
4. Hood Bulding
5. Peoria Cleaners and Laundry
6. Kosier's Hardware
7. K & E/Lock & Key
8. NAPA Autoparts
9. Multi Tenant Retail



*North Elvation*



*East Elevation*



**#1. EDWARDS HOTEL  
8325 W. WASHINGTON**

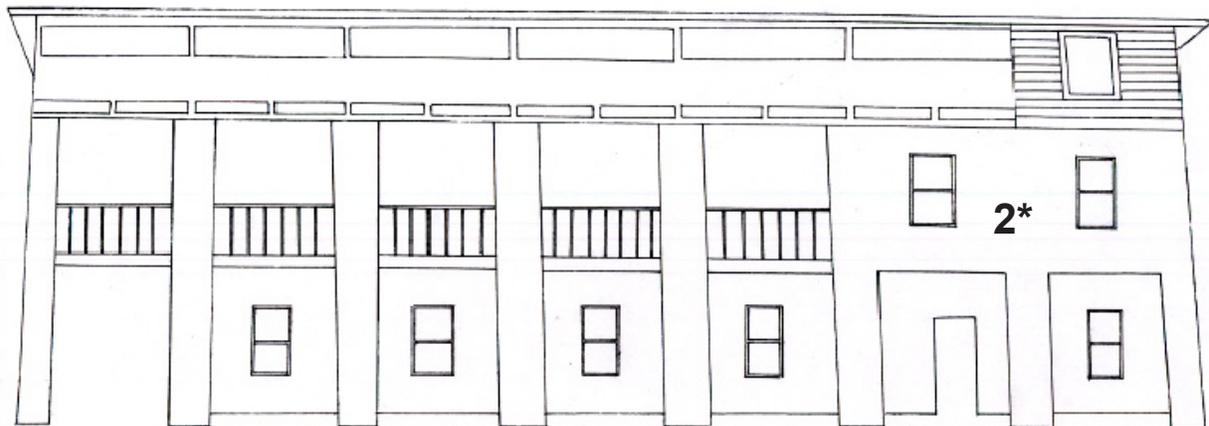
The Edward's Hotel was originally constructed in 1918, after the local newspaper made a plea for someone to build a hotel in the growing little town. The hotel is all that remains of Peoria's boom years from 1917-1929. It is a rectangular three-story building with a gable roof located at the corner of Washington and 84th Drive. Screened sleeping porches were added in the 1920s. Later the building's exterior was sheated in stucco and a two-story arcade was constructed. The historic windows have been infilled and/or replaced with modern ones.



*Historic Window and Door Treatments for suggested reconstruction on north and west facades (recommendation 2 page 20.)*



North Elevation



West Elevation

### Analysis/Recommendations

Using physical evidence of original features and historic photographs as a guide, return the building to an earlier appearance.

- 1\*** Dramatic change would occur by removing the arcaded porch supports and replacing with simple posts similar to those used when the sleeping quarters were added in 1925.
- 2\*** A less expensive approach would be reconstructing the historic window openings on the west and north facades.
- 3\*** Reconstruct front entry.

*Rehabilitation Tip*  
Carefully examining the building can reveal the location, form and appearance of earlier or lost historic features



North View

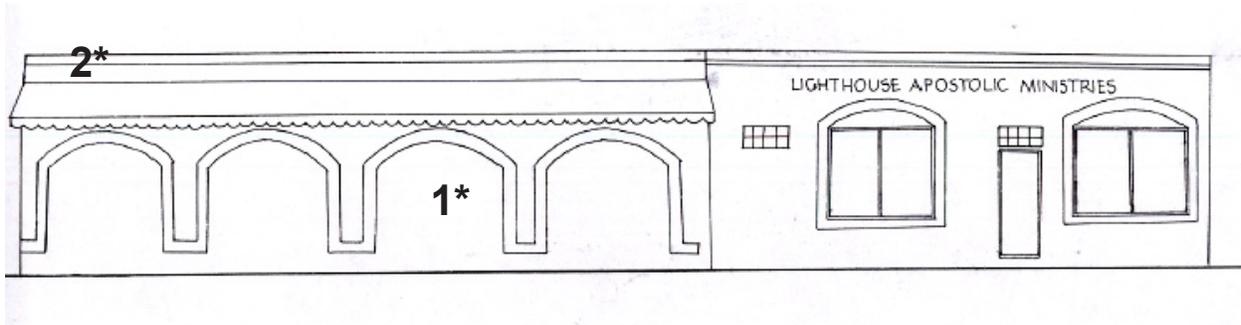


## #2. LIGHTHOUSE APOSTOLIC MINISTRIES 8315 W. WASHINGTON

The Lighthouse Apostolic Ministries building is a one-story, flat roof building that was constructed in several stages. The original building on the west was constructed of concrete block. On the front façade a central paneled entry door is flanked by large fixed-pane square windows with segmental arch surrounds that protrude from the wall plane.

The building was expanded to the east with an arcade constructed with segmental arched openings similar to that found on the main building. A shed tile roof extends above the arcade. The westernmost arch is infilled with glass. A door and a square window are located in the front façade of the expansion. The eastern section of the building has stucco walls and a stucco finish was applied to the front façade.

## Analysis/Recommendation



- 1\*** Building arcade of the addition continues the pattern of the existing openings on the original facade.
- 2\*** Space above awning could serve as a sign board.
- 3\*** Infill construction adjacent to the building should be one or two stories in height and have a similar alignment to the street.

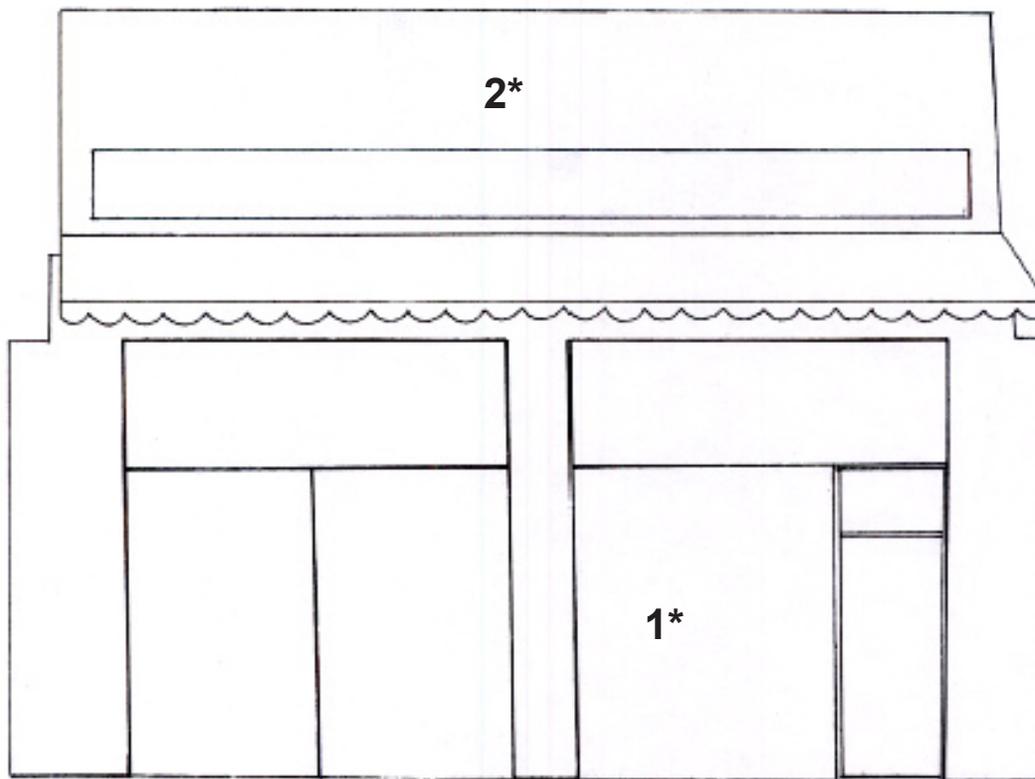


*North View*



**#3. FIRE STATION  
8307 WEST WASHINGTON STREET**

The Peoria Fire Station No. 1 is a one-story rectangular building constructed of concrete block. Like other utilitarian buildings, its design is reflective of its function. The front facade is divided into two bays with large openings. A parapet wall above the garage doors serves as the sign band for the building. An awning extends across the front facade above the openings.



### **Analysis/Recommendations**

If the infill is constructed on vacant land adjacent to the building it should be one or two story in scale.

**1\*** If the building is converted to another use, the proportions and form of the original building elements should be recognizable. Any infill of the open bays should be designed so that the shape and proportions of the original openings are discernible.

**2\*** Use false front sign board area for business signage or apply to glass infill panels

*REHABILITATION TIP*  
Insetting infill panels instead of mounting them flush with the wall elevation will help retain the original solid void pattern of the facade.



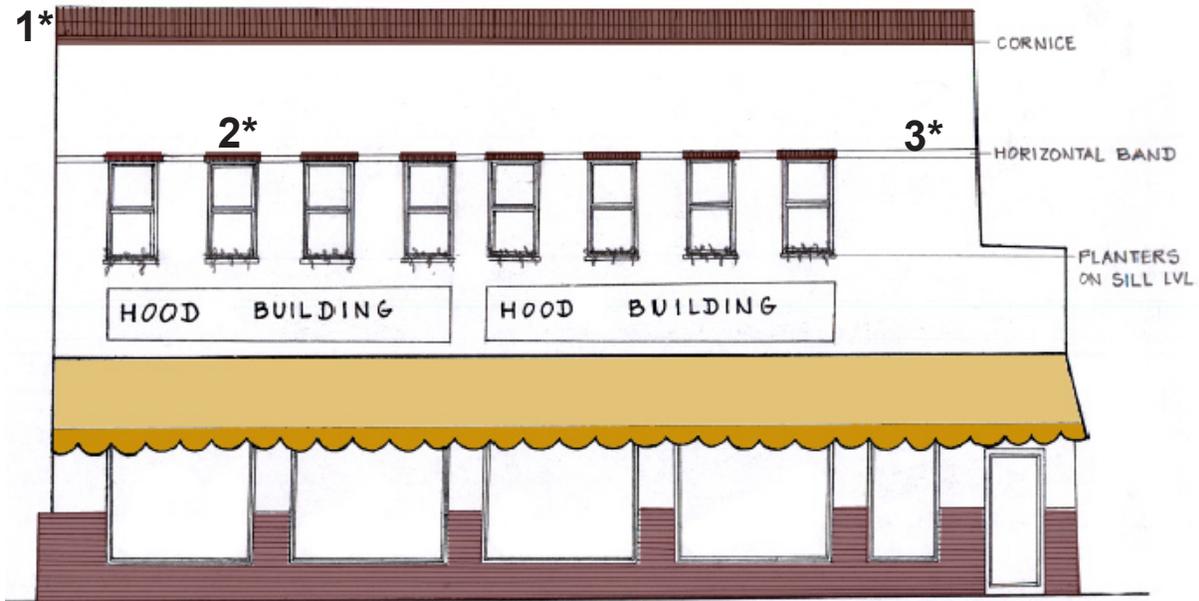
North View



East View

**#4. HOOD BUILDING  
8301 WEST WASHINGTON**

The Hood building is a two-story, rectangular building with a flat roof. The front facade has aluminum storefront on the first level covered by an awning. The wall area below the storefront glazing and a portion of the piers dividing the window have been sheathed in dark block. This facade treatment continues around the building corner onto the 83rd Street facade. The building's exterior wall has a stucco finish, and rectangular windows are found along the second story.



*East View*

### **Analysis/Recommendations**

The building's appearance can be enhanced by emphasizing the elements that typically characterize historic buildings: the base, the body and the top.

- 1\*** An inexpensive way of detailing the top is to paint a cornice at the flat roof edge.
- 2\*** Adding windows, similar in size and location to the existing windows, would accentuate the pattern created by the 2nd story windows.
- 3\*** A less expensive approach would be to use paint to create elements that reinforce the visual pattern that unites the second level.

**REHABILITATION TIP**  
The large flat expanse of the secondary facade offer opportunities for murals or other artwork that can enliven the streetscape.

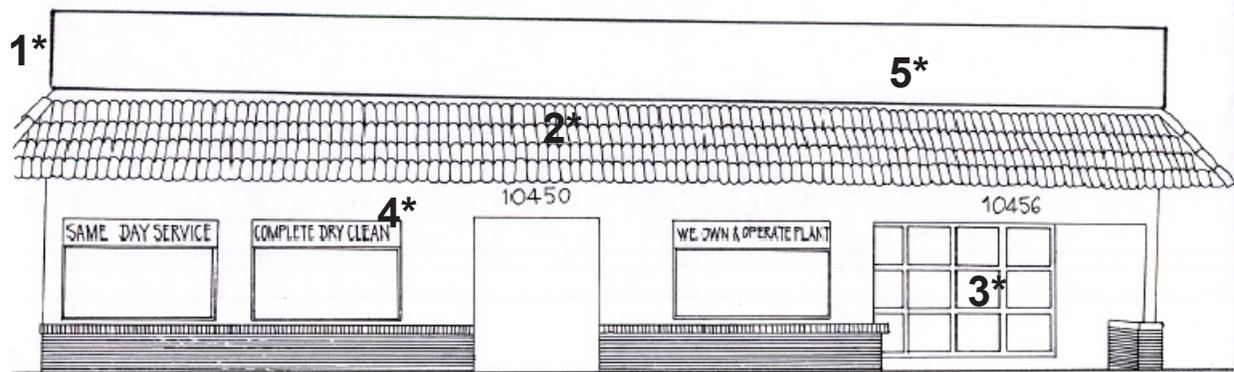


**#5. PEORIA CLEANERS AND LAUNDRY AND NEXUS  
10450 AND 10456 NORTH 83RD AVE.**

The Peoria Cleaners and Laundry is a one story rectangular building with a flat roof. A parapet wall with a shed tile porch roof extends across the front façade which faces onto 83<sup>rd</sup> Avenue. The parapet wall serves as the primary signboard for the building. The building is constructed of concrete block. Although its original use is not known, it appears that early uses may have been industrial or automobile related because of the configuration of openings on the front façade. When the building was converted to retail use, a recessed bay was infilled with a divided light glass panel and a door. At that time or perhaps later a stucco finish with used-brick and a shed tile porch roof was added.



*Corner condition illustrating detail of tile roof porch at end wall*



**Analysis/Recommendations:**

- 1\*** Building is similar in scale to other structures in downtown.
- 2.\*** Awning continues pattern from awnings established for the block.
- 3\*** Opening has been infilled in a sensitive manner.
- 4\*** Signage is appropriate in size and location.
- 5\*** Parapet wall extruding above flat roof creates a false front that has been historically used throughout the downtown.



*East View*



*South View*

**#6. KOSIER'S HARDWARE  
10440 NORTH 83 RD AVE.**

The Kosier Hardware building dates from 1938 and consists of a series of connected structures and additions to the storefront. The buildings are one story with gabled, shed and flat roofs. The primary structures face 83<sup>rd</sup> Avenue and have a false front that extends above a mansard tile roof. The storefront sits on the southern portion of the lot with a large covered storage area extending north to the alley. Slump block piers support the roof in the storage area. The storefront consists of four large display windows and an entrance door. The elevation along Jefferson street consists of a wooden wall without openings.



*East Alley View*



**Analysis/Recommendations:**

Maintain existing front facade, as the storefront scale, features and materials continue the pattern found north of the alley on 83<sup>rd</sup>.

- 1\*** Utilize the blank façade for a mural or artwork to enliven the streetscape.
- 2\*** Consider further screening of utilitarian buildings and work yards.
- 3\*** Consider adding window openings on south side.
- 4\*** Remove roof-mounted sign.





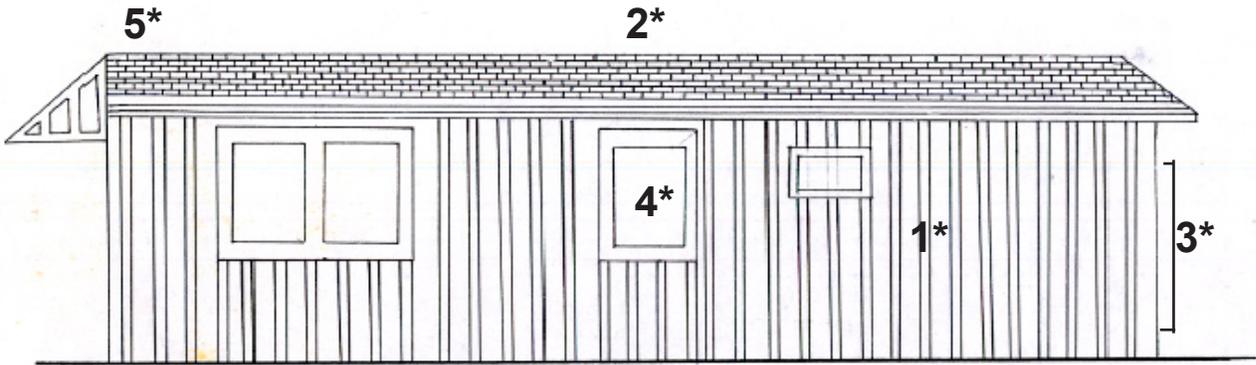
West View



South View

**#7. K & E LOCK & KEY  
10411 NORTH 83RD AVE.**

K & E Lock & Key is a onestory frame structure with a gabled roof. A false front is attached to the front façade. Board and batten siding sheathes the building. Battens are painted white. The roof is covered with asphalt shingles that are in poor condition. Residential style windows, both square and rectangular in shape, have simple wood surrounds. Doors are solid panel doors.



**Analysis/Recommendations:**

Maintenance and repair work should be undertaken to repair the building's deteriorated wood siding and asphalt roof.

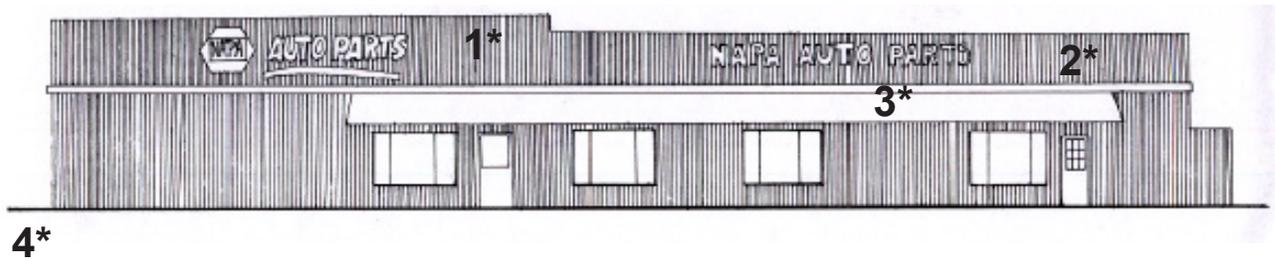
- 1\*** Repair deteriorated wood battens and trim.
- 2\*** Reroof with wood shakes or three dimensional shingles to enhance character.
- 3\*** Repaint walls in one color. Use similar color to eliminate striped effect of contrasting batten.
- 4\*** Consider painting window and door surrounds in similar color as body of the building but in a darker hue and removing window bars.
- 5\*** Remove roof-mounted sign.



**#8. NAPA Auto Parts**  
**10447 North 83rd Ave.**

*West View*

NAPA Auto Parts is a modern utilitarian building which fronts on 83<sup>rd</sup> Avenue and extends almost half a block. The structure is one story and laid out in a simple rectangular form. Corrugated metal sheathes the building's exterior. Like many of the older buildings in the downtown, a parapet wall extends above the roofline creating a false front with a simple step dividing it into two sections. The business signage is attached to the false front. Display windows punctuate the front façade and flank the single leaf entry door. Both the main entrance and an ancillary door have glazing in their upper panel. A metal awning extends across the front façade shading the door and window openings.



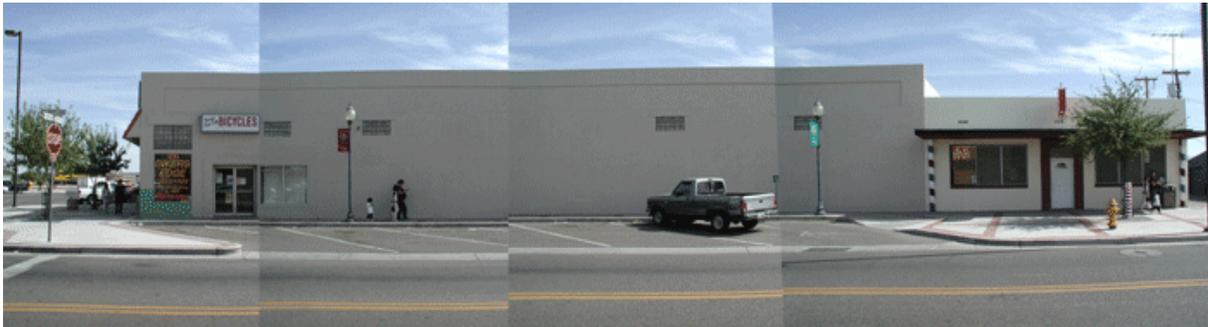
### **Analysis/Recommendations**

This simple functional building is similar to those built during early eras in terms of scale and materials. Its larger size and mass is indicative of modern day warehouse and retailing operations.

- 1\*** The false front gives the building a greater street presence and provides space for signage.
- 2\*** Applied lettering directly on the parapet wall is similar to that found on nearby buildings
- 3\*** Awning is similar in size and location to other building awnings on 83<sup>rd</sup> Avenue.
- 4\*** Painting the body of the building in a more neutral color would blend the structure into its surroundings.



North View



West View

**#9 MULTI TENANT RETAIL  
SOUTH SIDE OF WASHINGTON FROM 83RD AVE. TO GRAND AVE.**

Located at the juncture of three streets, this area has housed commercial structures throughout the downtown's development. Initially, the site had simple freestanding structures with flat roofs. As time progressed, additional buildings constructed of concrete block were added to the site to create a continuous row of storefronts. Typical of the mid twentieth century storefronts, these buildings have "open fronts" or "visual fronts." Large display windows were mounted flush with the front facade allowing the interior of the store to be displayed, or in a manner extending beyond the front window zone. Also indicative of the automobile orientation of these retail establishments is the convenient front parking.

Sometime in the 1960s or 1970s the front facades of the different buildings were covered with a new uniform facade that joined the buildings together. Aluminum windows and doors replaced the earlier storefront assemblies. A tile awning was erected above the entrances and a masonry wainscot was installed below the display windows. The wall above the base was covered with stucco.



*West View*

**Analysis/Recommendations:**

Building is sound and in good repair. The existing scale, features and materials should be maintained.

- 1\*** Consider replacing existing signage with similar size signs, lettering and features over each business.
- 2\*** Limit signage painted on windows to 10% of the exposed area.
- 3\*** Use expansive flat surfaces for murals or artwork.
- 4\*** Consider installing additional storefronts along 83rd Avenue for retail establishments.

